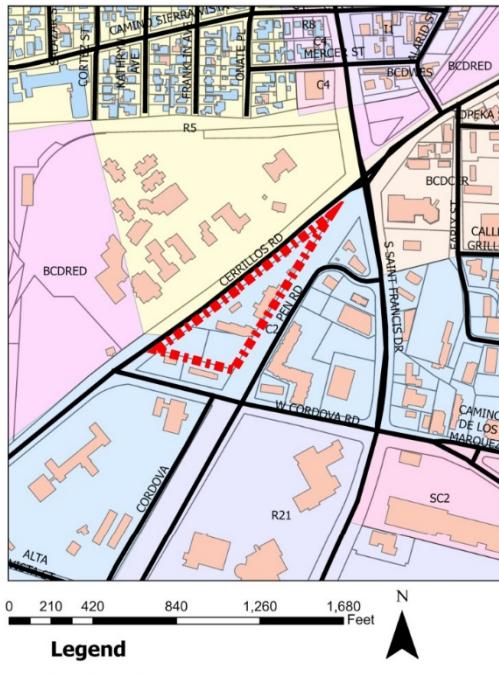




# Land Use Department Planning Commission Staff Report

<b>Case No:</b>	2025-11380
<b>Hearing Date:</b>	February 5, 2026
<b>Agent:</b>	JenkinsGavin, Inc.
<b>Applicant:</b>	Titan Development
<b>Request:</b>	Development Plan
<b>Location:</b>	1000, 1101, 1103 Cerrillos Road
<b>Case Mgr.:</b>	Claudia Kath
<b>Zoning:</b>	C-2 (General Commercial)
<b>Overlay:</b>	Zone 1 of the Cerrillos Road Highway Corridor Protection District and Suburban Archaeological District
<b>Pre-app Mtg:</b>	August 14, 2025
<b>ENN Mtg:</b>	September 30, 2025
<b>Proposal:</b>	The Applicant requests approval of a Development Plan to construct a 79,491sq.ft. AC Marriott hotel with 150 rooms on a 3.40-acre parcel.



**Site Map**

**Case #2025-11380. 1000, 1101, and 1103 Cerrillos Road Development Plan.** JenkinsGavin, Inc., Agent, for Titan Land Development, on Behalf of Gilliam Land Trust, owner and applicant ("Applicant"), requests approval of a Development Plan, for a 79,491 square foot, four-story, 150-room AC Marriott hotel. The subject properties comprise 3.40 +/- acres and are located within the Suburban Archaeological Review District and Cerrillos Road Highway Corridor (Zone 1) and zoned C-2 (General Commercial) (Claudia Kath, Case Manager, cmkath@santafenm.gov).

## I. RECOMMENDATION:

Staff recommends **APPROVAL** of the Development Plan for Case #2025-11380, subject to conditions of approval and technical corrections noted in Attachment A of this report.

*One motion will be required for this case:*

Approve or deny the Development Plan (Case#: 2025-11380), subject to the conditions of approval and technical corrections recommended by staff in Attachment A.

## II. EXECUTIVE SUMMARY:

Titan Development is requesting approval of a Development Plan to construct a 79,491 sq.ft. (Gross Floor Area) AC Marriott hotel on an approximately 3.40-acre parcel. The proposed use is a 150-room AC Marriott brand hotel. The project requires a Development Plan to allow for a full review of the proposed structure and its infrastructure. The site currently has commercial structures, which will be demolished at the time of development.



Figure 1-AC Marriott Development Plan

The proposed building will be four stories tall, with a maximum height of 45 feet and no below-grade construction. It will feature a meeting room, lounge, coffee bar, market, fitness room, and a rooftop terrace with an additional guest lounge. A total of 150 parking spaces are required (one per hotel room), and the plan provides 151 spaces. Eight accessible spaces, including two van-accessible spaces—are both required and provided. All parking spaces will meet the City standard parking stall dimensions of 9 feet in width and 18 feet in length.

## III. BACKGROUND

The 3.40-acre subject parcel is located at the southwestern corner of the intersection at Cerrillos Road and St. Francis Drive. The site is bordered by Cerrillos Road to the northwest, the AT&SF railroad R.O.W. to the southeast, and two existing commercial businesses to the south.

## IV. PROJECT ANALYSIS: DEVELOPMENT PLAN

### a. Project Zoning

The proposed hotel parcel is zoned C-2 (General Commercial). The proposed Development Plan complies with the C-2 zoning standards and the Cerrillos Road Overlay District. Required dimensional standards and proposed development are captured on Table 1.

Table 1. Dimensional Standards for C-2 District

Element	Requirement	Proposed
Height	45 feet	45 feet
Setbacks	Street: 15 feet Side: 0 feet Rear: 10 feet	Street: 67 feet Side: 51.5 feet Rear: 10.6 feet
Open Space	20%	27.3% of total lot area
Lot Coverage	60%	13.4%



Figure 2 – Project Zoning Map

## b. Access and Traffic

A Traffic Impact Analysis (TIA) prepared by the Applicant is included in Attachment C of this report. The site currently contains nine curb cuts along Cerrillos Road; these will be consolidated into two access driveways serving the hotel. The Development Review Team (DRT) traffic engineer has noted that Driveway "B" (the access point closest to Burrito Spot) must be restricted to right-in/right-out movements in accordance with New Mexico Department of Transportation (NMDOT) comments.

There is no sidewalk abutting the site; as a result, a volunteer path has formed along the very narrow dirt section adjacent to the fence. A 6-foot sidewalk will be constructed which will provide safer pedestrian access.

NMDOT is planning improvements to the Cerrillos Road / St. Francis Drive intersection, and the City Water Division will upgrade a waterline in Cerrillos Road. These infrastructure projects are unrelated to the AC Marriott hotel project. However, they are expected to occur concurrently with the hotel construction.

The recommended DRT Conditions of Approval and Technical Corrections may be found in Attachment A of this report.

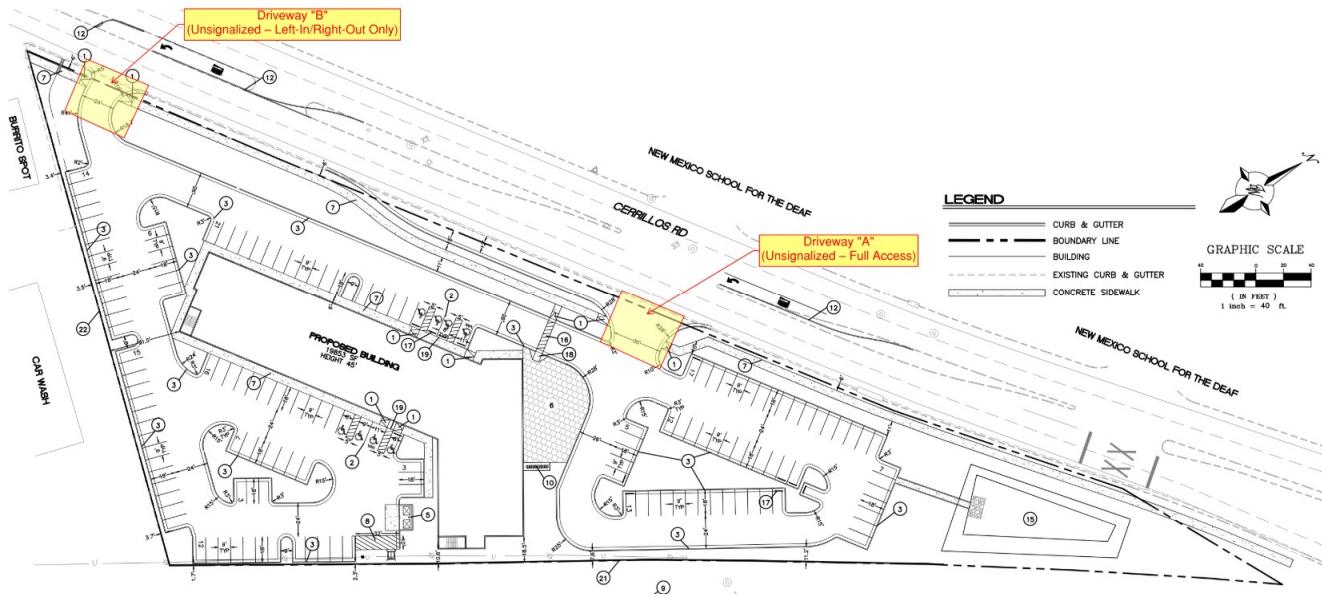


Figure 3 - Traffic Analysis Plan

### c. Grading and Terrain Management

The subject parcel slopes gently from east to west, with no drainageways or areas exceeding a 3% slope. The improved site will generate approximately 7 cubic feet per second (CFS) of stormwater runoff—about 20% less than existing conditions. A stormwater retention pond will be constructed at the north end of the site, designed to overflow into an existing catch basin on Cerrillos Road.

The DRT has required the retention pond incorporate a meandering layout to be planted with raingarden-appropriate vegetation and trees. Along the Cerrillos Road frontage, the project will include a 5-foot-wide planter with street trees and a 6-foot-wide sidewalk.

The Terrain Management DRT Conditions of Approval and Technical Corrections are provided in Attachment A of this report.

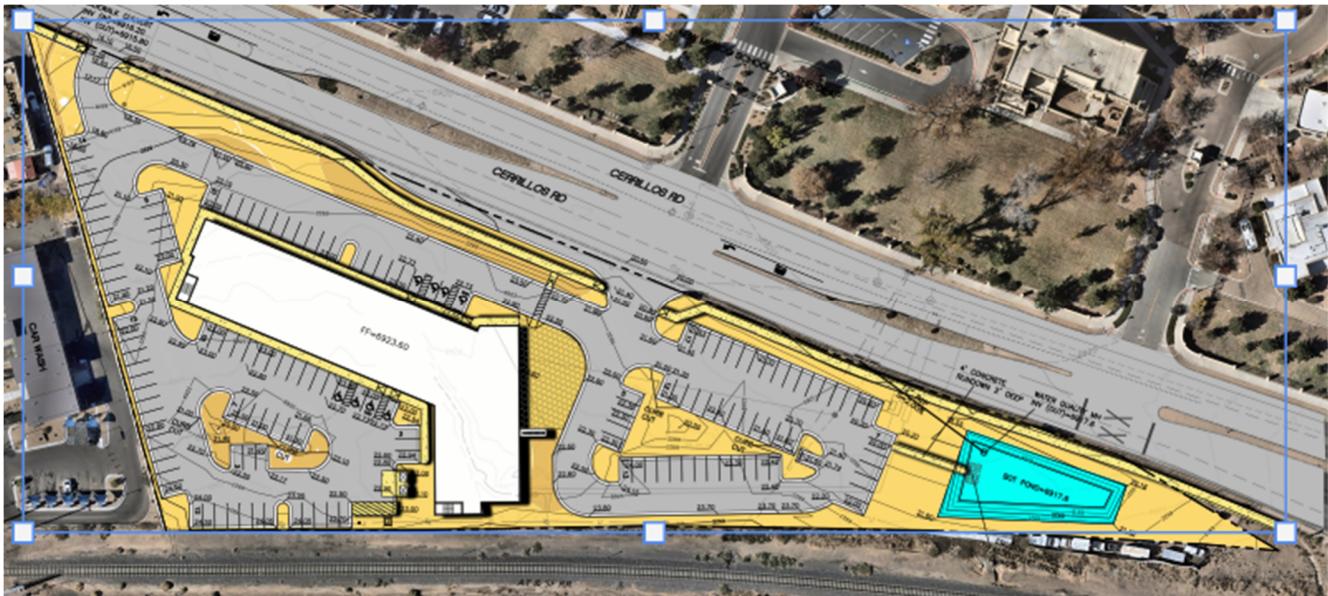


Figure 4 - Terrain Management Plan

#### d. Landscaping and Lighting

The landscape plan complies with code requirements for nonresidential development and the landscape standards per § 14-8.4 Landscape and Site Design. The landscape plan calls for new trees and shrubs throughout the site, including within parking lot medians, bordering the building, and adjacent to the drainage pond.



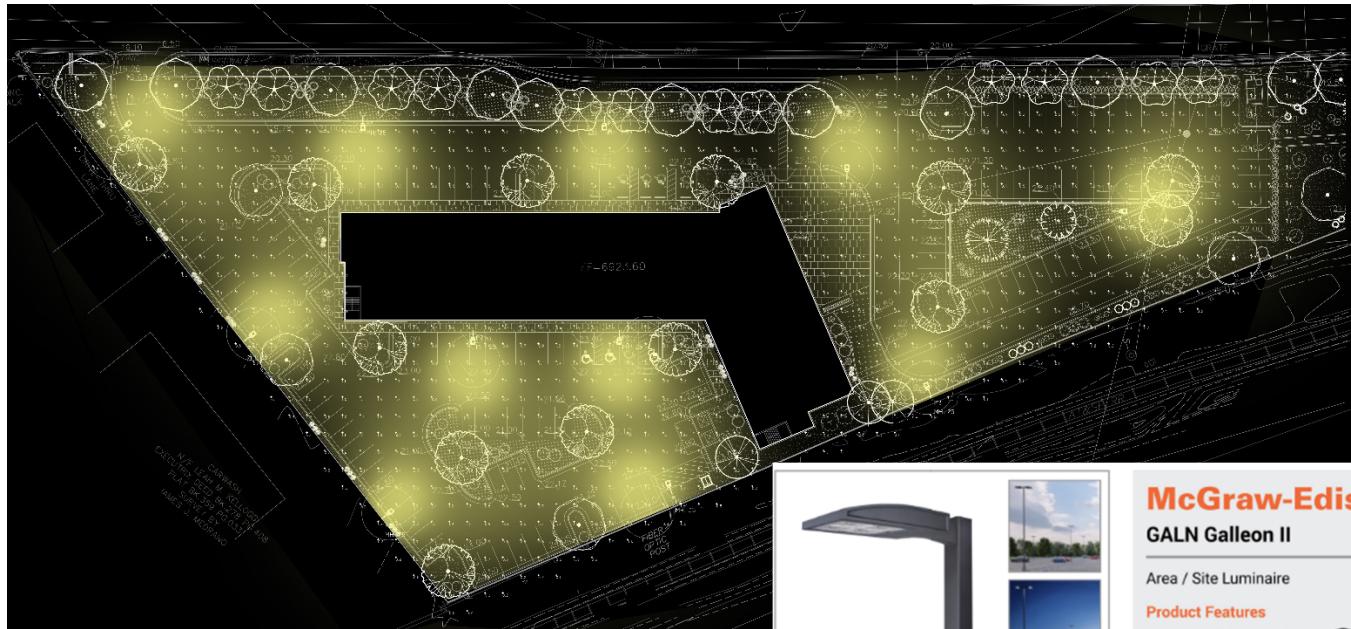
Figure 5 - Landscape Plan

The Lighting plan shown in the diagram below includes only overhead downcast pole-mounted fixtures within the parking area. All exterior fixtures will be required to meet the City's Night Sky Ordinance and the requirements of § 14-8.9 Outdoor Lighting. Staff is adding a condition that the Applicant revise the Lighting plan to show all exterior fixtures and address nuisance glare. This includes ensuring all pole

fixtures and any additional outdoor fixtures include shields on that focus the illumination downward.

*§ 14-8.9(D)(3) General Standards (3) All outdoor luminaires shall be designed, installed, located and maintained such that nuisance glare onto adjacent properties or streets shall be minimized to the greatest extent practicable. Disabling glare onto adjacent properties or streets is not allowed.*

The DRT Conditions of Approval and Technical Corrections may be found in Attachment A of this report.



#### e. Architectural Design

According to the applicant's renderings, the architectural design follows the "Santa Fe Style," featuring exterior stucco walls in a two-tone earth-color palette. The proposed building is four stories tall and includes more than 20,000 square feet of gross floor area.



01 NORTHWEST PERSPECTIVE VIEW

Figure 7 - Perspective View

Publicly visible façades incorporate step-backs and wall-plane projections; however, these projections and setbacks do not fully meet the requirement that they have a depth of at least three percent of the façade length while also extending across at least 20 percent of that length. The changes in color along the facade help to provide visual interest in order to break up the building's mass.

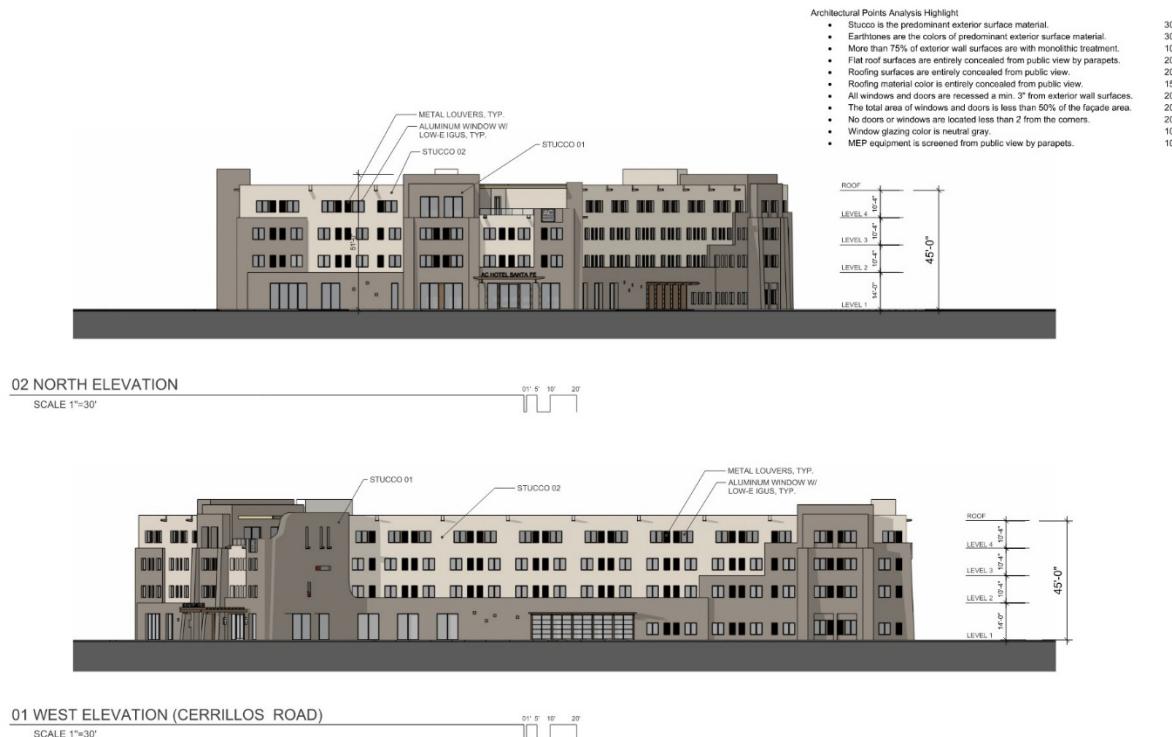


Figure 8 - Building Elevations – North and West

The building meets the required point total in the Architectural Design Review section of the code

applicable to this zoning district. Its exterior color scheme reflects traditional Santa Fe earth tones, achieved through colored masonry. The structure includes a flat roof with concealed roof surfaces and screened mechanical equipment.

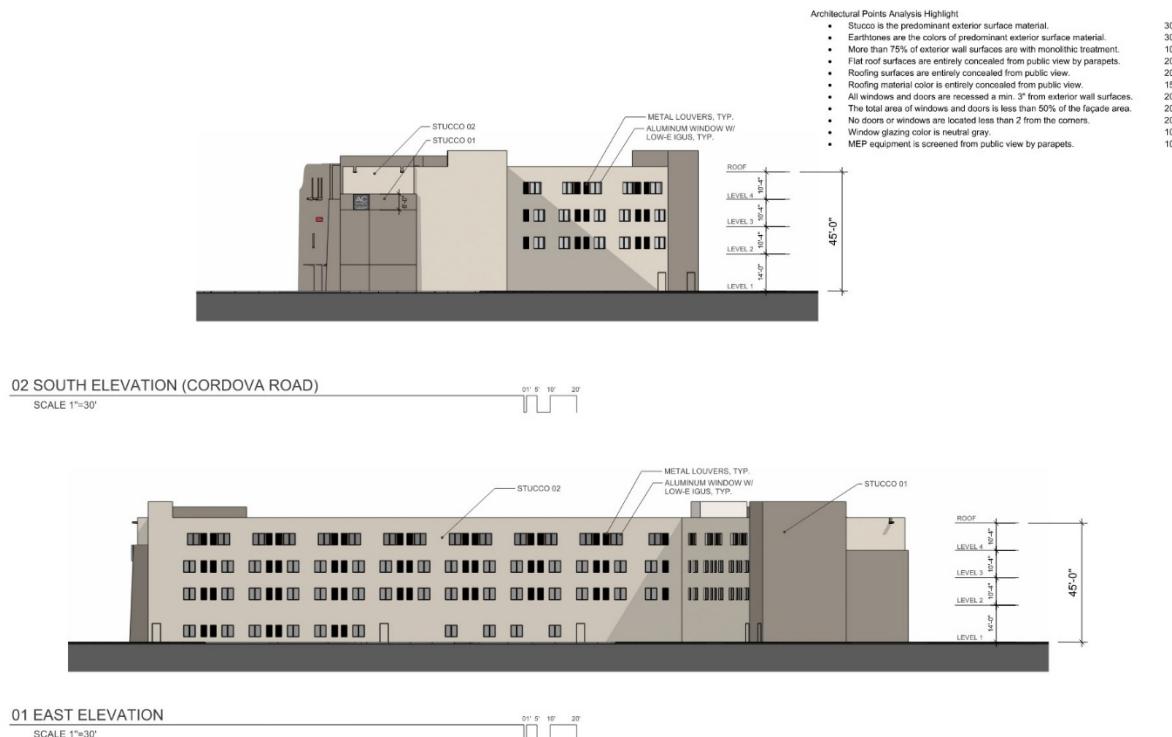


Figure 9 - Building Elevations - South and East

The DRT Conditions of Approval and Technical Corrections may be found in Attachment A of this report.

#### f. Fire Prevention and Emergency Access

Two 26-foot aerial apparatus access drives are provided along the west and north sides of the building, each with the required 28-foot turning radius as required by the IFC. The building will have an automatic fire-suppression system that meets all IFC standards. Two existing fire hydrants are located on the west side of Cerrillos Road directly across from the site. A 6-inch fire line will connect to the water main and to the building through a backflow preventer and hot box.

The DRT Conditions of Approval and Technical Corrections may be found in Attachment A of this report.

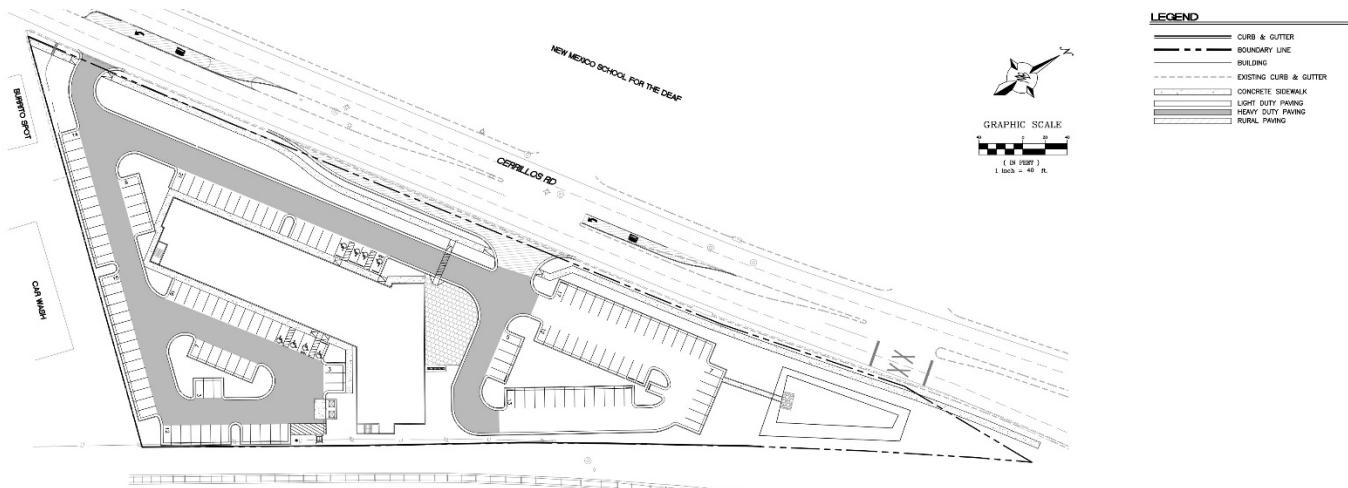


Figure 10 - Fire One Plan

### g. Water

The Project will be served by a new 4-inch service line connected to the existing 6-inch water main along Cerrillos Road. A 4-inch meter and vault already exist on-site.

The proposed development requires the existing structures on the Property to be demolished and entirely new construction added, the Applicant asserts that the development water budget should be reduced by the average annual consumption during the twenty-four months of highest water use within the past ten years.

The Applicant submitted a water budget projecting a maximum annual water demand of 12.82 acre-feet per year (AFY). The Applicant is requesting approval of an alternative development water budget pursuant to SFCC §14-8.13(B)(2)(b), proposing to reduce annual water consumption based on the 24 months during which the highest water use was active within the preceding 10 years, to discount their annual water budget. The applicant has not provided the data for evaluation as to the amount of offset. Furthermore, the Code specifically adds the provision that, for this provision to apply, the previous offset must be higher than the proposed water consumption amount. The Applicant shall use like for like data i.e. Hotels within Santa Fe (not motels or other transient uses) to support their adjusted water budget. As the previous uses were warehouse and commercial uses, it is likely that the water use will be substantially lower than the hotel use.

Pursuant to SFCC §14-8.13-"Dedication of Water to Development," a building permit shall not be issued until the Applicant has dedicated water sufficient to meet the approved development water budget, plus a 9.8% contingency to account for water utility delivery requirements. While §14-8.13(B)(2)(b) allows for an alternative methodology to determining a development water budget, it should not override or waive the dedication requirements of SFCC §14-8.13.

Allowing construction to proceed prior to completion of the required water rights transfer would place a direct strain on City water resources. In the absence of a completed transfer, the City would be required to temporarily support the proposed development using City held water rights, thereby assuming the risk that the required offset may not ultimately be secured.

The States water rights transfer process is subject to protest and appeal, and such appeals may extend for multiple years or result in the transfer being denied.

During this period of uncertainty, the City would continue to serve the development with the assurance that the water demand will be fully offset, which is inconsistent with the purpose of SFCC §14-8.13.

Accordingly, the Applicant shall submit a revised water budget identifying the annual water consumption based on the 24 months during which the highest water use was active within the preceding 10-year period. The revised water budget shall utilize available historic water use data from the existing property and shall be submitted to the City Water Resources Division for review and approval.

Approval of the development water budget and completion of the required water rights transfer shall be required prior to the issuance of any construction/building permit.

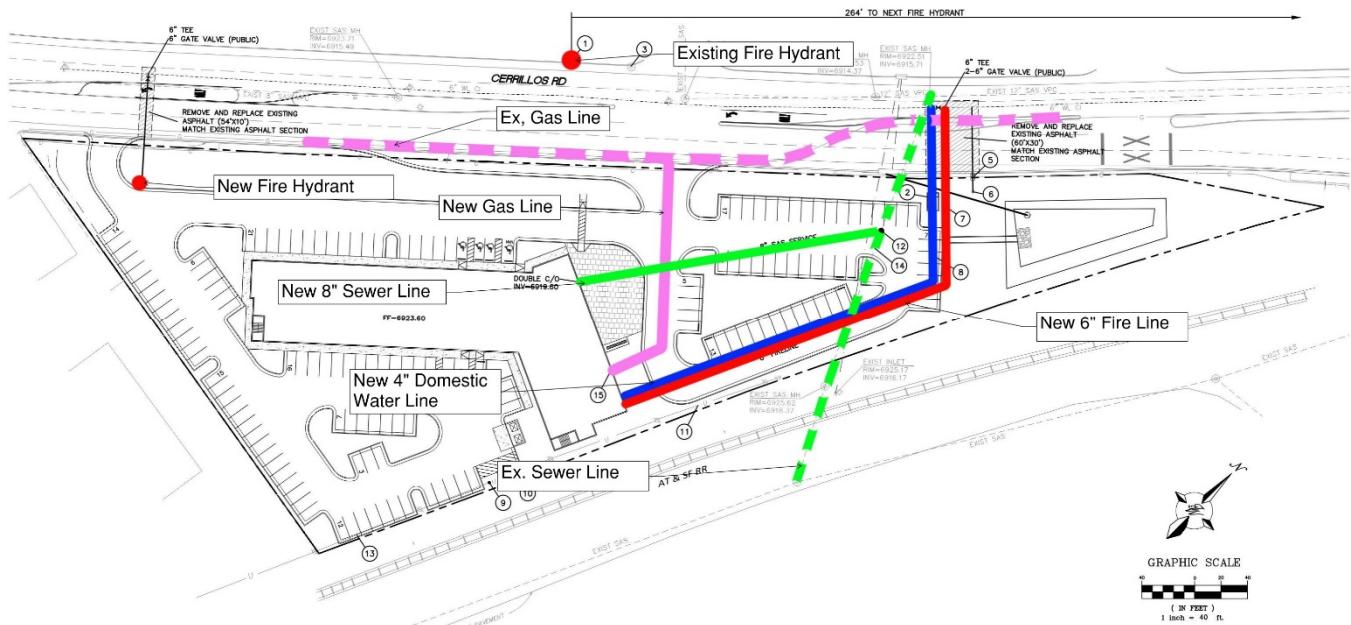
Should subsequent monitoring or verification demonstrate that actual water use is less than the approval development water budget, the City may adjust water use accounting and billing consistent with the adopted administrative procedures. However, any such adjustment shall not delay or replace the requirement to complete the water rights transfer in advance of permitting.

The DRT Conditions of Approval and Technical Corrections may be found in Attachment A of this report.

**h. Sewer**

An existing 10-inch sewer main runs east–west along the north side of the site. A new 8-inch sewer service line will connect to this main via a new manhole.

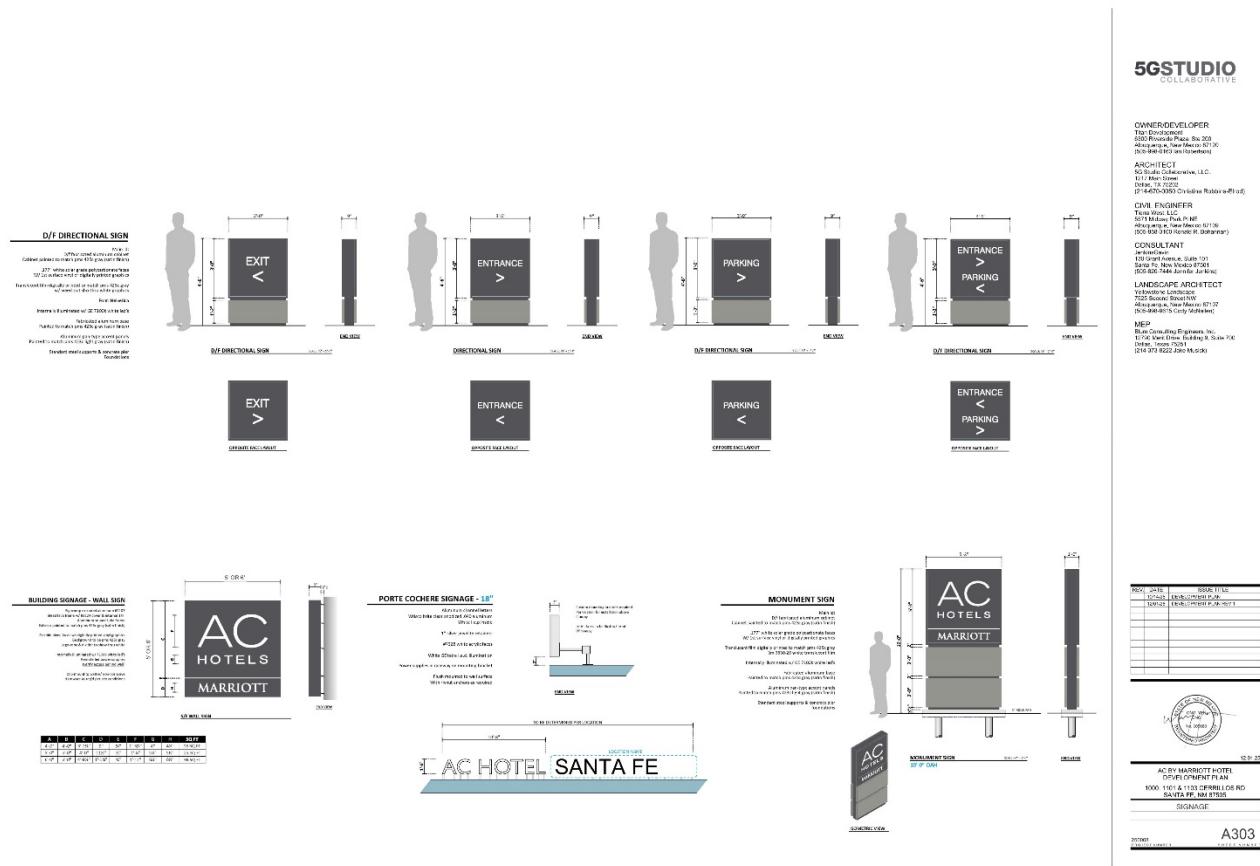
The DRT Conditions of Approval and Technical Corrections may be found in Attachment A of this report.



### *Figure 11- Utility Service Plan*

### i. Signage

The Applicant has complied with the signage requirements, per SFCC14-8.10(G)(8), in the Cerrillos Highway Corridor Protection District. Three signs are proposed, which include a freestanding Monument Sign, a porte-cochere mounted sign, and a wall sign on the hotel building. Signage will be reviewed in detail and approved at the time of building permit.



*Figure 12 - Proposed Site Signage*

#### j. Impact on Schools

This project does not include any residential units, and thus there is no impact on schools.

## **k. Archaeology**

The Project is located within the Suburban Archaeological District. As the Project is less than 10 acres in size, archaeological clearance is not required. However, the site is the former location of the 1800's Penitentiary. Staff encourages monitoring of ground disturbing activities as there is the unknown potential to encounter historic prison cultural remains in and around the site boundaries.

The DRT Conditions of Approval and Technical Corrections may be found in Attachment A of this report.

## I. Santa Fe HOMES Program

The proposal does not include residential units, so no Santa Fe HOMES requirements are triggered.

## V. DEVELOPMENT PLAN APPROVAL CRITERIA SECTION 14-3.8(D)(1)

SFCC Section 14-3.8 governs the authority, procedures, and restrictions for development plans. The Criteria for approval of Development Plans are detailed below:

<b>§14-3.8(D)(1)(a)</b> - that it is empowered to approve the plan under the section of Chapter 14 described in the application;	Criterion Met: (Yes/No) YES
<i>Applicant Response:</i> SFCC 14-2.3(C)(1) states, "Unless otherwise provided in Chapter 14, the planning commission shall review and approve or disapprove various specific plans, requests and subdivision plats."	
Staff Response: The Santa Fe City Code (SFCC) Subsection 14-2.3(D)(1) authorizes the Planning Commission to review and approve or disapprove development plans and subdivision plans. Subsection 14-3.8(B) requires approval of a development plan for projects with a gross floor area of thirty thousand feet or more.	
The Development Plans comply with Santa Fe City Code Section 14-3.8(D)(1)(a).	
<b>§14-3.8(D)(1)(b)</b> - that approving the development plan will not adversely affect the public interest;	Criterion Met: (Yes/No) YES
<i>Applicant Response:</i> Approving the Development Plan will not adversely affect the public interest. The site houses older commercial structures with significant outdoor storage areas. Redevelopment of the property will greatly enhance and improve this gateway to downtown. The property is centrally located within walking distance to bus service, the Rail Runner Station, and area amenities such as restaurants, the Santa Fe Railyard Park, retail services, the Santa Fe Rail Trail, and the Acequia Trail, supporting multi-modal transportation and reducing automobile dependency. Furthermore, the proposed hotel provides economic benefits through employment opportunities, tourism revenue, lodgers tax revenue, and the multiplier effect of increased visitor spending.	
Staff Response: Staff agrees with the Applicant. The term "Public Interest" is not specifically defined in Chapter 14; however, the Governing Body has implemented the General Plan as stated in Subsection Section 14-1.3 (General Purposes). The resulting ordinances establish minimum standards for health, safety and welfare affecting land uses and developments as a means to protect the public interest from within the municipality.	
Staff has reviewed the Development Plan applications in accordance with the City Code. Subject to staff recommended conditions of approval, the Development Plans comply with minimum standards of Chapter 14 SFCC and would not adversely affect the public interest.	
The Development Plans comply with Santa Fe City Code 14-3.8(D)(1)(b).	

<p><b>14-3.8(D)(1)(c)</b> - that the use and any associated buildings are compatible with and adaptable to buildings, structures and uses of the abutting property and other properties in the vicinity of the premises under consideration.</p>	<p>Criterion Met: (Yes/No) YES</p>
<p><i>Applicant Response: The proposed hotel is compatible with surrounding structures and uses, which include Capital Flats, a four-story multi-family housing development, the New Mexico School for the Deaf (NMSD), and the South Capitol complex of large, multi-story state government buildings. Inspired by the Pueblo Revival architecture of the NMSD campus, the building design is adaptable to area structures. In addition, development of a quality hotel at the heart of this lively commercial and recreational area aligns with the General Plan policy supporting a diverse mix of land uses in all areas of the City, as well as with the policy encouraging infill development.</i></p>	
<p>Staff Response: The proposed hotel use is a use that is allowed in a C-2 Zoned district. The adaptability of the structure within the C-2 District is compatible with the uses adjoining the property. The architecture deviates from the traditional Santa Fe Style with setbacks that do not specifically meet the SFCC code. However, the building, through the architectural points analysis does comply with 14-8.7 – “Architectural Design Review.”</p>	
<p>The Development Plans comply with Santa Fe City Code Section 14-3.8(D)(1)(c).</p>	

## VI. EARLY NEIGHBORHOOD NOTIFICATION

An Early Neighborhood Notification meeting was held on September 30, 2025. Approximately 31 neighbors were in attendance. Discussion centered around concerns regarding traffic, building design/height, environmental impacts, views, safety and the need for a new hotel.

## VII. EXPIRATION

Per SFCC Section 14-3.19(B)(4) “Approval of a final development plan, or any development plan for which no preliminary development plan was required, shall expire three years after final action approving it unless actual development of the site or offsite improvements has begun and is continued pursuant to Subsection 14-3.19(B)(6).” Therefore, should the Commission approve the development plan, the expiration date would be three years from the adoption of the Findings of Fact and Conclusions of Law or 35 days after the date of the hearing.

## VIII. ATTACHMENTS:

ATTACHMENT A: Conditions of Approval and Technical Corrections

- A-1: Table of Conditions of Approval
- A-2: Table of Technical Corrections
- A-3: Development Review Team Compiled Comments

ATTACHMENT B: Maps and Figures

- B-1: Maps and Figures

ATTACHMENT C: Applicant Materials

- C-1: Letter of Intent – Development Plan Report
- C-2: Certificate of Compliance as Legal Lot of Record
- C-3: Architectural Points Checklist
- C-4: Utility Service Application
- C-5: Preliminary Water Budget
- C-6: Traffic Impact Analysis
- C-7: Development Plan Drawing Set
- C-8: Infrastructure Drawing Set

ATTACHMENT D: Early Neighborhood Notification

- D-1: ENN Packet
- D-2: ENN Meeting Notes

**APPROVED BY THE PLANNING AND LAND USE DEPARTMENT:**

<b>Title</b>	<b>Name</b>	<b>Initials</b>
Department Director	Heather Lamboy	HLL
Assistant Department Director	Maggie Moore	MRM
Planning Manager	Daniel Esquibel	DAE
Planner Senior	Claudia Kath	CK