



3730 South Meadows



LOS PRADOS  
BY HOMEWISE

Planning Commission | February 6, 2025



# INTRODUCTIONS

*Owner:*

Homewise, Inc.

*Land Planning:*

JenkinsGavin, Inc.

*Engineering:*

Santa Fe Engineering

*Landscape Architect:*

Sites Southwest

*Surveyor:*

Rick Chatroop

# Project Background

The following applications were approved by the City Council on February 8, 2023:

## 1) General Plan Amendments

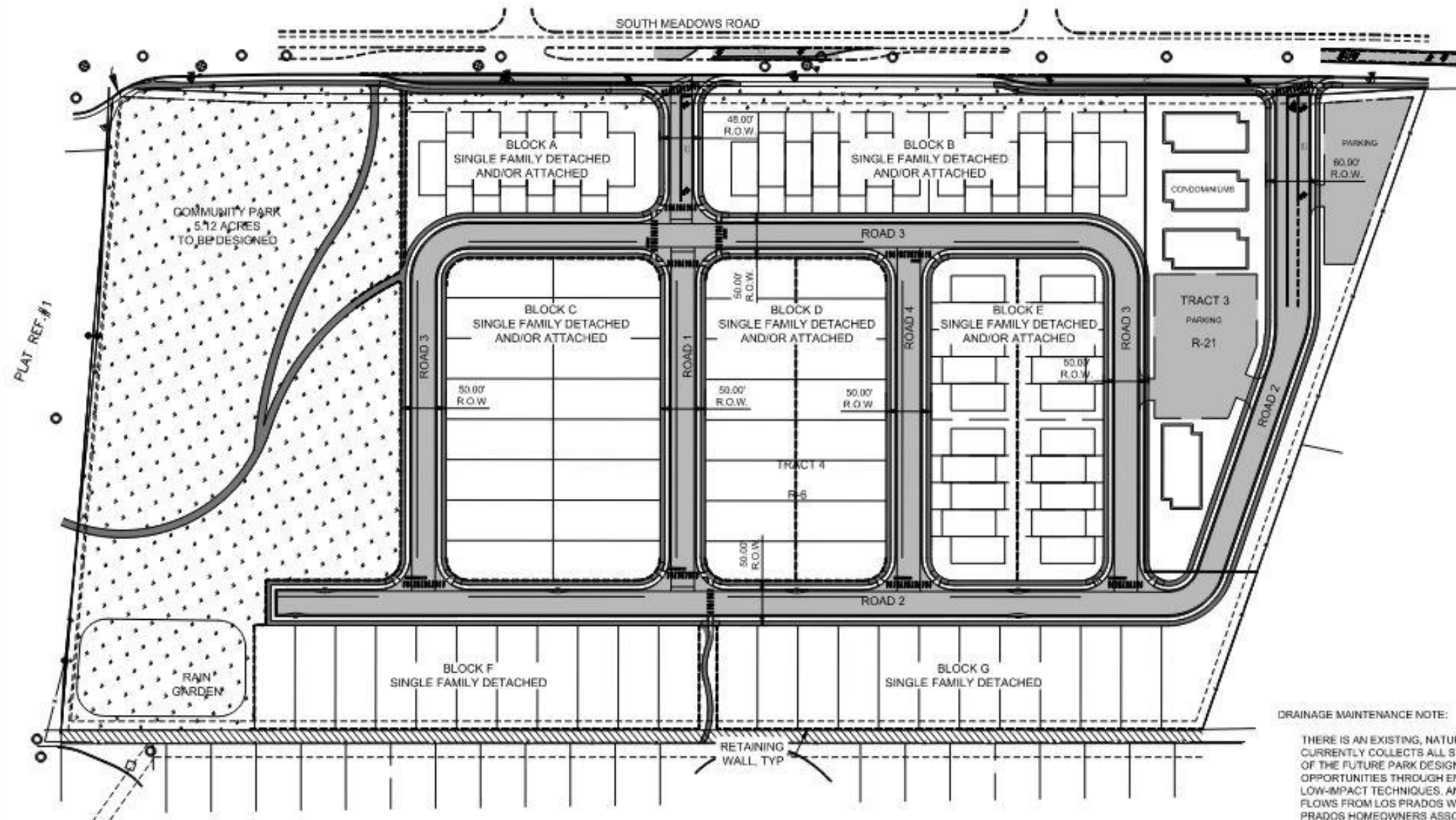
- TRACT 3 (2.66 acres): High Density Residential, 12-29 DU/acre
- *TRACT 4 (19.54 acres): Low Density Residential, 3-7 DU/acre*

## 2) Rezones

- TRACT 3: R-21 (Residential, 21 dwelling units per acre)
- *TRACT 4: R-6 (Residential, 6 dwelling units per acre)*

## 3) Master Plan

- Tract 3: Maximum of 64 dwellings
- *Tract 4: Maximum of 135 dwellings*
- *Community Park comprising 5.12 acres*



## SITE DATA

<b>TRACT 4</b>	
TOTAL AREA	19.54 ACRES
PROPOSED ZONING	R-6, 6 DWELLINGS/ACRE
COMMUNITY PARK	5.12 ACRES
MAXIMUM PERMISSIBLE DWELLINGS:	97 UNITS
 <b>TRACT 3</b>	
TOTAL AREA	2.66 ACRES
PROPOSED ZONING	R-21, 21 DWELLINGS PER ACRE
MAXIMUM PERMISSIBLE DWELLINGS:	64 UNITS (INCLUSIVE OF SFHP 15% DENSITY BONUS)

DRAINAGE MAINTENANCE NOTE:

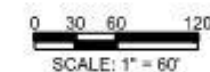
THERE IS AN EXISTING, NATURAL DEPRESSION AT THE NORTHWEST AREA OF THE SITE THAT CURRENTLY COLLECTS ALL STORMWATER FLOWS FROM THE SITE. THEREFORE, IT IS THE INTENT OF THE FUTURE PARK DESIGN TO MAXIMIZE PASSIVE STORMWATER HARVESTING OPPORTUNITIES THROUGH EMPLOYING RAIN GARDENS, PERMACULTURE, AND OTHER SIMILAR LOW-IMPACT TECHNIQUES. ANY FORMAL DRAINAGE IMPROVEMENTS ACCEPTING STORMWATER FLOWS FROM LOS PRADOS WILL BE PLACED IN A DRAINAGE EASEMENT DEDICATED TO THE LOS PRADOS HOMEOWNERS ASSOCIATION WHO WILL BE RESPONSIBLE FOR THE MAINTENANCE OF SUCH IMPROVEMENTS IN ACCORDANCE WITH THE CITY'S ADOPTED DRAINAGE MAINTENANCE REQUIREMENTS AND SCHEDULE.

## GENERAL NOTES

1. PROPERTY WILL BE SUBJECT TO THE WATER ALLOCATION AND/OR WATER OFFSET RETROFIT PROVISIONS OF ORDINANCE NO. 2002-29 AND RESOLUTION 2002-55 AT THE TIME OF PERMIT APPLICATION OR WATER HOOKUP REQUEST. COMPLIANCE SHALL BE ACHIEVED BY USE OF RETROFIT CREDITS OR WATER TRANSFERS, IF APPLICABLE.
  2. COMPLIANCE WITH PROVISIONS OF GUNNISON'S PRAIRIE DOG ORDINANCE SHALL BE COMPLETED PRIOR TO GRADING OPERATIONS.
  3. AMERICANS WITH DISABILITIES ACT (ADA) INSPECTION SHALL BE CONDUCTED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. THE CONTRACTOR SHALL CONTACT CITY STAFF TO SCHEDULE AN INSPECTION.
  4. FENCES, WALLS, OR OTHER OBSTRUCTIONS SHALL NOT BE PLACED OR CONSTRUCTED ACROSS PUBLIC SANITARY SEWER EASEMENTS.
  5. UTILITY EXPANSION CHARGES (UEC) SHALL BE PAID AT THE TIME OF BUILDING PERMIT APPLICATION FOR EACH LOT. CONTACT THE CITY OF SANTA FE PERMIT AND DEVELOPMENT REVIEW DIVISION TO PAY THESE CHARGES.
  6. ALL PROPOSED CHANGES TO THE APPROVED IMPROVEMENT PLANS SHALL RECEIVE PRIOR APPROVAL BY THE CITY OF SANTA FE.
  7. COMPLY WITH THE CURRENT COSF WATER CONSERVATION STAGE.
  8. LANDSCAPE DESIGN SHALL COMPLY WITH APPLICABLE PROVISIONS OF SFCC SECTION 14-8.4.
  9. PARK DESIGN SHALL BE COORDINATED WITH THE PARKS DIVISION, AND THE PARK SHALL BE DEDICATED TO AND MAINTAINED BY THE CITY OF SANTA FE. THE PARK SHALL BE CONSTRUCTED BY THE DEVELOPER AS PART OF PHASE 1.
  10. PROPERTY DEVELOPMENT IS SUBJECT TO THE PROVISIONS OF SECTION 14-8.4(f)(5), "PLANT MATERIAL STANDARDS," WHEREIN PRESERVATION OF SIGNIFICANT TREES IS REQUIRED.
  11. PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH THE PROVISIONS OF COSF ORDINANCE NO. 2008-02 (IMPACT FEES).
  12. PROPERTY DEVELOPMENT, BOTH PUBLIC AND PRIVATE OWNERSHIP, SHALL COMPLY WITH THE COSF ORDINANCE NO. 2002-20 (TERRAIN AND STORMWATER MANAGEMENT) AT THE TIME OF BUILDING PERMIT APPLICATION.
  13. PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 14, LAND DEVELOPMENT CODE, SFCC 1987 AND SUBSEQUENT AMENDMENTS.
  14. PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH THE PROVISIONS OF EACH APPLICABLE CITY OF SANTA FE ORDINANCE ADOPTED PRIOR TO SUBMITTAL WITH BUILDING PERMIT APPLICATION THAT MODIFIES ANY PROVISIONS OF REQUIREMENTS CALLED FOR IN CHAPTER 14, LAND DEVELOPMENT CODE, SFCC 1987 AND SUBSEQUENT AMENDMENTS.
  15. FIRE DEPARTMENT ACCESS SHALL BE MAINTAINED THROUGHOUT ALL DEVELOPMENT CONSTRUCTION PHASES AS PER IFC 1410.1.
  16. AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE AS PER IFC 1412.1.
  17. PERMANENT TRAFFIC CONTROL DEVICES SHALL BE INSTALLED PER APPROVED PLAN BY THE DEVELOPER.
  18. THIS DEVELOPMENT LIES OUTSIDE OF A CITY OF SANTA FE HISTORIC DISTRICT.
  19. THE LAYOUT SHOWN HEREON IS CONCEPTUAL AND MAY BE MODIFIED AS PART OF THE SUBDIVISION PLATTING AND/OR DEVELOPMENT PLAN PROCESS WITHOUT THE NEED FOR MASTER PLAN AMENDMENT.
  20. PROPERTY DEVELOPMENT IS ANTICIPATED TO TAKE PLACE IN THREE PHASES. PER THE APPROVED PHASING PLAN, PHASING MAY BE MODIFIED ADMINISTRATIVELY BY THE CITY OF SANTA FE LAND USE DEPARTMENT WITHOUT THE NEED FOR A MASTER PLAN AMENDMENT.



**MASTER PLAN**  
SCALE: 1" = 50'



SCALE: 1" = 60'

**SFE C** Santa Fe Engineering Consultants, LLC  
1699 St. Francis Drive, Suite B  
Santa Fe, N. M. 87505  
(505) 982-2845 Fax (505) 982-2841  
<http://www.SFENGR.com>

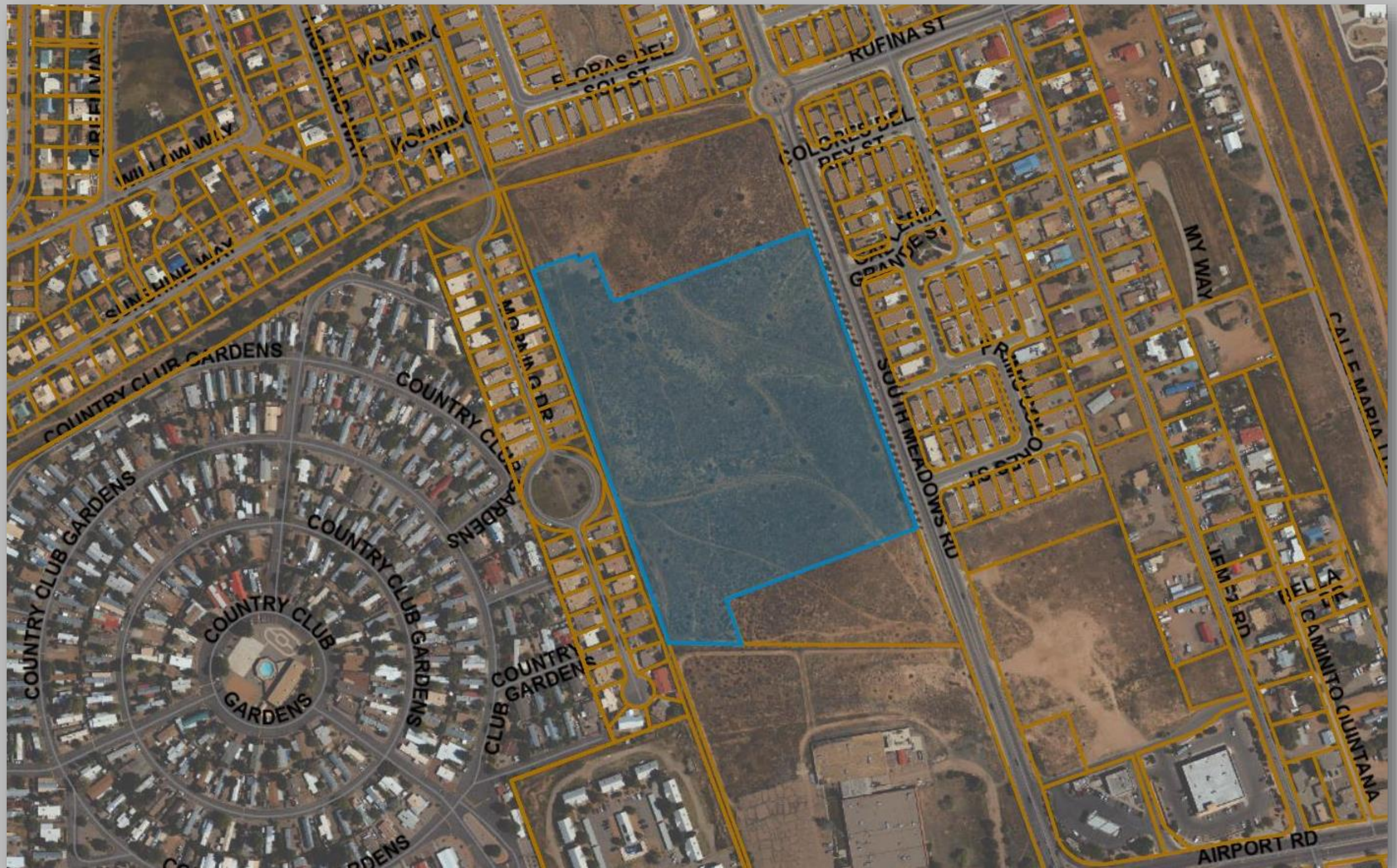
MASTER PLAN  
FOR LOS PRADOS  
3600 AND 3740 SOUTH MEADOWS RD

LOS PRADOS MASTER PLAN

DATE	SCALE	SHEET
AUGUST 2022	1" = 60'	3-1

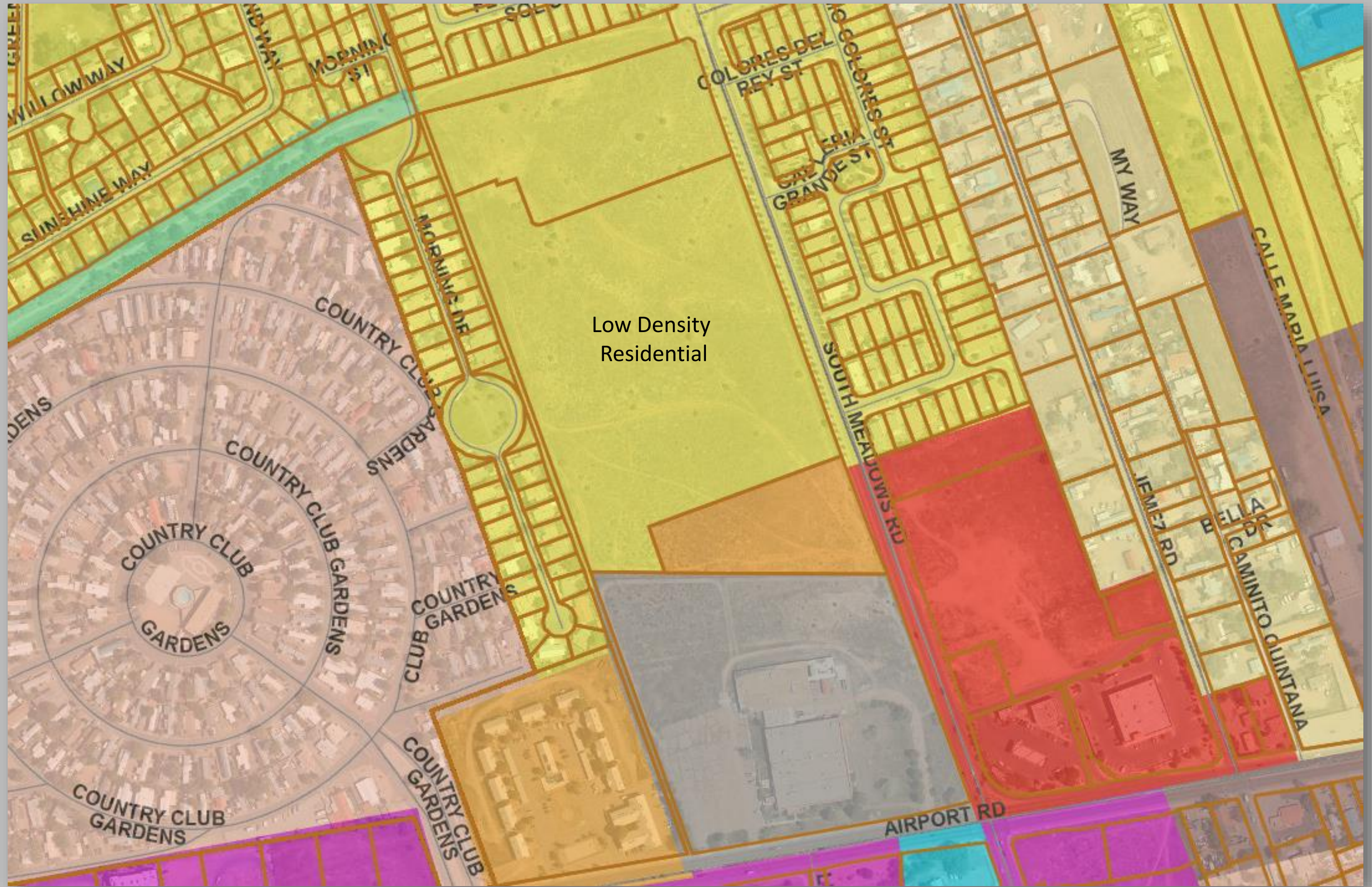


## Vicinity Map



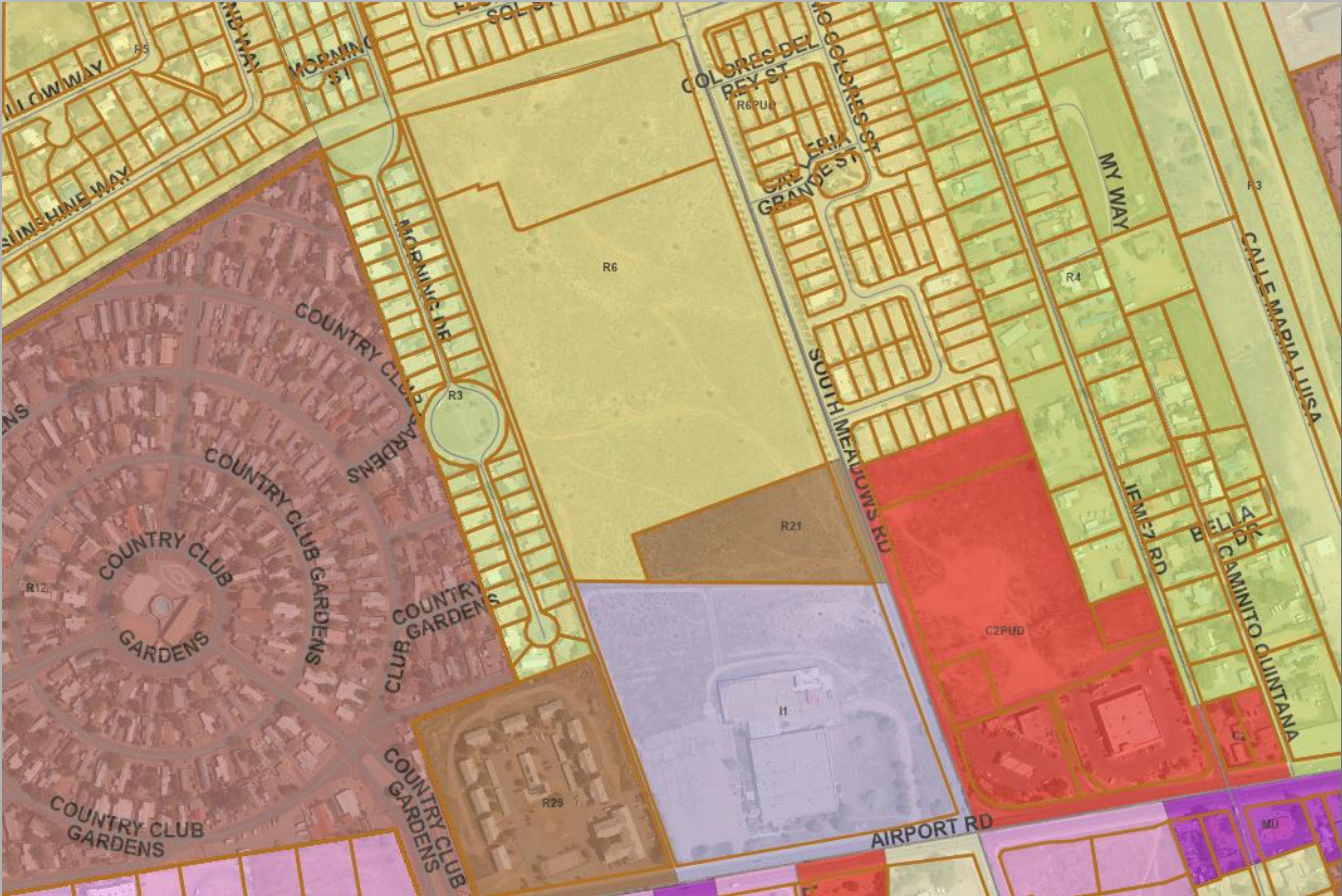


## Future Land Use Map





# Zoning Map





# Existing Conditions





**97 homes - 55 Detached and 42 Townhomes**

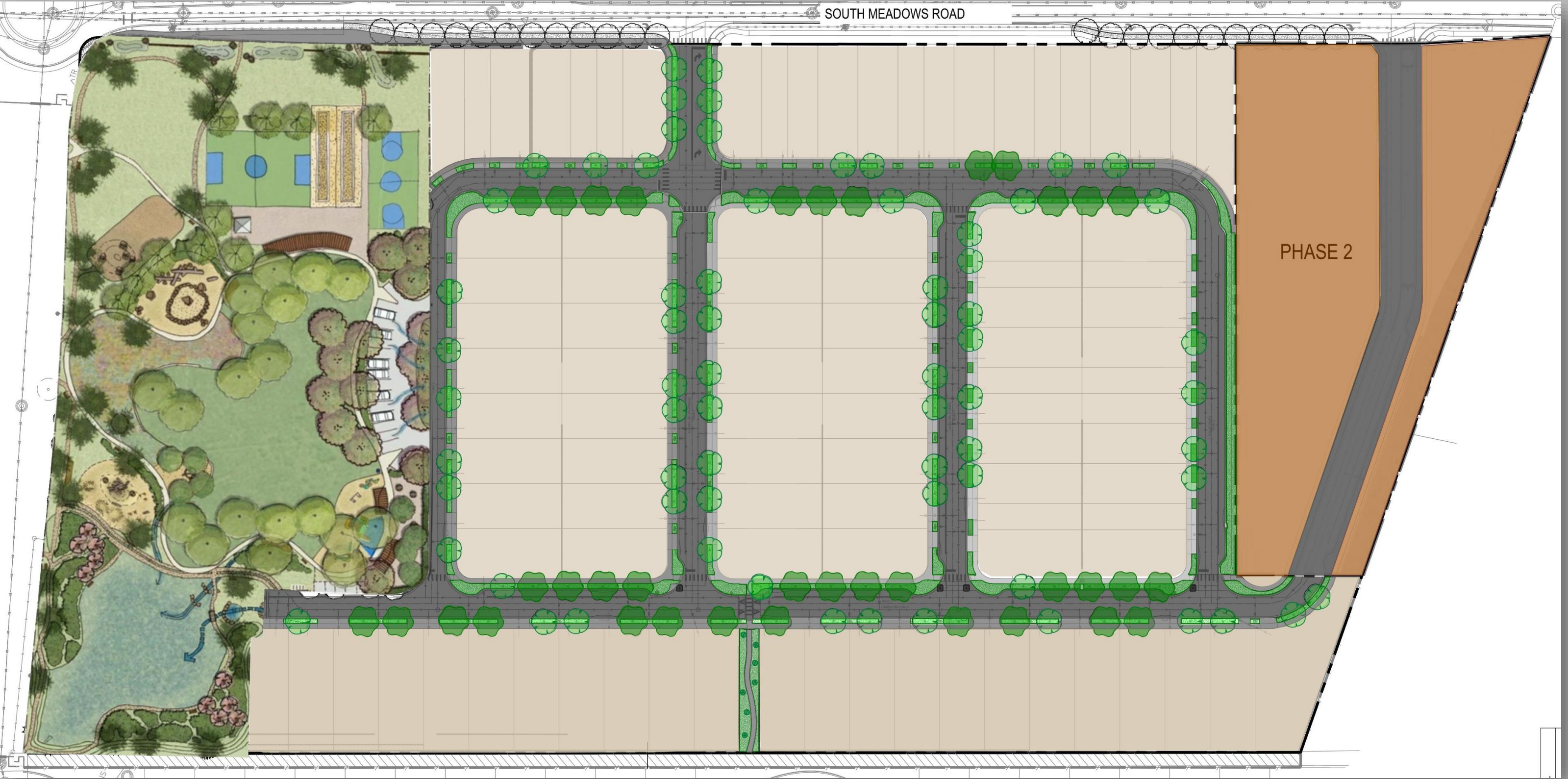
**Affordable Housing**      Required: 20% or 19 homes      Proposed: 50.0% or 49 homes

## **5.12-acre Community Park**

- Children's Active and Nature Play Areas
- Mini-Pitch Soccer
- Basketball Court
- Bocce Ball Courts
- Walking Trails
- Natural Open Space
- Secure Dog Play Area
- Shade Structures
- Parking Area
- Trail Connections to future Acequia Trail and surrounding neighborhoods

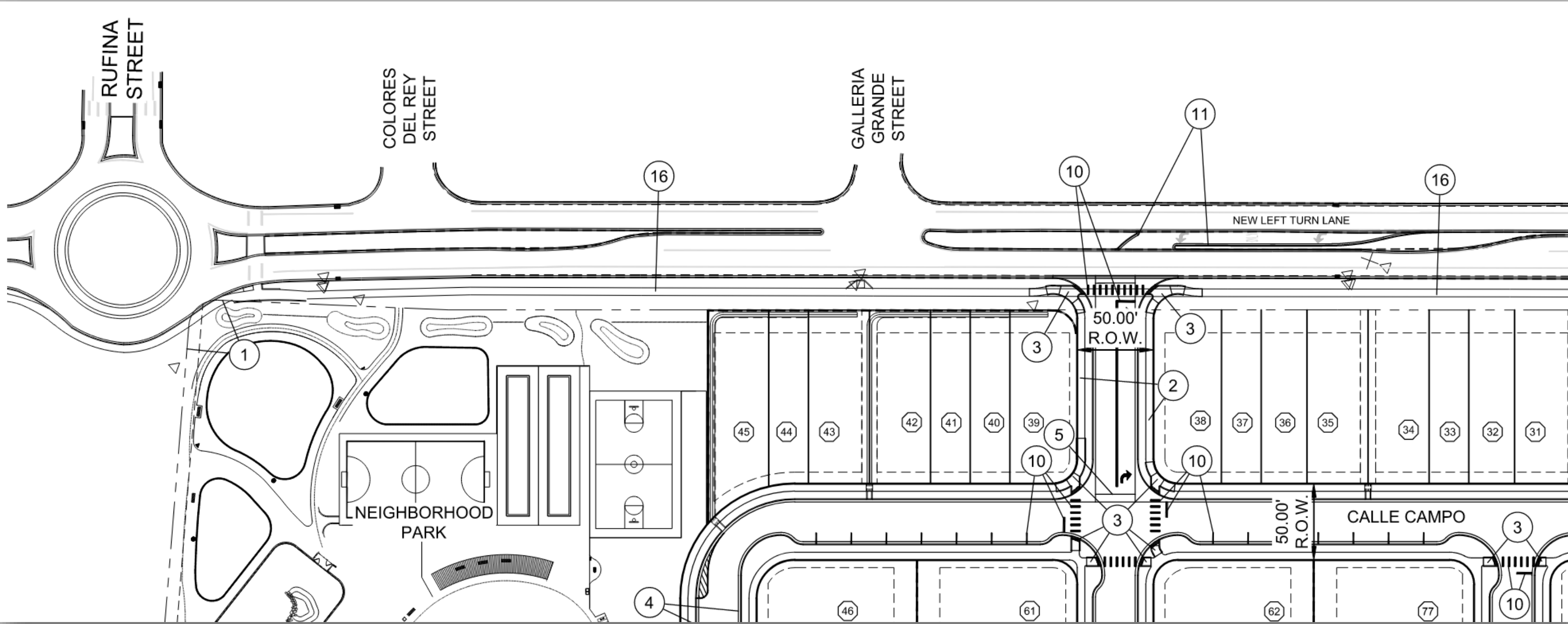


# Subdivision Plan, Phase 1



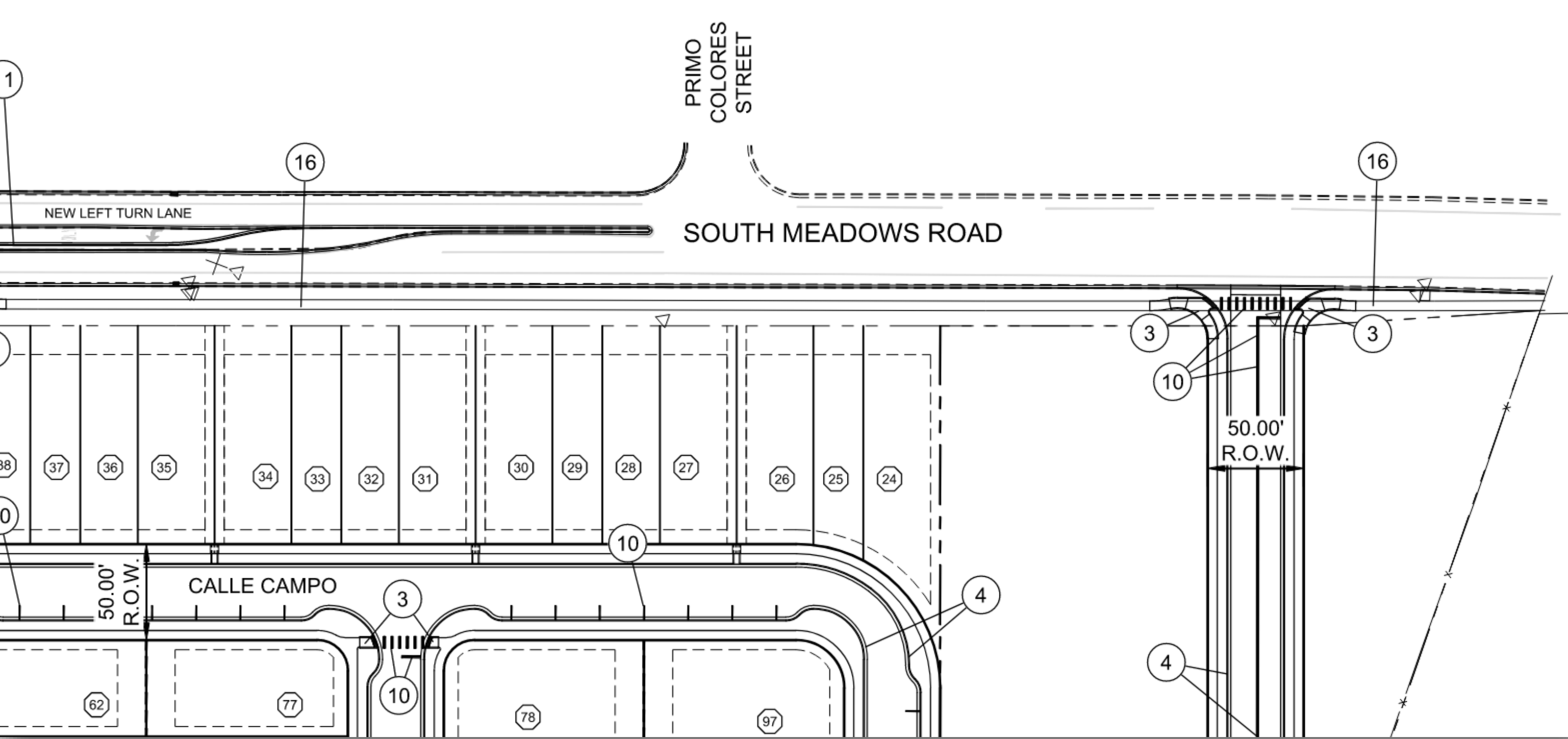


# North Access





# South Access



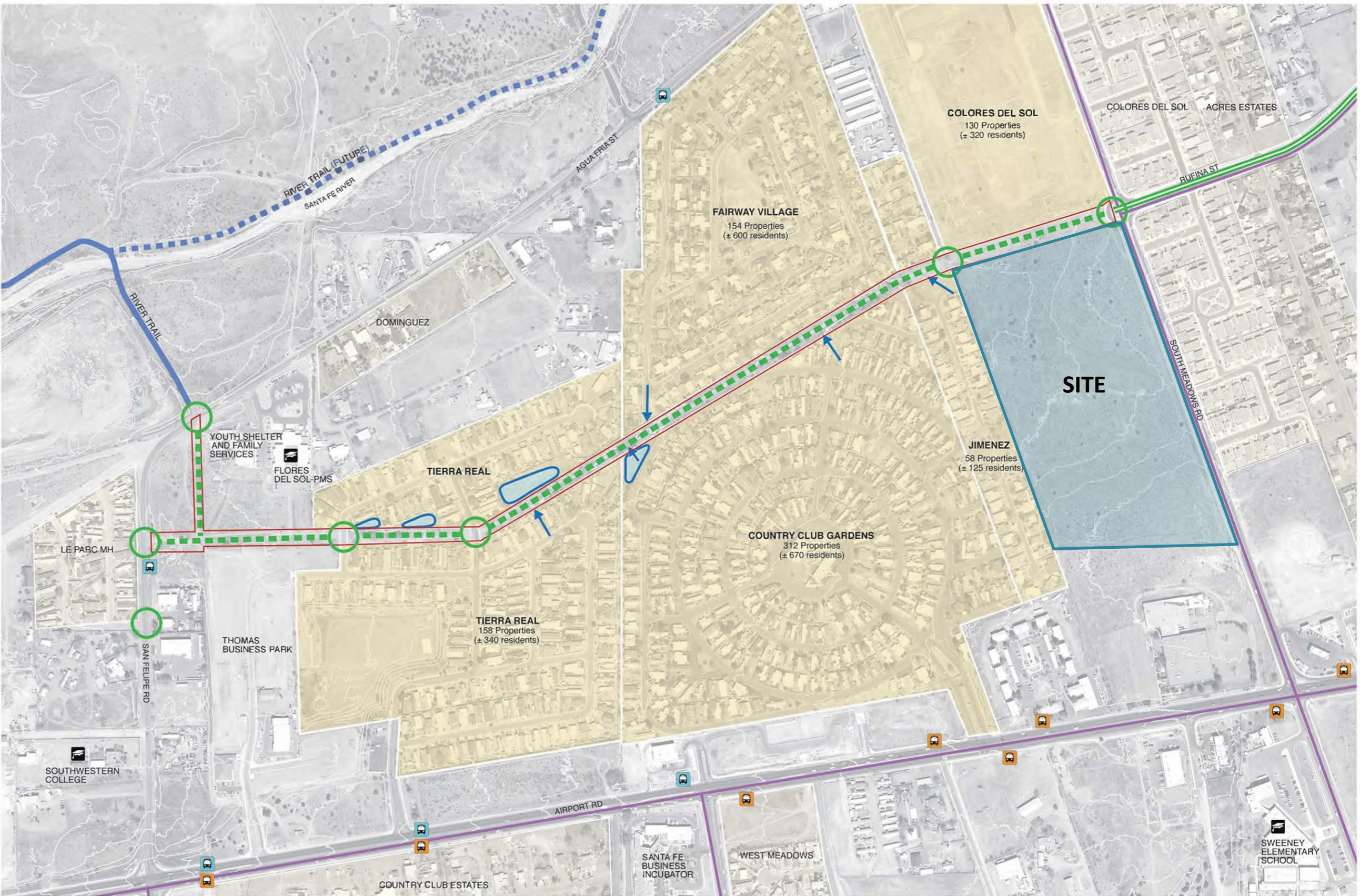


# Neighborhood Park





# City of Santa Fe Acequia Trail Extension Project



## ACEQUIA TRAIL EXTENSION - SITE CONTEXT MAP DRAFT

Produced for the City of Santa Fe by design office - Radian Engineering

RUFINA ST / SOUTH MEADOWS RD TO SAN FELIPE RD / AGUA FRIA ST





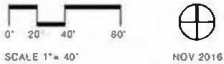
# City of Santa Fe Acequia Trail Extension Project



ACEQUIA TRAIL EXTENSION - SITE PLAN (EAST) **DRAFT**

Produced for the City of Santa Fe by design office · Radian Engineering

RUFINA ST / SOUTH MEADOWS RD TO SAN FELIPE RD / AGUA FRIA ST





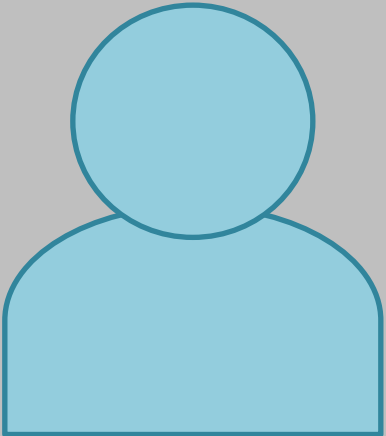
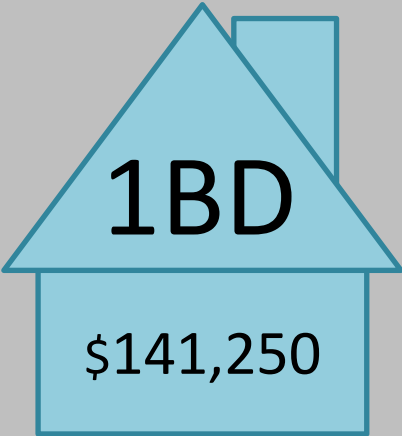


- 100% of homes will be BELOW MARKET
- 50% will meet the City's AFFORDABLE HOUSING guidelines

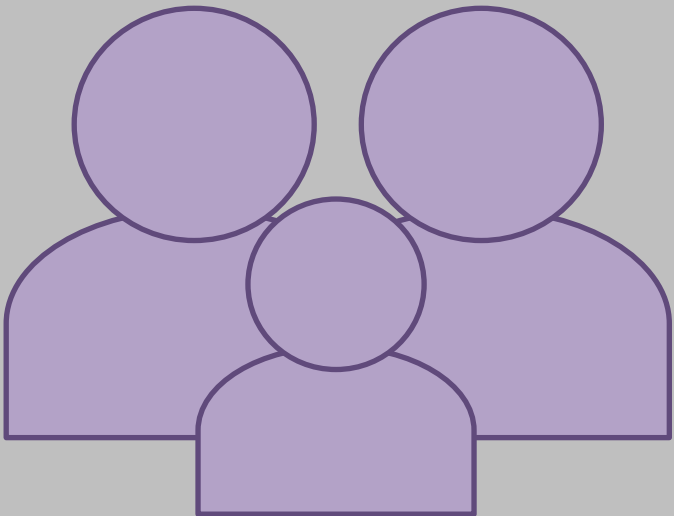
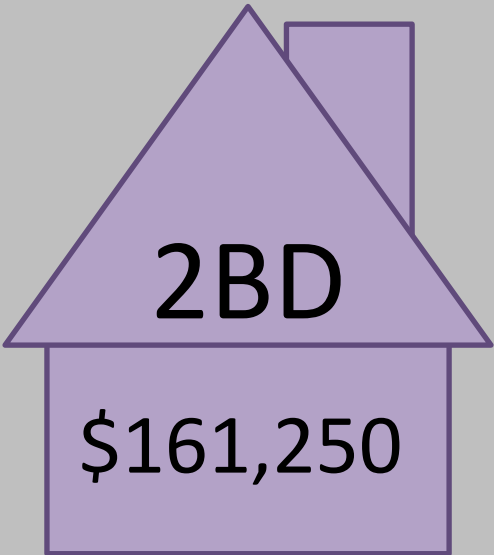
- **Santa Fe Homes Program:** 20% of units are required to be priced affordably.
- An additional 30% of the homes will be “Low Priced Dwelling Units”
- The remaining 50% will be priced below the median home price to be affordable to Santa Fe's workforce.



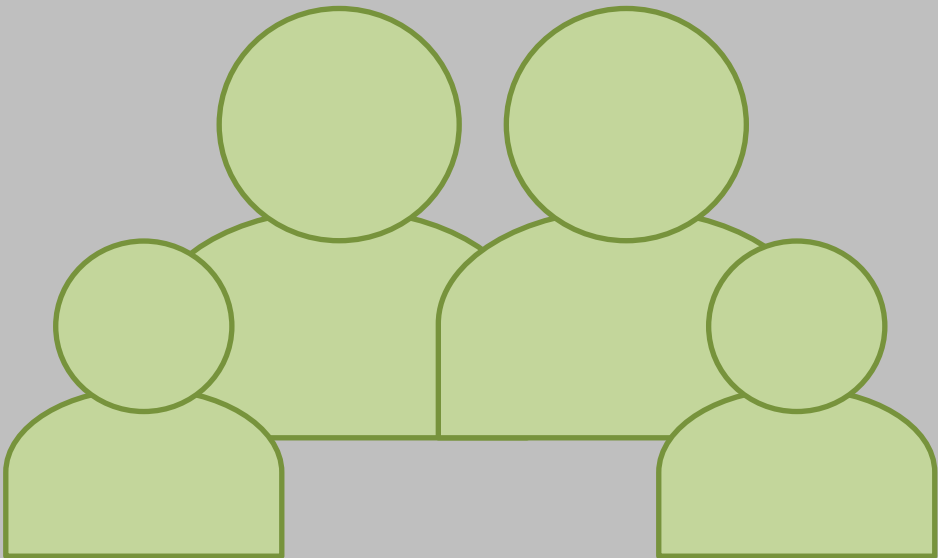
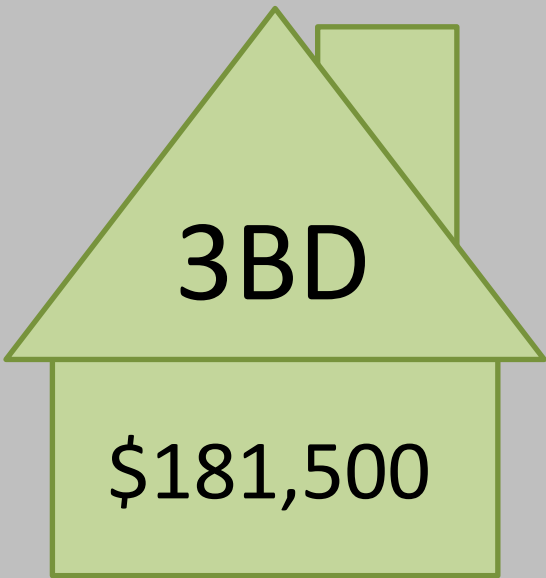
# Affordable Housing Examples



About \$42,000/year  
Roughly \$1,200/month payment



About \$54,000/year  
Roughly \$1,300/month payment



About \$60,000/year  
Roughly \$1,400/month payment



LOS Definitions			
Level of Service	Definition	Signalized (sec/veh)	Unsignalized (sec/veh)
A	Most vehicles don't stop.	<10	<10
B	Some vehicles stop.	>10 and <20	>10 and <15
C	Significant number of vehicles stop.	>20 and <35	>15 and <25
D	Many vehicles stop.	>35 and <55	>25 and <35
E	Limit of acceptable delay.	>55 and <80	>35 and <50
F	Unacceptable delay.	>80	>50

*The NMDOT has established LOS D as the generally acceptable level of service in urban areas and when intersections operate below this level, improvements are considered where feasible.*

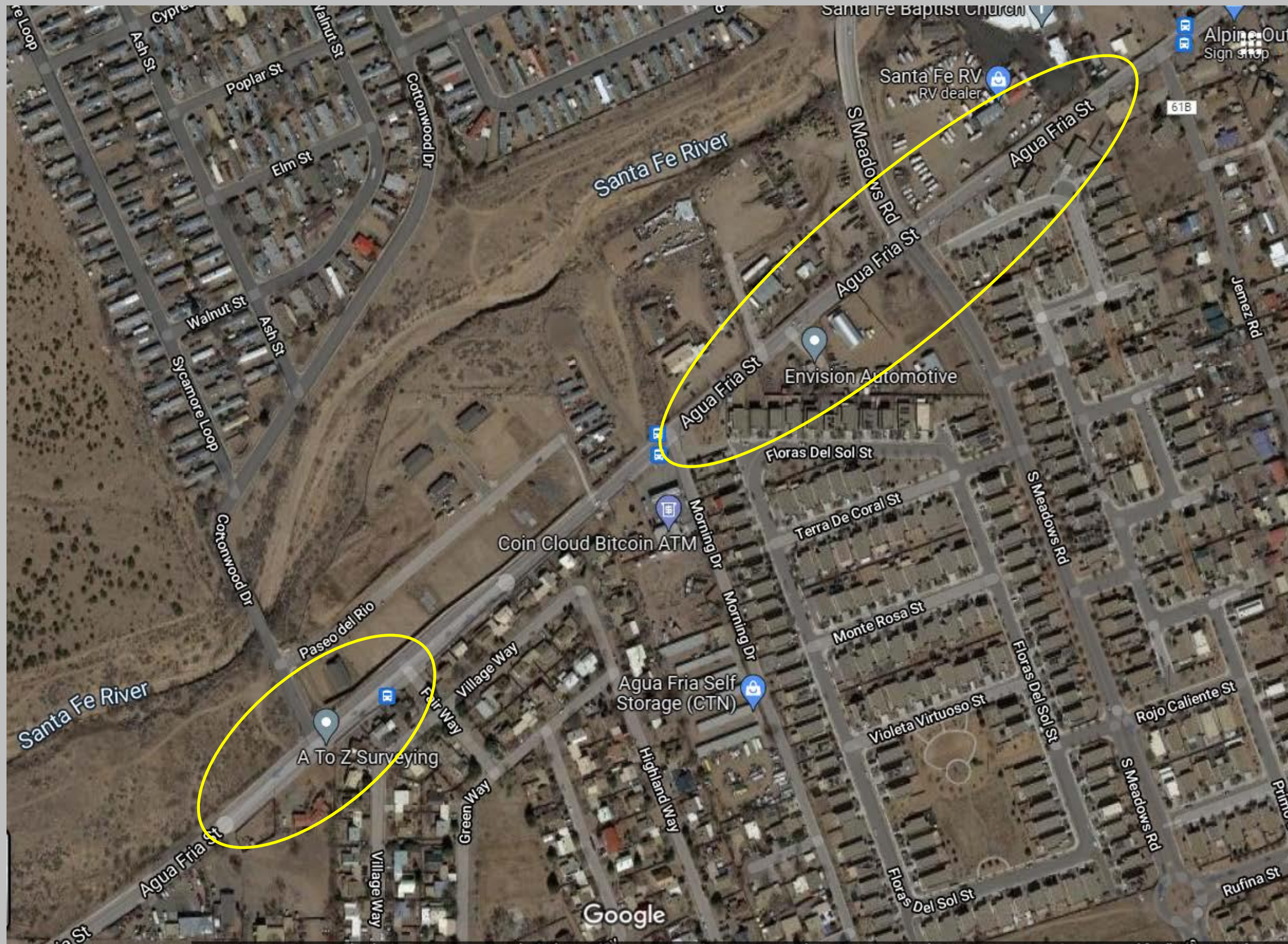


# TIA Results – LOS Analysis

Intersection Studied	Existing AM Peak Hour	Existing PM Peak Hour	Implementation Year (2026) AM Peak Hour	Implementation Year (2026) PM Peak Hour	Horizon Year (2036) AM Peak Hour	Horizon Year (2036) PM Peak Hour
Airport Rd / South Meadows Rd	C	C	D	C	D	C
South Meadows Rd / Primo Colores	B or better	B or better	C or better	C or better	C or better	C or better
South Meadows Rd / Galleria Grande	B or better	B or better	C or better	C or better	C or better	C or better
South Meadows Rd / Colores del Rey	B	B	B	B	B	B
Rufina St / Primo Colores	B or better	B or better	C or better	C or better	C or better	C or better
South Meadows Rd / Rufina St	B	B	B	B	B	B
South Meadows Rd / Rojo Caliente / El Vado St	B or better	B or better	C or better	C or better	C or better	C or better
South Meadows Rd / North Entry	--	--	C or better	C or better	C	C
South Meadows Rd / South Entry	--	--	C or better	B or better	C or better	C or better



# City Agua Fria Project Locations

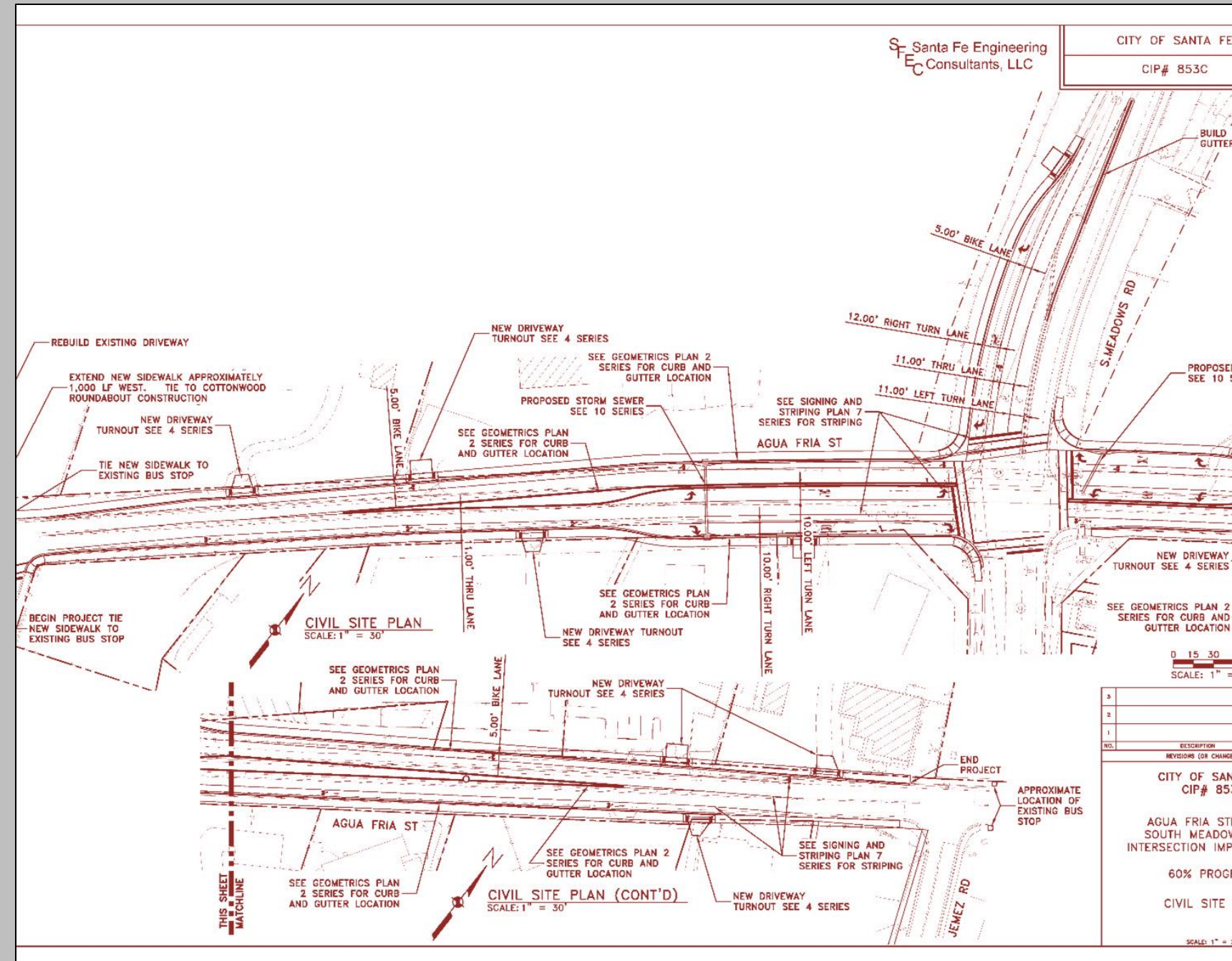




# Agua Fria – South Meadows Intersection Improvements Project

## PROJECT CHARACTERISTICS

- Project Length: 0.28 mi
- Main Improvements:
  - Turning lanes on all legs of the intersection except for the North bound
  - 5-ft bike lanes
  - 6-ft sidewalks
  - 11 driveways
- Project Cost Estimate: \$3M (fully funded)
- Project Consultants: Santa Fe Eng'g.
- Completion Estimated Q3 2025

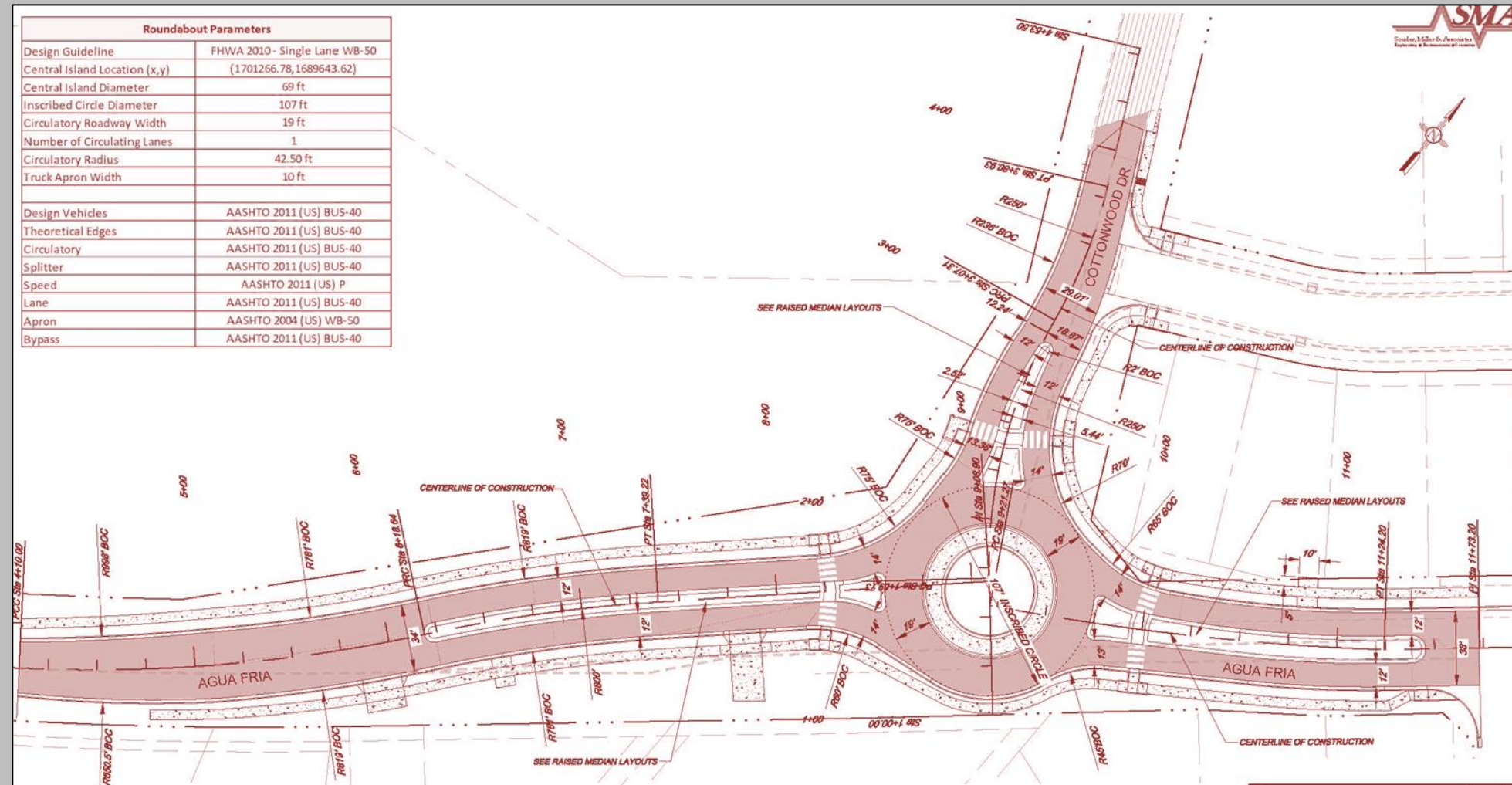




# Agua Fria – Cottonwood Intersection Improvements Project

## PROJECT CHARACTERISTICS

- Project Length: 0.228 mi
- Main Improvements:
  - Construction of a roundabout
  - Pedestrian Improvements
- Project Cost Estimate: \$3M
- Project Consultants: Souder Miller & Assocs.
- Completion Estimated Q4 2026







3730 South Meadows



LOS PRADOS  
BY HOMEWISE

Planning Commission | February 6, 2025



# Environmental Studies

The subject property is north of a former Eberline Instruments site, which is undergoing decommissioning of radioactive materials as governed by the State of New Mexico Radiation Control Bureau.

- A **Phase I Environmental Site Assessment** was conducted in October 2021. This study revealed *“no evidence of recognized environmental conditions in connection with the property.”*
- A **Radiological Survey** of the property was conducted in December 2021, for the purpose of determining if the decommissioning efforts influenced radiation levels on the property: *“**Results of the survey show radiation levels on the property that are the same as ambient environmental levels present in the rest of the community surveyed. No impact from the Eberline decommissioning site was seen during the survey.**”*
- In August 2023, **Soil Gamma Spectrometry** testing was conducted whereby soil samples were analyzed with the following results: *“**All results are indicative of a natural soil sample. No results indicate contamination or activation of the property.**”*





# Neighborhood Park Play Equipment





# Park Dedication Plat



VICINITY MAP (NTS)

## ADJOINER INFORMATION

LETTER	OWNER	PLAT NO.
A	SANTA FE COUNTY	1762014
B	MORRISON	1762014
C	WARRICK	1762014
D	ALDERMAN	1762014
E	WIND	1762014
F	WARRICK	1762014
G	WARRICK	1762014
H	WARRICK	1762014
I	WARRICK	1762014
J	WARRICK	1762014
K	WARRICK	1762014
L	WARRICK	1762014
M	WARRICK	1762014
N	WARRICK	1762014
O	WARRICK	1762014
P	WARRICK	1762014
Q	WARRICK	1762014
R	WARRICK	1762014
S	WARRICK	1762014
T	WARRICK	1762014
U	WARRICK	1762014

NORTH  
SCALE 1"=100'

## CITY OF SANTA FE APPROVAL, NOTES AND CONDITIONS:

CITY ENGINEER FOR LAND USE \_\_\_\_\_ DATE \_\_\_\_\_  
CITY PLANNER \_\_\_\_\_ DATE \_\_\_\_\_

## NOTES

- PROPERTY DEVELOPMENT IS REQUIRED TO COMPLY WITH APPLICABLE PROVISIONS OF CHAPTER 14, LAND DEVELOPMENT CODE, SFCO 1987 AND SUBSEQUENT AMENDMENTS.
- WATERWORKS UTILITY EXPANSION CHARGES (WUE) SHALL BE PAID AT THE TIME OF CONSTRUCTION PERMIT APPLICATION.
- NEW DEVELOPMENT SHALL HAVE WATER SUPPLY THAT MEETS FIRE FLOW REQUIREMENTS AS PER SFCO 1987 OR INSTALL AN AUTOMATIC SPRINKLER SYSTEM.
- PRIOR TO ANY NEW CONSTRUCTION OR REMODELING ALL FIRE DEPARTMENT REQUIREMENTS MUST BE MET OR AUTOMATIC SPRINKLER SYSTEMS MAY BE REQUIRED.
- TRACTS 4-A & 4-B ARE WITHIN ZONE "X" AREAS DETERMINED TO BE OUTSIDE OF THE 500 ANNUAL CHANCE FLOODPLAIN AS PER FIRM PANEL 35540C0303D DATED 6/17/04.

## DEDICATION AND AFFIDAVIT

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED (OWNERS) HAVE CAUSED TO BE ADJOINED COMMON BOUNDARIES OF THESE LOTS DESIGNATED TRACT 4-A AND TRACT 4-B SHOWN HEREIN THIS LOT LINE ADJUSTMENT PLAT IS MADE WITH THEIR FREE CONSENT AND IN ACCORDANCE WITH THE WISHES AND DESIRES OF SAID OWNER(S).

THIS ADJUSTMENT CONTAINS 10.53 AC.±, AND LIES WITHIN THE PLANNING AND PLATTING JURISDICTION OF THE CITY OF SANTA FE, NEW MEXICO.

THE DRAINAGE EASEMENT WITHIN TRACT 4-B IS HEREBY GRANTED TO THE LOS PRADOS HOMEOWNERS ASSOCIATION FOR DRAINAGE FACILITY MAINTENANCE.

BY: \_\_\_\_\_  
MICHAEL D. LOFTIN, EXECUTIVE DIRECTOR, HOMEWISE INC.  
STATE OF NEW MEXICO SS  
COUNTY OF SANTA FE SS  
THE FOREGOING INSTRUMENT WAS SHOWN, ACKNOWLEDGED AND SUBSCRIBED BEFORE ME BY MICHAEL D. LOFTIN, EXECUTIVE DIRECTOR, HOMEWISE INC.  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.  
MY COMMISSION EXPIRES \_\_\_\_\_, 2024.  
NOTARY PUBLIC

## PLAT REFERENCE

- PLAT REFERENCE(1)  
"BOUNDARY SURVEY PREPARED FOR PAUL & JOANNE PEPPARD" BY GARY E. DAWSON MAPLS7014 AND FILED IN PLAT BOOK 476, PG. 32 IN THE OFFICE OF THE SANTA FE COUNTY CLERK. RECORD DATA SHOWN IN (1).
- PLAT REFERENCE(2)  
"BOUNDARY SURVEY PREPARED FOR PAUL & JOANNE PEPPARD" BY GARY E. DAWSON MAPLS7014 AND FILED IN PLAT BOOK 402, PG. 14 IN THE OFFICE OF THE SANTA FE COUNTY CLERK. RECORD DATA SHOWN IN (1).
- PLAT REFERENCE(3)  
"REVISED BOUNDARY SURVEY PREPARED FOR PAUL & JOANNE PEPPARD" BY GARY E. DAWSON MAPLS7014 AND FILED IN PLAT BOOK 206, PG. 14 IN THE OFFICE OF THE SANTA FE COUNTY CLERK. RECORD DATA SHOWN IN (1).
- PLAT REFERENCE(4)  
"SOUTH MEADOWS LOT SPLIT" BY GARY E. DAWSON MAPLS7014 AND FILED IN PLAT BOOK 146, PG. 40 IN THE OFFICE OF THE SANTA FE COUNTY CLERK.
- PLAT REFERENCE(5)  
"CITY OF SANTA FE RUFINA STREET ROW PROJECT PHASE B CLIP, NO. 802" BY ALARD & ASSOCIATES, INC. MAPLS5338 AND NOT RECORDED. RECORD DATA SHOWN IN (1).
- PLAT REFERENCE(6)  
"AMENDED PLAT OF THE JAMNEZ SUBDIVISION TRACT C & D" BY MORRIS A. APONTE MAPLS5330 AND FILED IN PLAT BOOK 146, PG. 23 IN THE OFFICE OF THE SANTA FE COUNTY CLERK.

## NOTES-CONTINUED

- CITY APPROVAL OF THIS PLAT DOES NOT ALTER OR REMOVE ANY EASEMENTS, RESTRICTIONS, OR REPERMITS OF RECORD PERTAINING TO THE LAND HEREIN DESCRIBED.
- PARCELS 4-A AND 4-B ARE BOUND BY THE MASTER PLAN CONDITIONS AS OUTLINED IN LAND USE CASE #2022-0015, TITLED "3000 & 3740 SOUTH MEADOWS MASTER PLAN". THESE CONDITIONS WERE PROPOSED BY THE PLANNING COMMISSION TO THE GOVERNING BODY ON NOVEMBER 3, 2022 AND SUBSEQUENTLY ADOPTED AS CONDITIONS OF APPROVAL BY THE GOVERNING BODY ON FEBRUARY 1, 2023.
- PER THE MASTER PLAN APPROVAL, THE NATURAL DEPRESSION AT THE NORTHWEST CORNER OF TRACT 4-B THAT CURRENTLY COLLECTS ALL STORMWATER FLOWS FROM THE SITE WILL CONTINUE TO ACCEPT STORMWATER FLOWS FROM THE LOS PRADOS PARK AND SUBSEQUENT DEVELOPMENT. ALL FORMAL DRAINAGE IMPROVEMENTS ACCEPTING STORMWATER IN THIS LOCATION ARE PLACED IN A DRAINAGE EASEMENT DEED TO THE LOS PRADOS HOMEOWNERS ASSOCIATION FOR MAINTENANCE OF THE INFRASTRUCTURE.
- THE PARK SHALL BE BUILT AS PART OF PHASE 1.
- PARK PERMIT AS PER SFCO 23-2, SPECIFIES REQUIREMENTS FOR STREET DRAINAGE COURSE OF A STREET CUT PERMIT FOR CONSTRUCTION WITHIN THE PARK PARCEL. ANY NEW DEVELOPMENT MUST ADHERE TO SPECIFIED REQUIREMENTS TO PROVIDE INSURANCE AND BONDING WITH DEFINED START AND FINISH DATES, CONDUCTING CITY INSPECTIONS AND COMPARISON TESTING, AND ACKNOWLEDGING THE CITY'S RIGHT TO COMPLETE THE WORK AND IMPROVE FLOWLINES AS SPECIFIED IN THE CODE. THE PUBLIC WORKS DIRECTOR MUST APPROVE THE PERMIT.
- A SEPARATE DOMESTIC & IRRIGATION METERED WATER SERVICE CONNECTIONS WILL BE REQUIRED METERED ELECTRIC SERVICE VEHICLES REQUIRED BY CODE AND UNDERGROUND INFRASTRUCTURE NECESSARY TO THE ADJACENT DEVELOPMENT, WILL BE COMPLETABLE WITH OR WITHOUT CROSSING THE ADJACENT PARCEL AND WITHOUT THE DEVELOPERS PRESENCE, APPROVAL, COORDINATION, PROGRESS OR COMPLETION OF THE ADJACENT DEVELOPMENT.
- THE DESIGN AND LAYOUT OF ANY PROJECT MUST BE INDEPENDENT OF THE ADJACENT DEVELOPMENT. IT SHOULD BE CONSTRUCTIBLE, ACCESSIBLE, COMPLETABLE, MAINTAINABLE, AND AVAILABLE FOR PUBLIC USE WITHOUT RELYING ON THE ADJACENT DEVELOPMENT.
- THE CITY OF SANTA FE HAS THE RIGHT OF ACCESS VIA AN UN-DEVELOPED EASEMENT FROM SOUTH MEADOWS ROAD TO THE PARKING AREA ACROSS TRACT 4-A.

## CONDITIONS

- ANY NEW CONSTRUCTION, ADDITIONS, OR REMODELS ON TRACT 4-A WILL BE REQUIRED TO SATISFY ALL CURRENT REGULATIONS OF THE LAND USE DEVELOPMENT CODE.

## LEGEND AND NOTES

- DENOTES ELEC. TRANSFORMER
- DENOTES SANITARY SEWER MANHOLE
- ◆ DENOTES STORM SEWER MANHOLE
- ▲ DENOTES WATER MARKER
- ▲ DENOTES FIRE HYDRANT
- ▲ DENOTES GAS TEST
- ▲ DENOTES TEL./CABLE RISER
- DENOTES POINT FOUND (AS NOTED)
- ⊙ DENOTES MONUMENT FOUND
- DENOTES POINT SET THIS SURVEY
- DENOTES POINT CALCULATED
- X—X— DENOTES EDGE OF EASEMENT
- X—X— DENOTES FENCE LINE

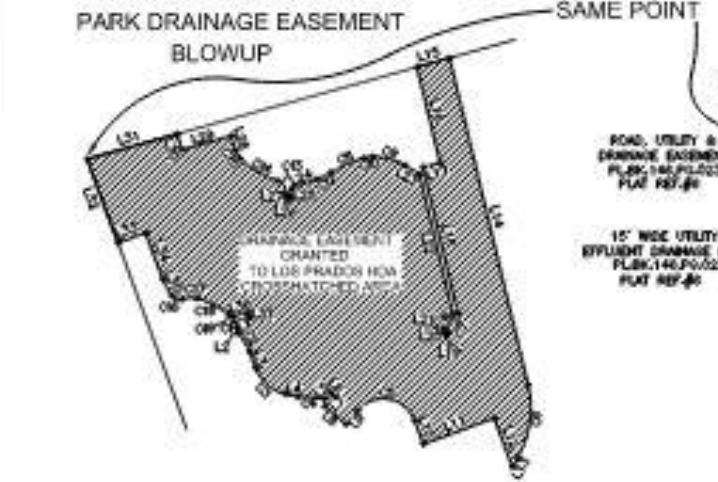
- BACK OF BEARING IS FROM GSP OBSERVATION WISE.
- LOT OF RECORD IS FROM "LOT SPLIT FOR HOMEWISE, INC. OF TRACT 4" BY RICHARD A. CHATROOP MAPLS11011 AND FILED IN PLAT BOOK 306, PG. 15, IN THE OFFICE OF THE SANTA FE COUNTY CLERK.
- THIS PLAT IS SUBJECT TO ANY EASEMENTS, RESTRICTIONS AND CONDITIONS OF RECORD.

## LOT LINE ADJUSTMENT FOR HOMEWISE, INC. OF TRACT 4-A AND TRACT 4-B

BY: \_\_\_\_\_  
RICK CHATROOP  
PROFESSIONAL LAND SURVEYOR  
NEW MEXICO REGISTRATION NO. 11011  
(505) 479-0007 119 NORTH TRAIL RD. CERRILLOS, NM 87008

ADJOINER INFORMATION FOR THE COUNTY CLERK  
OWNER: HOMEWISE, INC.  
COUNTY: SANTA FE, NEW MEXICO

ADJOINER INFORMATION FOR THE COUNTY CLERK  
OWNER: HOMEWISE, INC.  
COUNTY: SANTA FE, NEW MEXICO



LINE	LENGTH	BEARINGS
L1	2.23	S 75° 15' 30" W
L2	2.23	S 75° 15' 30" W
L3	10.50	S 75° 15' 30" W
L4	7.25	S 77° 12' 30" W
L5	8.27	N 64° 17' 30" E
L6	3.00	S 75° 15' 30" W
L7	3.50	S 75° 15' 30" W
L8	36.62	S 75° 15' 30" W
L9	10.82	N 64° 17' 30" E
L10	25.00	S 75° 15' 30" W
L11	45.00	N 64° 17' 30" E
L12	31.80	S 75° 15' 30" W
L13	4.00	N 64° 17' 30" E
L14	200.00	N 64° 17' 30" E
L15	20.00	S 75° 15' 30" W
L16	58.77	S 75° 15' 30" W
L17	10.50	S 75° 15' 30" W
L18	27.25	S 75° 15' 30" W

CURVE	ARC	POINTS	CHORD	LENGTH	DELTA
C1	4.25	11.25	N 64° 17' 30" E	4.25	27° 45' 00" W
C2	13.75	32.69	N 64° 17' 30" E	13.75	27° 45' 00" W
C3	14.50	35.69	N 64° 17' 30" E	14.50	27° 45' 00" W
C4	25.75	62.50	N 64° 17' 30" E	25.75	27° 45' 00" W
C5	25.75	62.50	N 64° 17' 30" E	25.75	27° 45' 00" W
C6	45.25	100.00	N 64° 17' 30" E	45.25	27° 45' 00" W
C7	45.25	100.00	N 64° 17' 30" E	45.25	27° 45' 00" W
C8	36.25	80.00	N 64° 17' 30" E	36.25	27° 45' 00" W
C9	19.54	37.00	N 64° 17' 30" E	19.54	27° 45' 00" W
C10	5.76	10.00	N 64° 17' 30" E	5.76	27° 45' 00" W
C11	3.81	9.50	N 64° 17' 30" E	3.81	27° 45' 00" W
C12	9.38	20.00	N 64° 17' 30" E	9.38	27° 45' 00" W
C13	9.38	20.00	N 64° 17' 30" E	9.38	27° 45' 00" W
C14	26.56	60.00	N 64° 17' 30" E	26.56	27° 45' 00" W
C15	5.27	10.00	N 64° 17' 30" E	5.27	27° 45' 00" W
C16	7.27	15.00	N 64° 17' 30" E	7.27	27° 45' 00" W
C17	8.25	15.00	N 64° 17' 30" E	8.25	27° 45' 00" W
C18	22.27	40.00	N 64° 17' 30" E	22.27	27° 45' 00" W
C19	2.26	2.26	S 75° 15' 30" W	2.26	27° 45' 00" W

## SURVEYORS CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAT AND THE NOTES HEREON ARE AN ACCURATE DELINEATION OF A FIELD SURVEY COMPLETED BY ME OR UNDER MY DIRECTION ON JUNE 1ST, 2024, AND ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND MEET THE MINIMUM STANDARDS FOR PROFESSIONAL LAND SURVEYING PRACTICES IN NEW MEXICO.

RICHARD A. CHATROOP MAPLS11011

N/F BERKLINE INSTRUMENT CORP  
TRACT 41  
RE: 14, PG. 14







# Homewise Communities







# Homewise Project: El Camino Crossing Mixed-Use Community



Single Family



Condos



Commercial

El Camino Crossing is a mixed income community that includes a 40 lot single family subdivision, 33 condo and live-work units, a restaurant, and another planned commercial building.

It is located at Agua Fria and Harrison Rd. in Santa Fe, NM.

33% of the ECC single family subdivision was sold to households with income below 80% AMI with an effective home price starting at \$121,750. 30% of the ECC condo and live-work units were sold to families with income below 80% AMI.





# Homewise Project: Vista Serena



Vista Serena is a 50 lot single family subdivision located in Tierra Contenta just east of the Jaguar exit off of State road 599.

33% of Vista Serena homes have been sold to families below 120% AMI with an effective price starting at \$156,200.





# Homewise Project: Desert Sage



Desert Sage is a 82 lot single family subdivision that offers a mix of market rate and affordable homes.

40% of Desert Sage homes will be sold to families below 120% AMI with an effective price starting at \$137,750.





# Homewise Project: Miraflores



Miraflores is currently designed as a 56 lot single family subdivision that will offer a mix of market and affordable homes. Nestled in the Tierra Contenta area, this neighborhood boasts a variety of high quality and energy efficient homes with native and improved open space.

40% of Miraflores homes are projected to be sold to homebuyers below 120% AMI with an effective price starting at \$120,750.