



**OPEN ROAD**  
RENEWABLES



# Alameda Solar Grazing Center

COMPREHENSIVE PLAN COMPLIANCE REVIEWS  
COMR-24-023700 – NORTH, COMR-24-023699- SOUTH AND  
COMR-24-023698 - INTERCONNECT



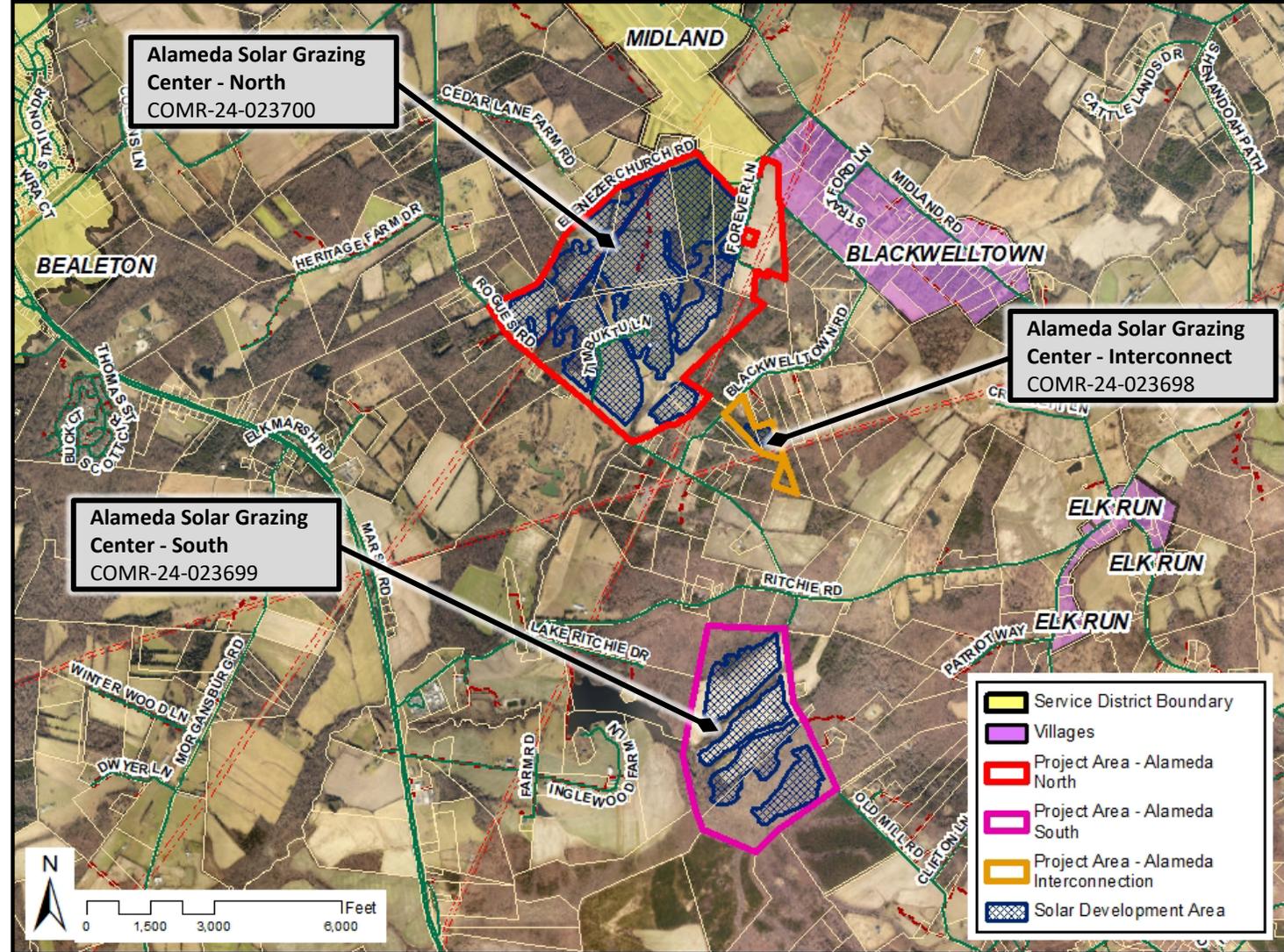
# Property Summary

## Proposal:

- 90 MW Solar Generation Facility
  - Total Property Area: 941.5 acres
  - Development Area: 516.3 acres
- 3 Individual Applications
  - Alameda Solar Grazing Center - North
  - Alameda Solar Grazing Center - South
  - Alameda Solar Grazing Center - Interconnect

## Request:

- Comprehensive Plan Compliance Review as to whether the proposed **Location**, **Character** and **Extent** of a Utility Scale Solar Project is **substantially in accord** with the **Comprehensive Plan**



Location Map

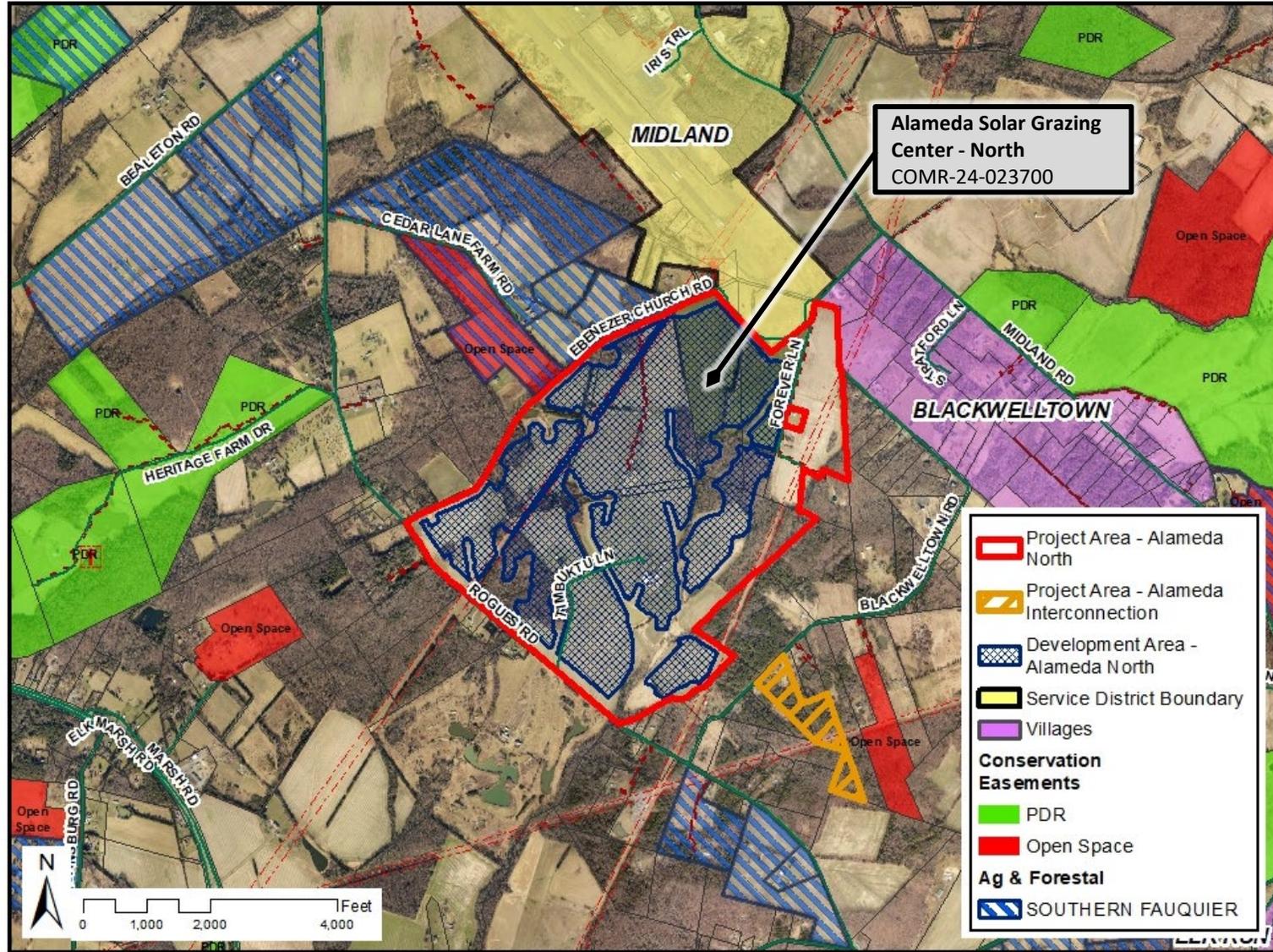


# Property Summary

## Alameda Solar Grazing Center - North

### Property Information:

- Total Area: 618.0 acres
  - 10 Parcels
- Land Use Designation: Rural
- Zoning: RA
- Existing Use: Agriculture and Rural Residential
  - Row crops: 408.2 acres (66%)
  - Barns, silos and outbuildings
  - Residences (3)
- Adjacent Use: Agriculture, Rural Residential and Open Space



“North” – Easements Map

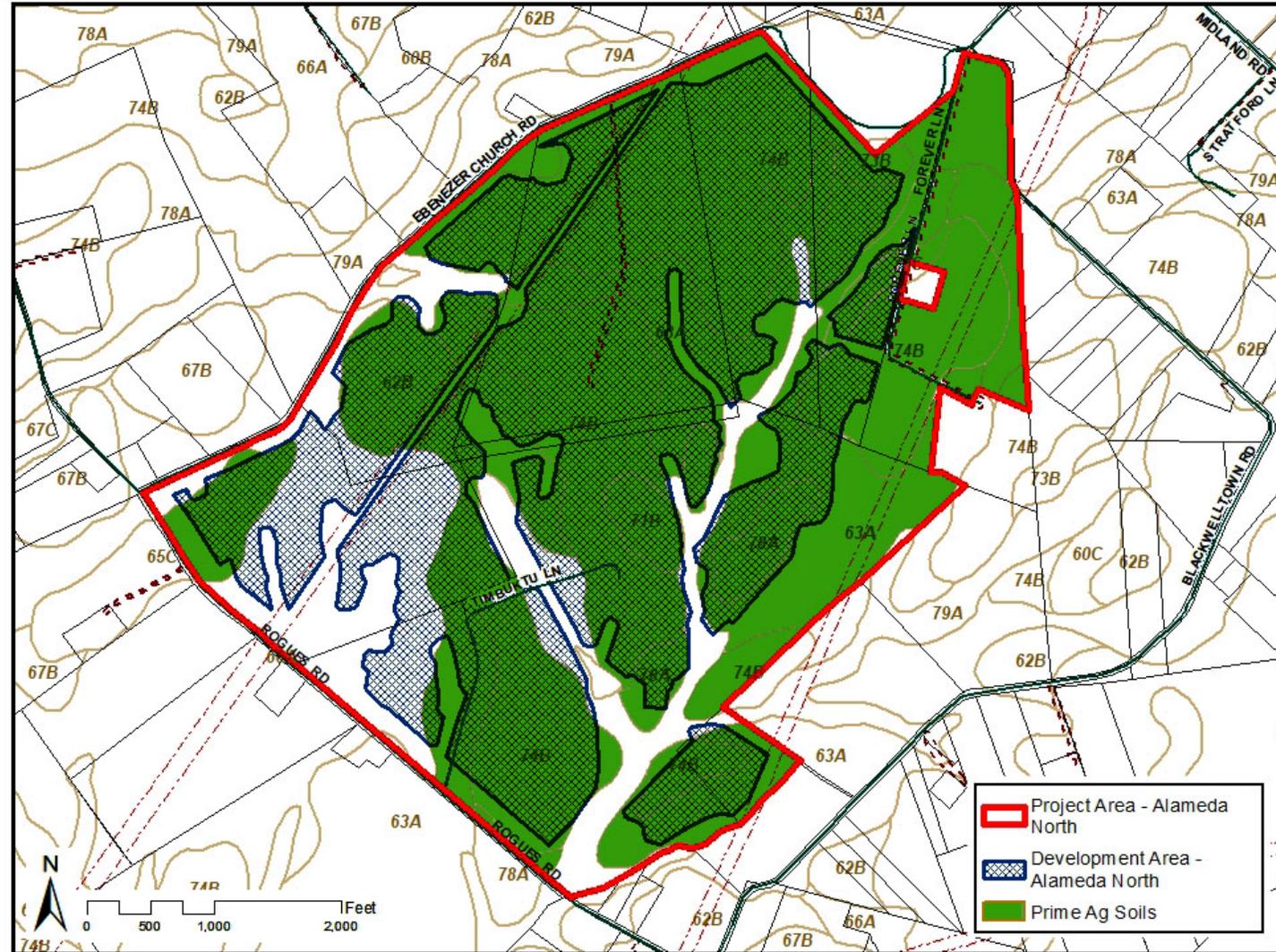


# Property Summary

## Alameda Solar Grazing Center - North

### Soils Summary:

- USDA Natural Resources Conservation Service: 71% of the project area is rated as Prime Farmland.
  - *Based upon the Web Soil Survey, using the Fauquier County Soil Survey and soil properties*
- Fauquier Zoning Ordinance: 79% of the project area is rated as Prime Agricultural Soils.
  - *Appendix A lists soil map units that are considered Prime Agricultural Soils, based on the Fauquier County Soil Survey.*
- Type 1 Soil Program: 3% of the project area is rated as Prime Cropland.
  - *Uses a detailed soil map generated from site investigation and the agricultural land ratings from the latest version of The Interpretive Guide to the Soils of Fauquier County, Virginia.*



“North” – Prime Ag Soils (Per Zoning Ordinance)

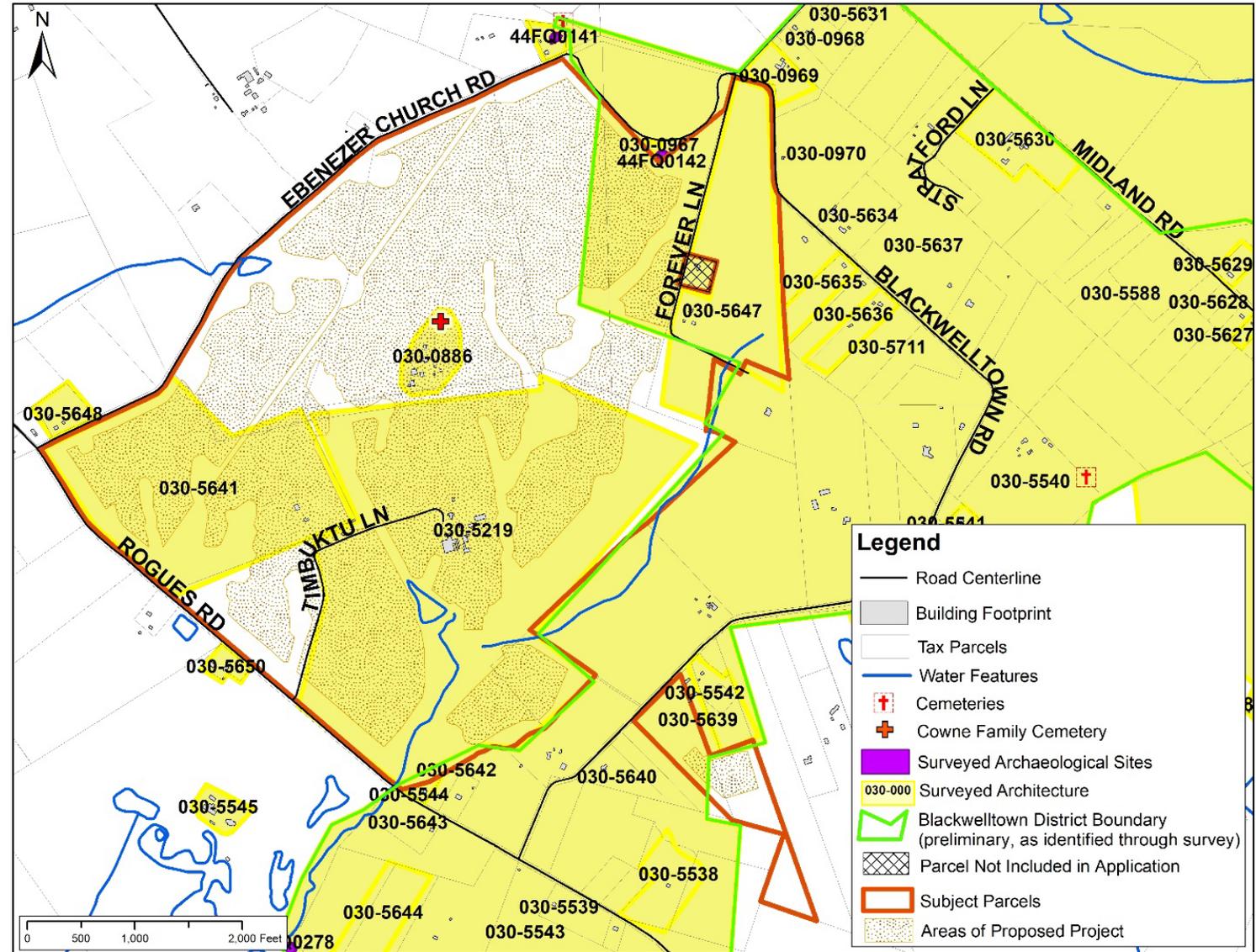


# Property Summary

## Alameda Solar Grazing Center - North

### Historic Resources:

- Historic resources have been identified on the subject parcels
  - Farmsteads (3)
  - Cowne Family Cemetery
  - Blackwelltown Historic District
- County Prehistoric Predictive Model indicates a high probability of identifying places of prehistoric occupation
- No comprehensive archaeological study within the project area
- Staff believes that archaeological study has the potential to reveal previously unrecorded sites



“North” – Historic Resources

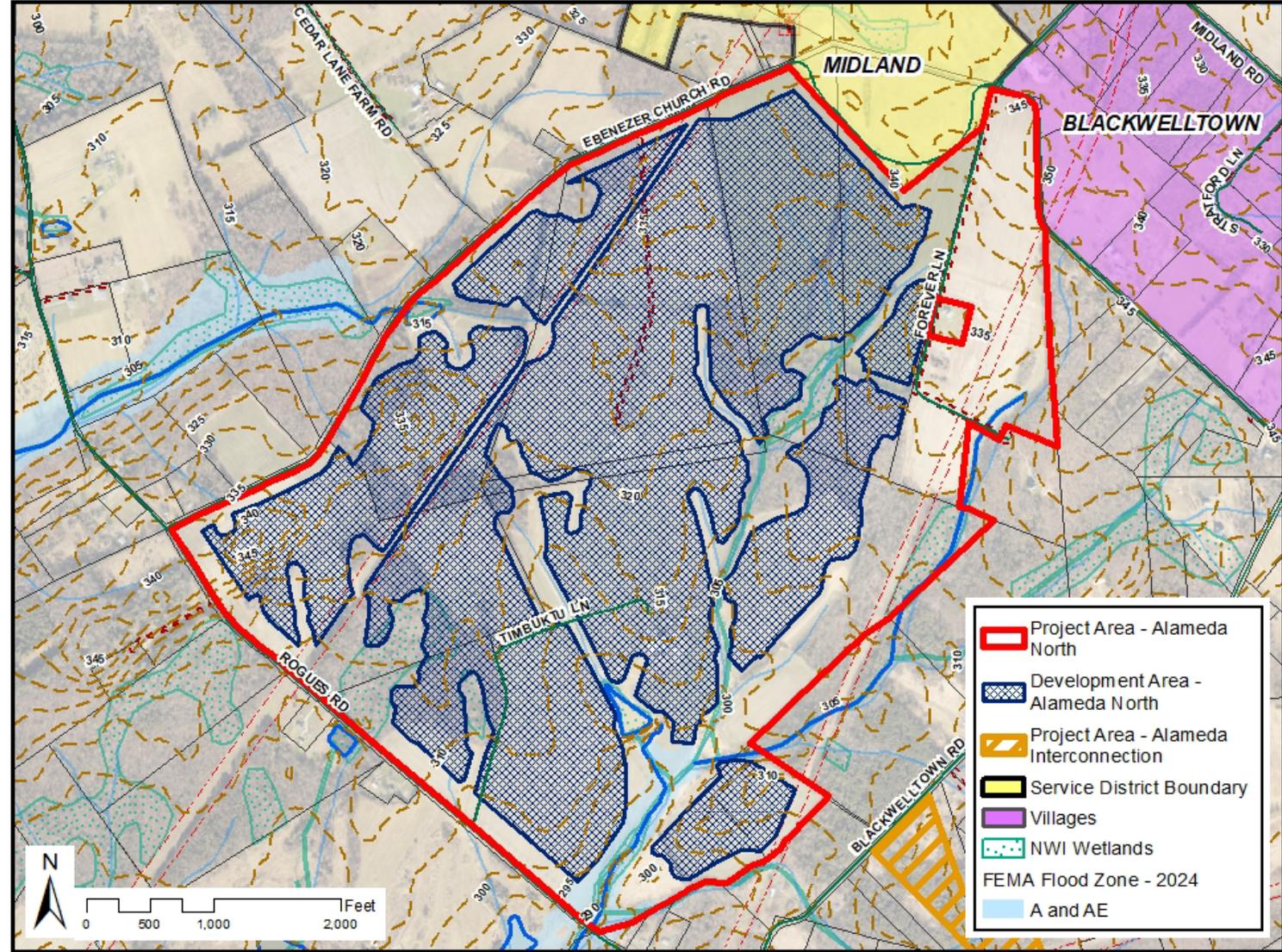


# Application Summary

## Alameda Solar Grazing Center - North

### Proposal:

- Solar panels and associated equipment
- Development Area: 375.5 acres
  - 325.8 acres active agriculture
  - 49.7 acres of woodlands to be cleared
  - Avoids wetlands, water bodies and floodplain
- Setbacks/Buffers:
  - 200' setback – Rogues Road
  - 100' – 200' setback – Ebenezer Church Road
- Reforestation Preserve



“North” – Environmental Features Map

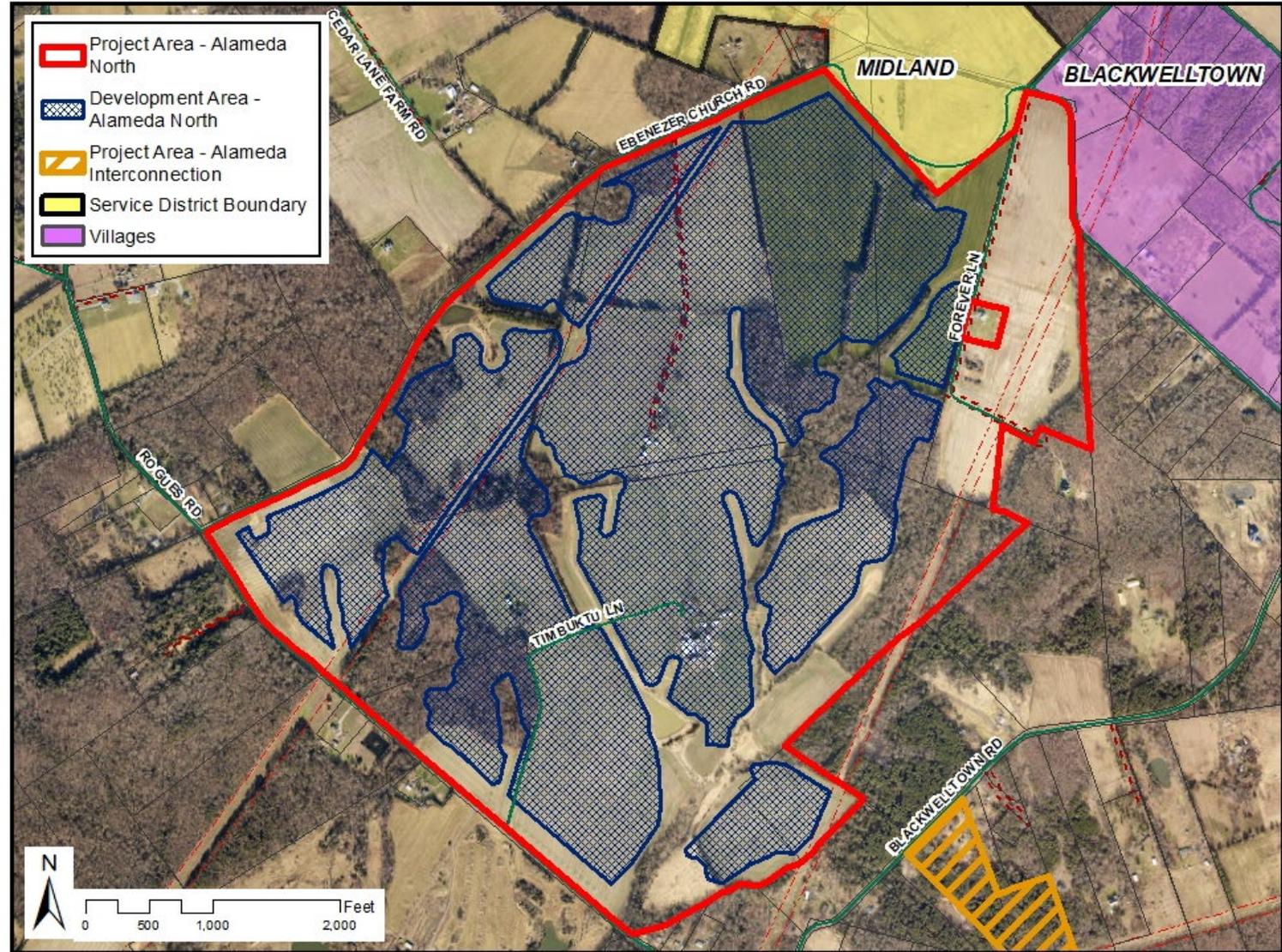


# Application Summary

## Alameda Solar Grazing Center - North

### Proposal:

- Property to be placed under Open Space Easement
- On-site sheep farm
  - Rotational grazing
  - Lambing operation
  - Will utilize existing agricultural facilities
- Facilities Decommissioned after 40 years
- Transfer of property to Grazing Operator
  - At a nominal cost



“North” - Site Aerial

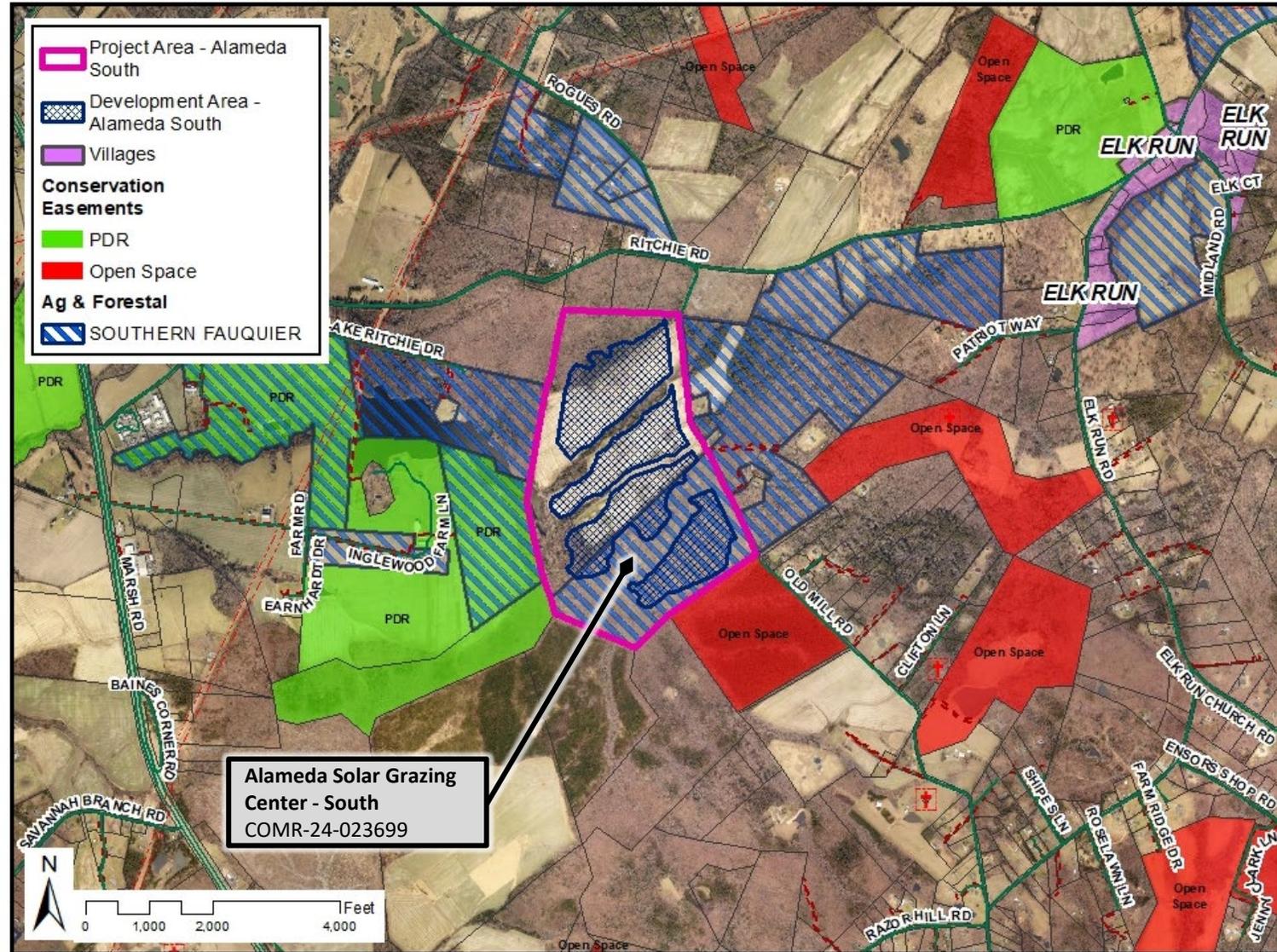


# Property Summary

## Alameda Solar Grazing Center - South

### Property Information:

- Total Area: 302.0 acres
  - 2 Parcels
- Land Use Designation: Rural
- Zoning: RA
- 112.1 acres (37%) within Southern Fauquier Ag & Forestal District
- Existing Use: Agriculture and Vacant
  - Agricultural fields: 85.1 acres (28%)
  - Timbered/vacant: 112.1 acres (37%)
  - Agricultural outbuilding
- Adjacent Use: Agriculture, Rural Residential and Open Space



“South” - Easements Map

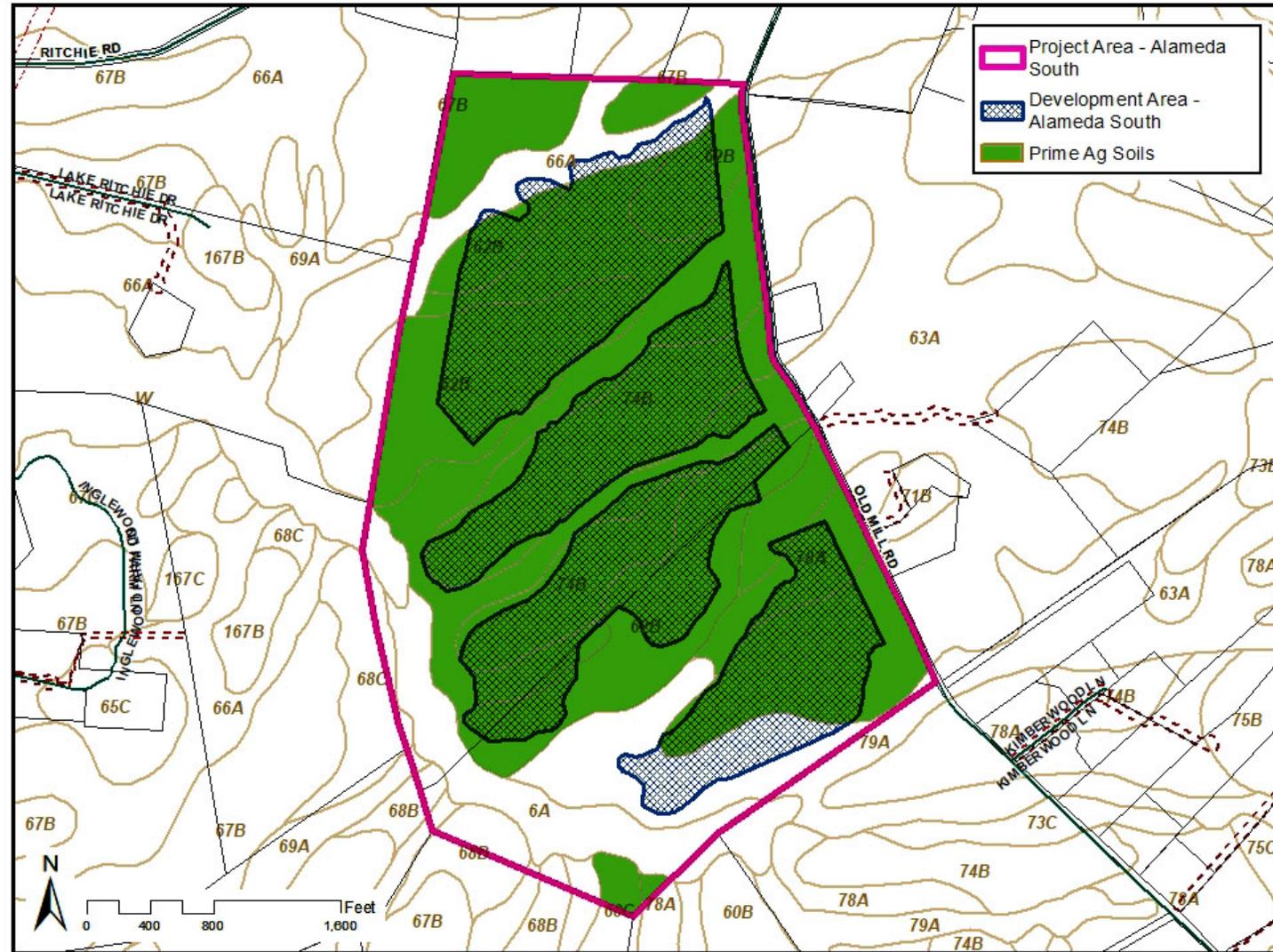


# Property Summary

## Alameda Solar Grazing Center - South

### Soils Summary:

- USDA Natural Resources Conservation Service: 73% of the project area is rated as Prime Farmland.
  - Based upon the Web Soil Survey, using the Fauquier County Soil Survey and soil properties
- Fauquier Zoning Ordinance: 77% of the project area is rated as Prime Agricultural Soils.
  - Appendix A lists soil map units that are considered Prime Agricultural Soils, based on the Fauquier County Soil Survey.
- Type 1 Soil Program: 0% of the northern property is rated as Prime Cropland.
  - Uses a detailed soil map generated from site investigation and the agricultural land ratings from the latest version of *The Interpretive Guide to the Soils of Fauquier County, Virginia*.



“South” – Prime Ag Soils (Per Zoning Ordinance)

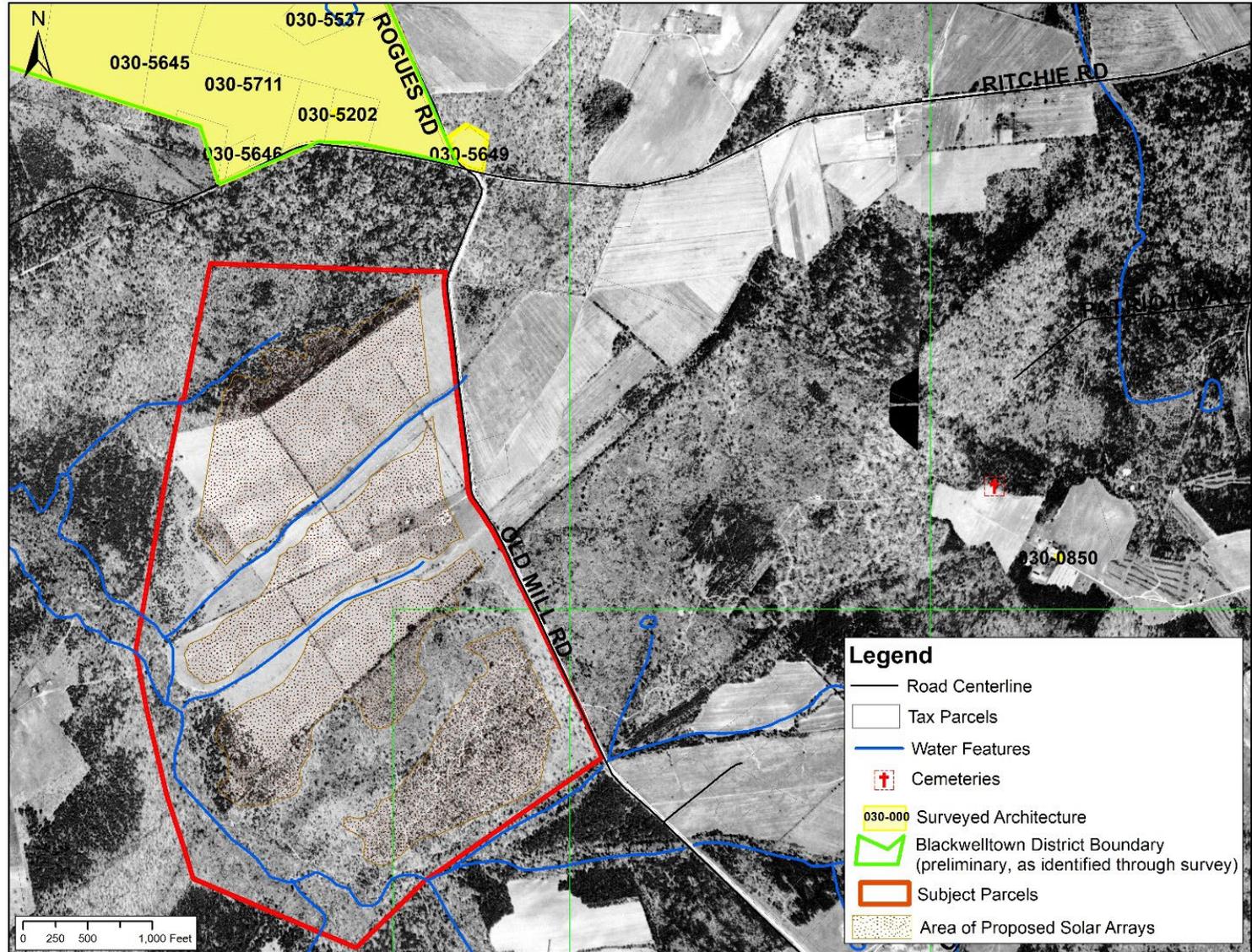


# Property Summary

## Alameda Solar Grazing Center - South

### Historic Resources:

- No historic resources have been identified on the subject parcels
  - 1937 & 1987 Aerials show grouping of buildings with residence and outbuildings
- County Prehistoric Predictive Model indicates a high probability of identifying places of prehistoric occupation
- No comprehensive archaeological study within the project area
- Staff believes that archaeological study has the potential to reveal previously unrecorded sites



“South” – Historic Resources

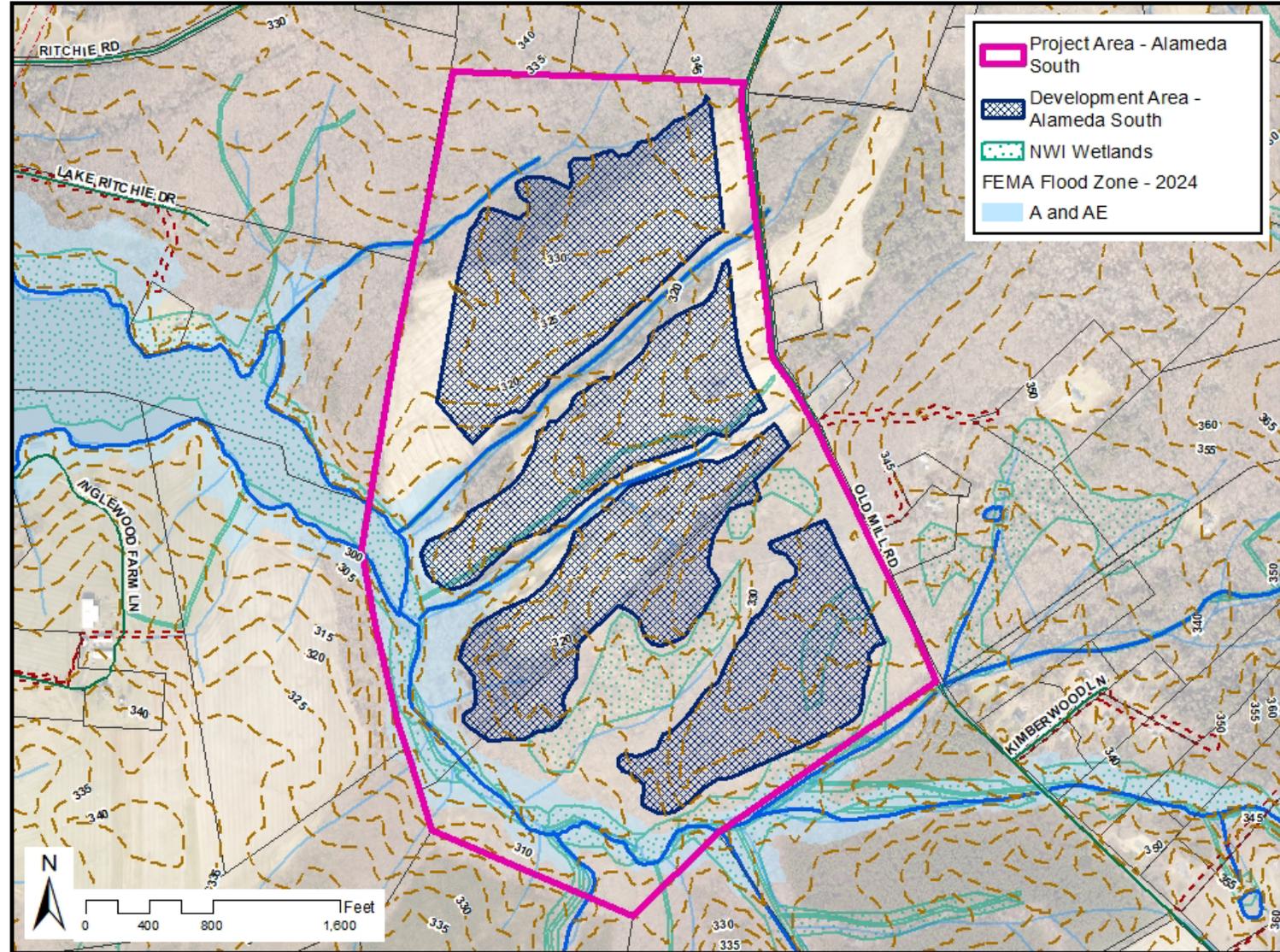


# Application Summary

## Alameda Solar Grazing Center - South

### Proposal:

- Solar panels and associated equipment
- Development Area: 136.4 acres
  - 87.7 acres active agriculture
  - 8.8 acres of woodlands to be cleared
  - 39.9 acres of recently timbered area
  - Avoids wetlands, water bodies and floodplain
- Setbacks/Buffers:
  - 200' setback – Old Mill Road
  - 300' min setback – Northern & Western property lines
  - 100' min setback - Southern property
- Two Reforestation Preserves



“South” – Environmental Features Map

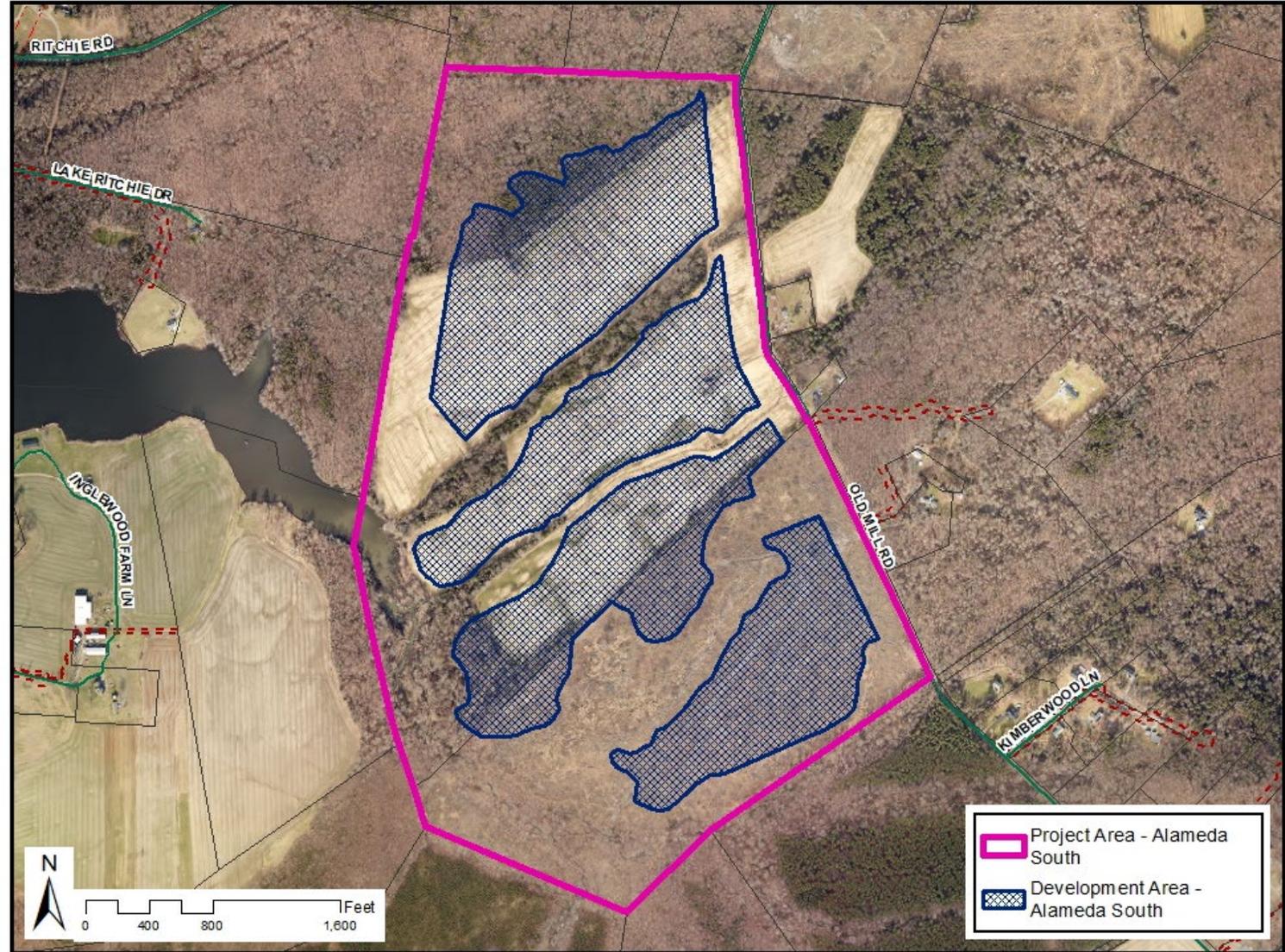


# Application Summary

## Alameda Solar Grazing Center - South

### Proposal:

- Northern 189.9-acre property to be placed under Open Space Easement
- Rotational sheep grazing
  - Will utilize sheep housed on “North” Section
- Facilities decommissioned after 40 years
- Transfer of Northern 189.9-acre property to Grazing Operator
  - At a nominal cost



“South” - Site Aerial

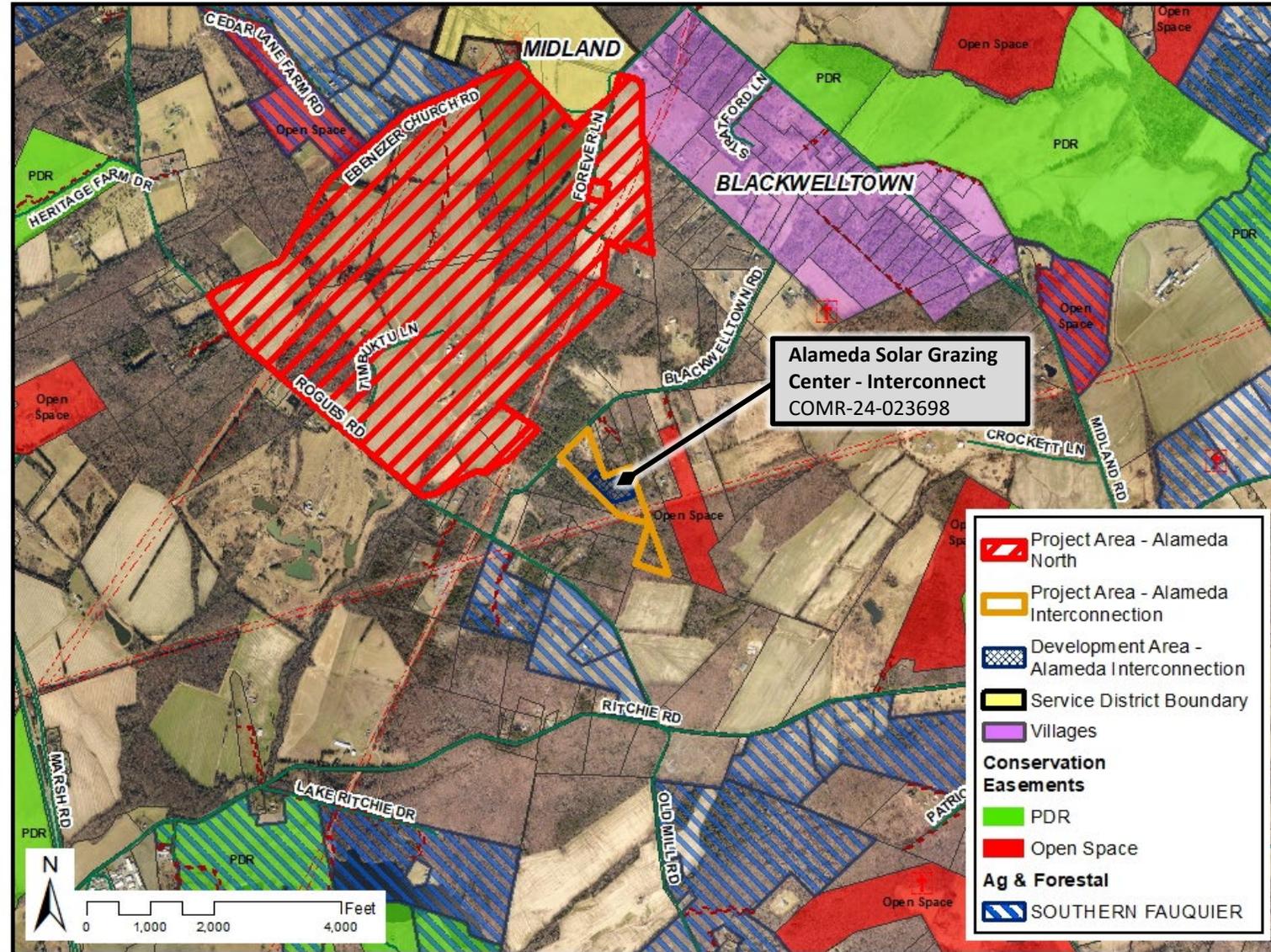


# Property Summary

## Alameda Solar Grazing Center - Interconnect

### Property Information:

- Total Area: 21.5 acres
  - 2 Parcels
- Land Use Designation: Rural
- Zoning: RA
- Existing Use: Vacant
  - Transmission line crosses center of property
- Adjacent Use: Agriculture, Rural Residential and Open Space



“Interconnect” – Easements Map

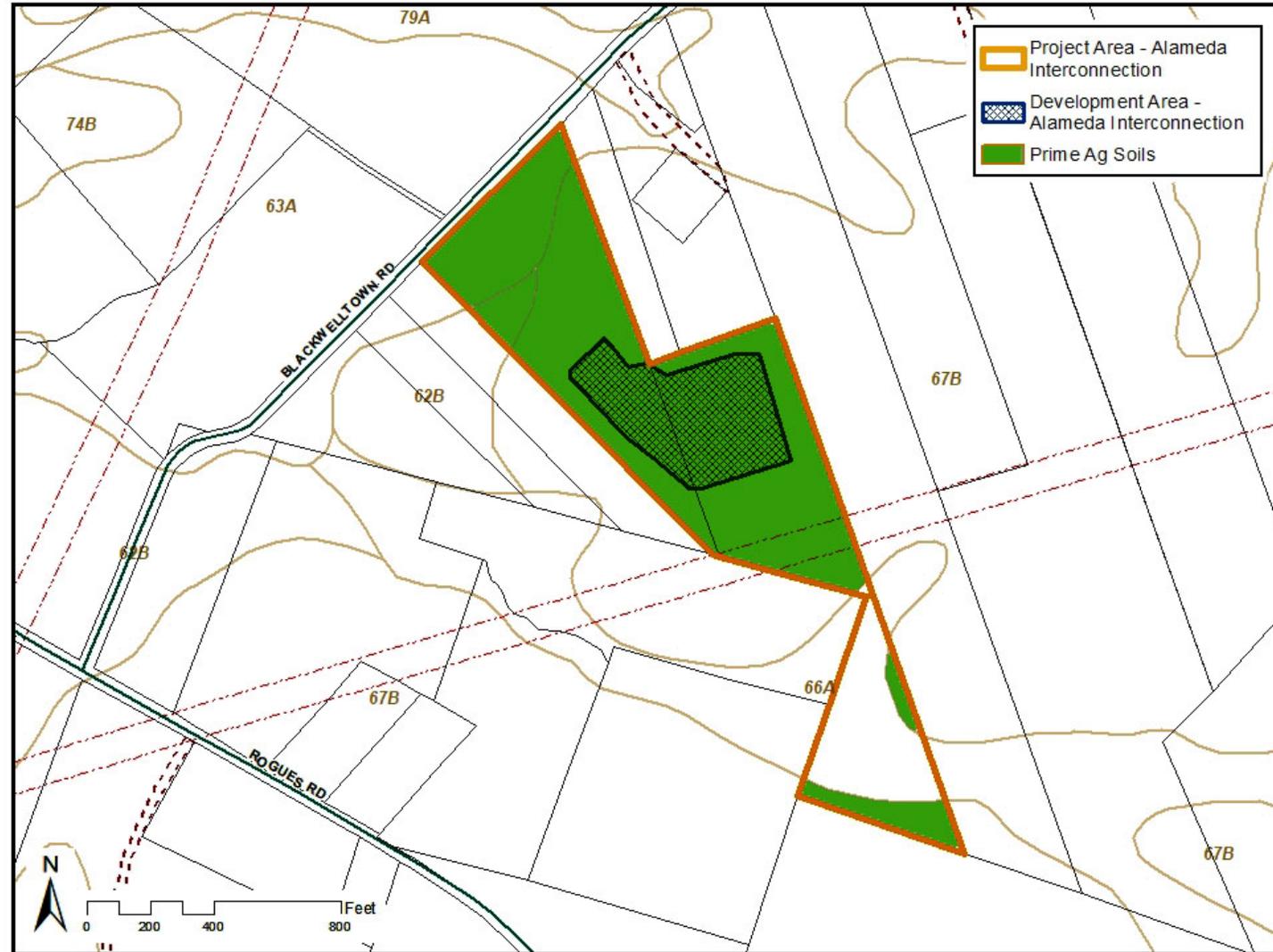


# Property Summary

## Alameda Solar Grazing Center - Interconnect

### Soils Summary:

- USDA Natural Resources Conservation Service: 85% of the project area is rated as Prime Farmland.
  - *Based upon the Web Soil Survey, using the Fauquier County Soil Survey and soil properties*
- Fauquier Zoning Ordinance: 85% of the project area is rated as Prime Agricultural Soils.
  - *Appendix A lists soil map units that are considered Prime Agricultural Soils, based on the Fauquier County Soil Survey.*
- Type 1 Soil Program: 0% of the project area is rated as Prime Cropland.
  - *Uses a detailed soil map generated from site investigation and the agricultural land ratings from the latest version of The Interpretive Guide to the Soils of Fauquier County, Virginia.*



“Interconnect” – Prime Ag Soils (Per Zoning Ordinance)

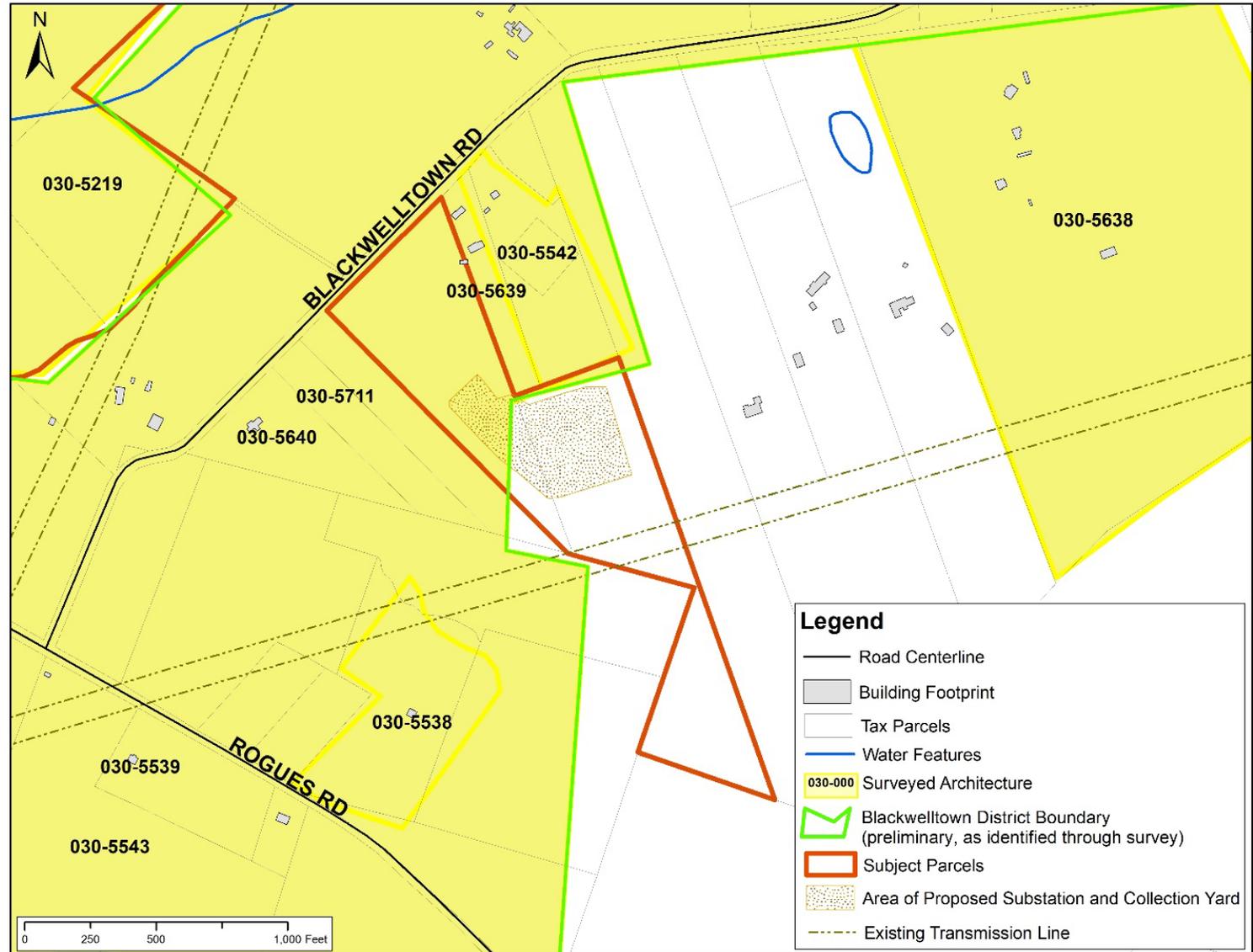


## Property Summary

### Alameda Solar Grazing Center - Interconnect

#### Historic Resources:

- No historic resources have been identified on the subject parcels
- Partially within the Blackwelltown Historic District
- County Prehistoric Predictive Model indicates a high probability of identifying places of prehistoric occupation
- No comprehensive archaeological study within the project area
- Staff believes that archaeological study has the potential to reveal previously unrecorded sites



“Interconnect” – Historic Resources

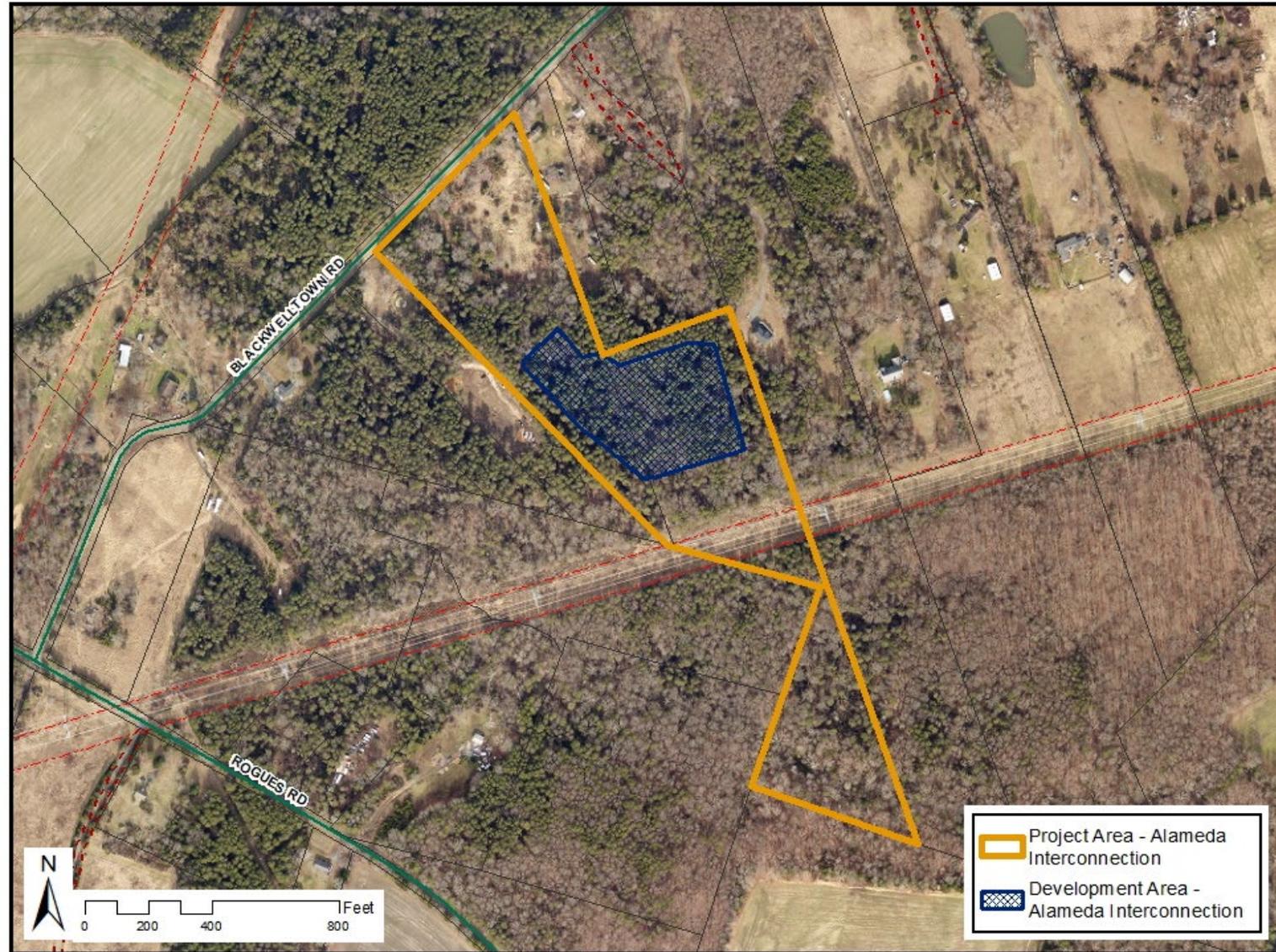


## Application Summary

### Alameda Solar Grazing Center - Interconnect

#### Proposal:

- Interconnection facilities and associated equipment
- Development Area: 4.4 acres
  - 4.4 acres of woodlands to be cleared
  - 200' north of transmission line
  - Avoids wetlands
- Setbacks/Buffers:
  - 500' min Setback – Blackwelltown Road
  - 50' – 65' min Setback – side property lines
- Facilities Decommissioned after 40 years



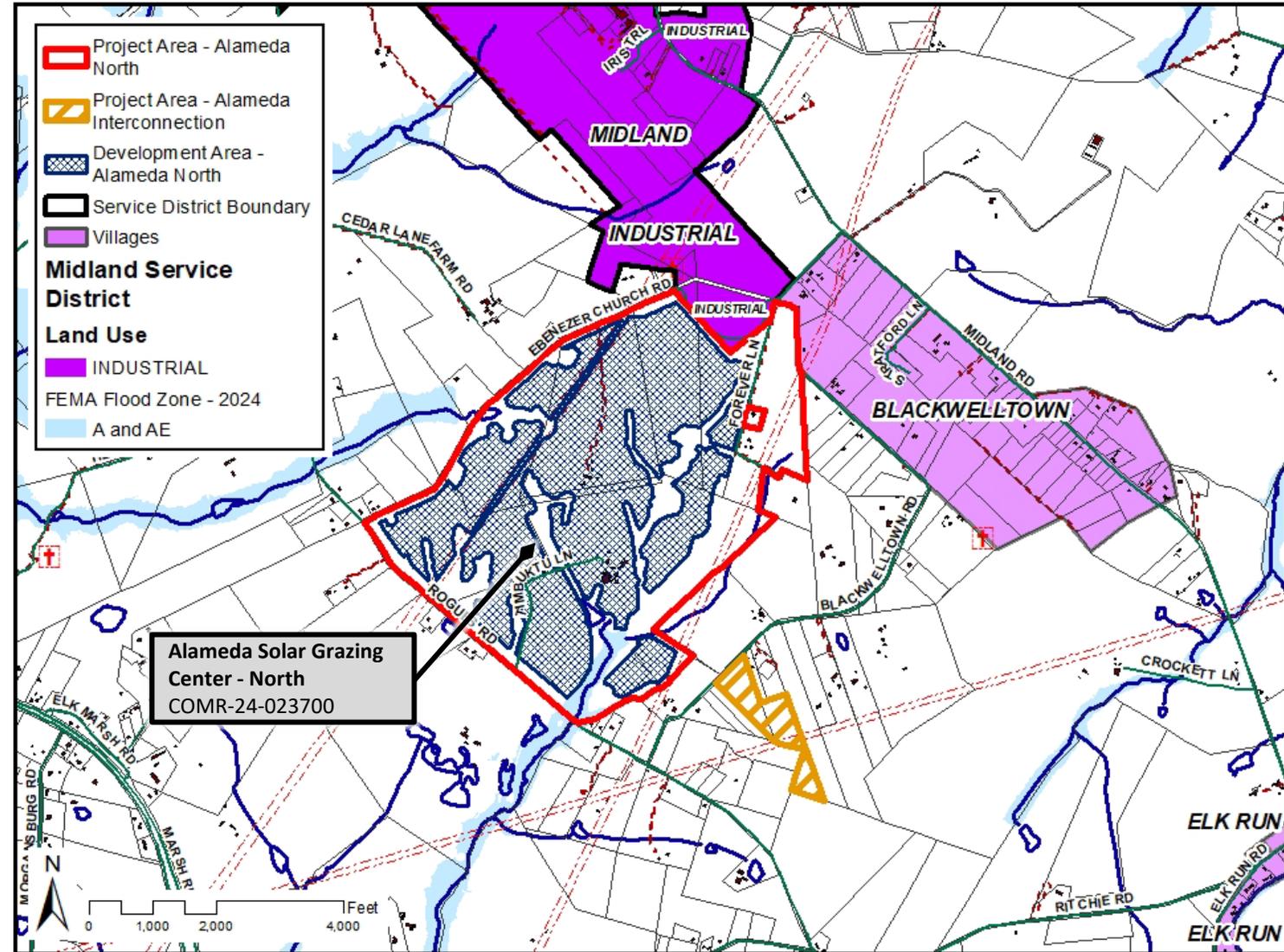
“Interconnect” - Site Aerial



# Comprehensive Plan

## Overall Comprehensive Plan Themes:

- Preserve cultural, ecological & environmental resources
- Identify & protect productive agricultural & silvicultural lands
- Promote a vibrant & robust farming & agricultural sector of the economy
- Promote identification, evaluation, registration & protection of heritage/historic resources
- Promote & encourage the retention & enhancement of scenic resources
- Natural Resource Management & Economic Development Actions should be Complementary



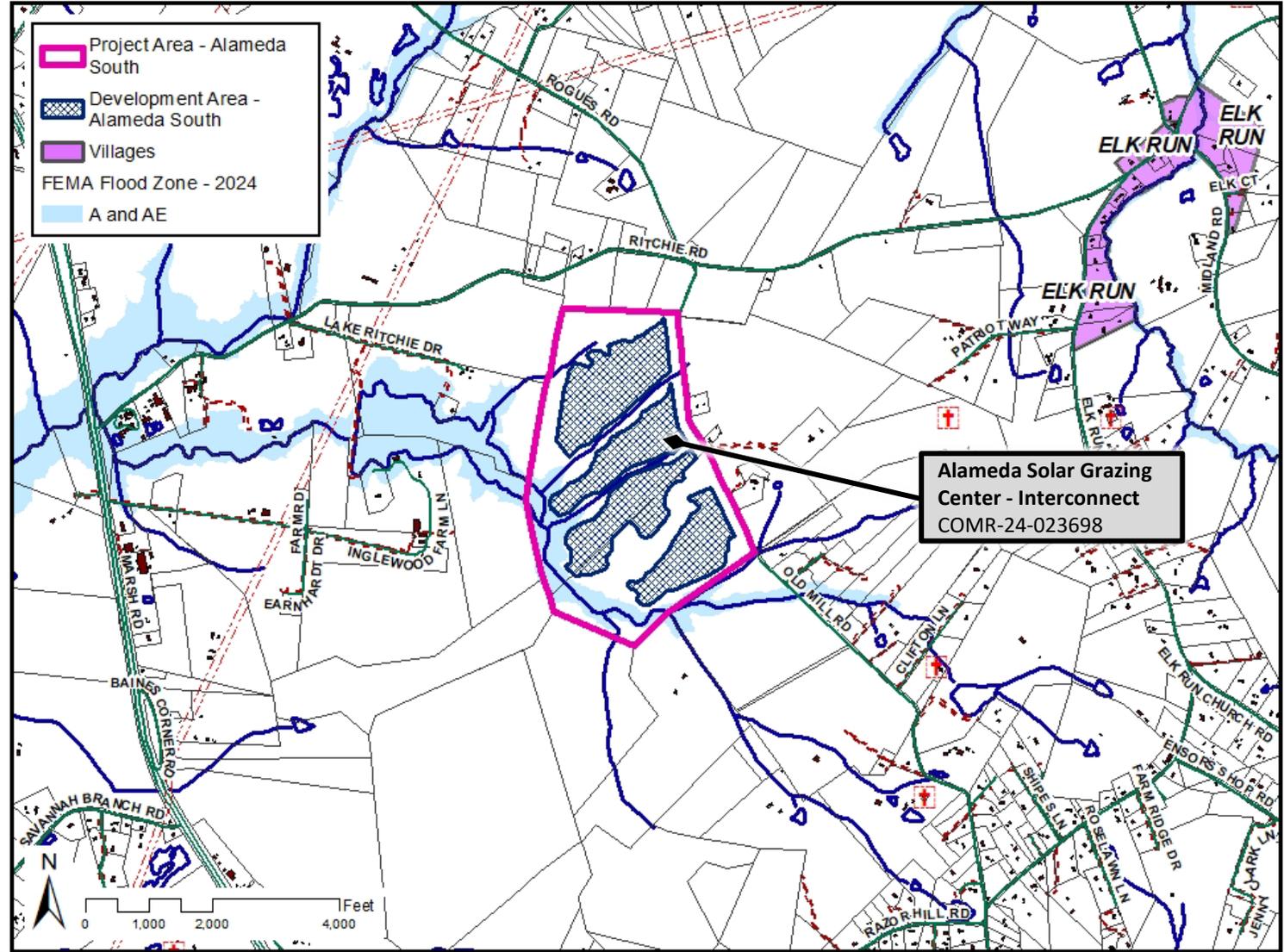
“North” – Land Use Map



# Comprehensive Plan

## Rural Lands:

- Encourage Land Uses that are Intrinsic to the character of Fauquier’s Rural Lands
- Protect & preserve farmland, historic sites & open space
- Preserve the physical beauty, historical heritage & environmental quality of the county, while growing the rural & agricultural economy
- Protect agricultural soils, create large contiguous blocks of preserved farmland, & protect key open space resources



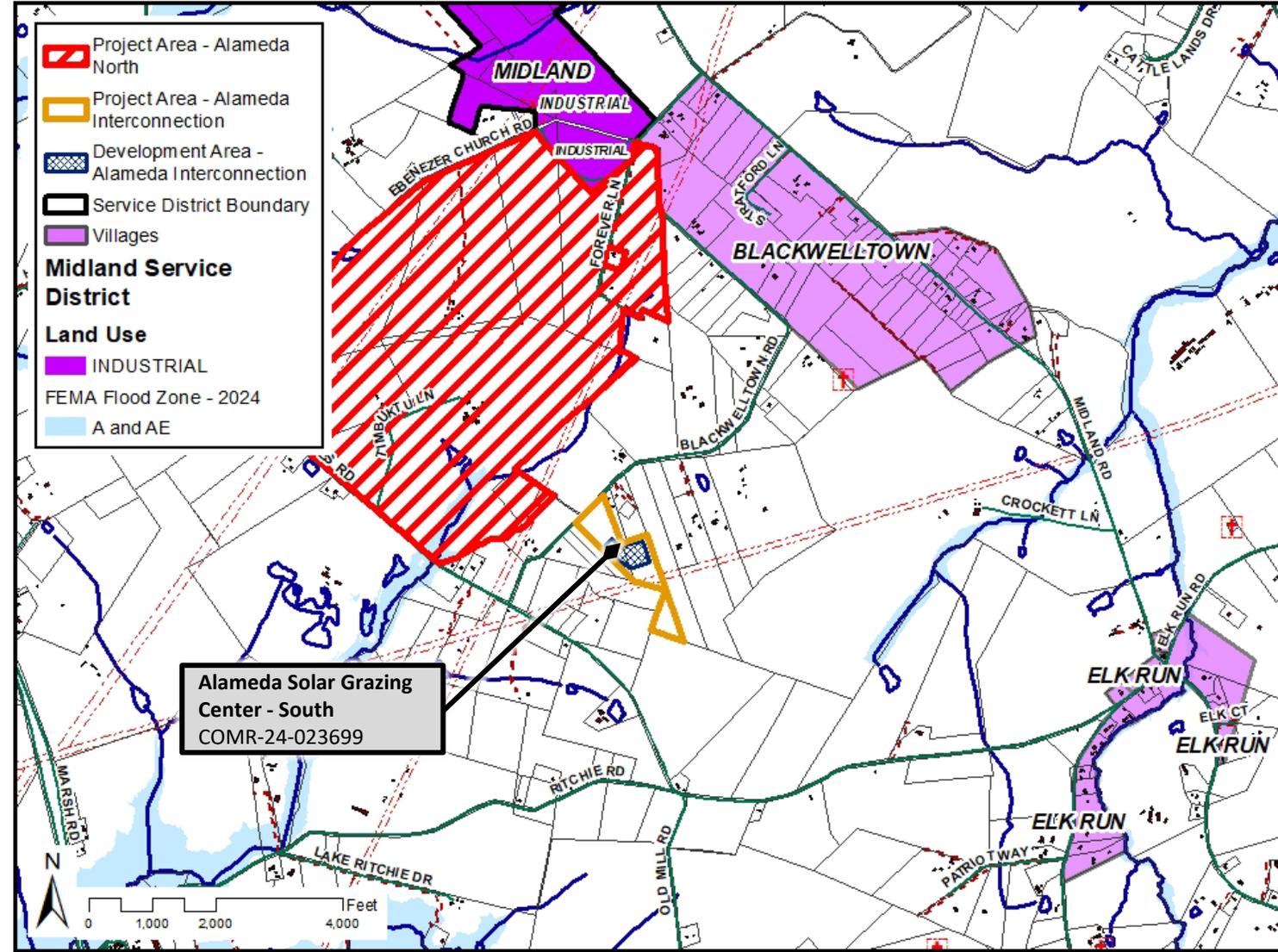
“South” – Land Use Map



# Comprehensive Plan

## Rural Lands:

- Non-Agriculturally Related Commercial Uses May Be Permitted if the Use:
  - Is agriculturally & rurally compatible in scale & intensity
  - Poses no threat to public health, safety & welfare
  - Contributes to the preservation of historically significant structures or landscapes
  - Helps to preserve farmland & open space & continue agricultural operations



“Interconnect” – Land Use Map



# Comprehensive Plan

## Rural Lands:

- Ensure that businesses located in the rural lands do not adversely impact the intrinsic character of the area
  - Structures should be significantly set back from property boundaries, appropriately sized, not obstruct views of significant natural features, & minimize light & noise pollution
- Alternative Energy Generating Facilities shall be located to ensure preservation of environmental, cultural, & scenic resources & maintaining prime agricultural lands for agriculture



EXISTING



AT PLANTING



5+ YEARS GROWTH



EXISTING



AT PLANTING



5+ YEARS GROWTH



EXISTING



AT PLANTING



5+ YEARS GROWTH



EXISTING



AT PLANTING



5+ YEARS GROWTH

## Rouges Road Visualization Analysis



# Comprehensive Plan

## Public Facilities / Electrical Facilities:

- Provide maximum service levels as unobtrusively as possible
  - New facilities in areas of commercial or industrial land uses
  - Residential areas only when non-residential areas are not available & on parcels with natural screening adjacent
  - Avoid areas of environmental & cultural sensitivity
- Minimize negative & visual impacts on communities.
  - Co-locate facilities such as electrical generation, distribution and transmission infrastructure, electrical substations & electrical storage
  - Undergrounding of distribution & transmission infrastructure



EXISTING



AT PLANTING



5+ YEARS GROWTH



EXISTING



AT PLANTING



5+ YEARS GROWTH

Ebenezer Church Road Visualization Analysis



# Applicant's Position

- Use is agriculturally and rurally compatible in scale and intensity
  - Sheep farm utilizing existing facilities
  - Low profile panels that are screened/buffered
- No threat to public health, safety and welfare
  - Solar panels are safe
- Contributes to the preservation of historically significant structures, or landscapes
  - Existing agricultural facilities are preserved
  - Cemetery is avoided
- Helps to preserve farmland and open space and continue agricultural operations



EXISTING



AT PLANTING



5+ YEARS GROWTH



EXISTING



AT PLANTING



5+ YEARS GROWTH

SEPTEMBER 23, 2022

Blackwelltown Road Visualization Analysis



## Applicant's Position

- Project will adhere to, and in some places exceed, the setbacks adopted in the Solar Ordinance
- Ensures preservation of environmental, cultural, and scenic resources and maintaining prime agricultural lands for agriculture
  - Project will contain livestock operation and permanently preserve land for agriculture
  - Small portion of project found to be Prime Cropland
- Project avoids historic resources
- The project meets the Solar Ordinance and, therefore, its location, character and extent are consistent with the Comprehensive Plan



EXISTING



AT PLANTING



5+ YEARS GROWTH

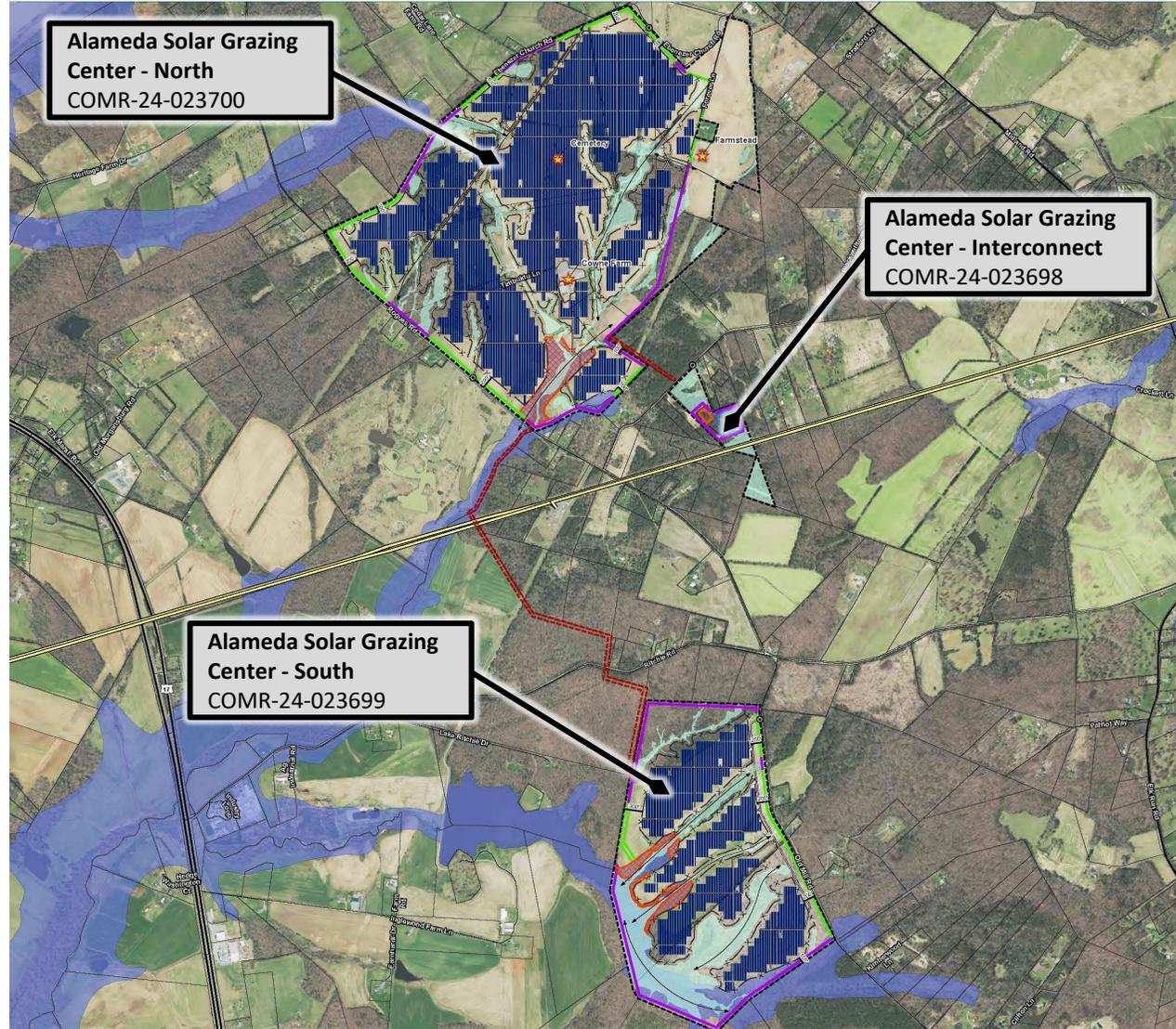
Old Mill Road Visualization Analysis



# Summary

## A Utility Scale Solar Facility should:

- Be agriculturally and rurally compatible in scale and intensity.
- Not detract from the rural character of the county and from the traditional and emerging farm economy.
- Contribute to the preservation of historically significant structures or landscapes.
- Help to preserve farmland and open space and continue agricultural operations.



Overall Concept Plan



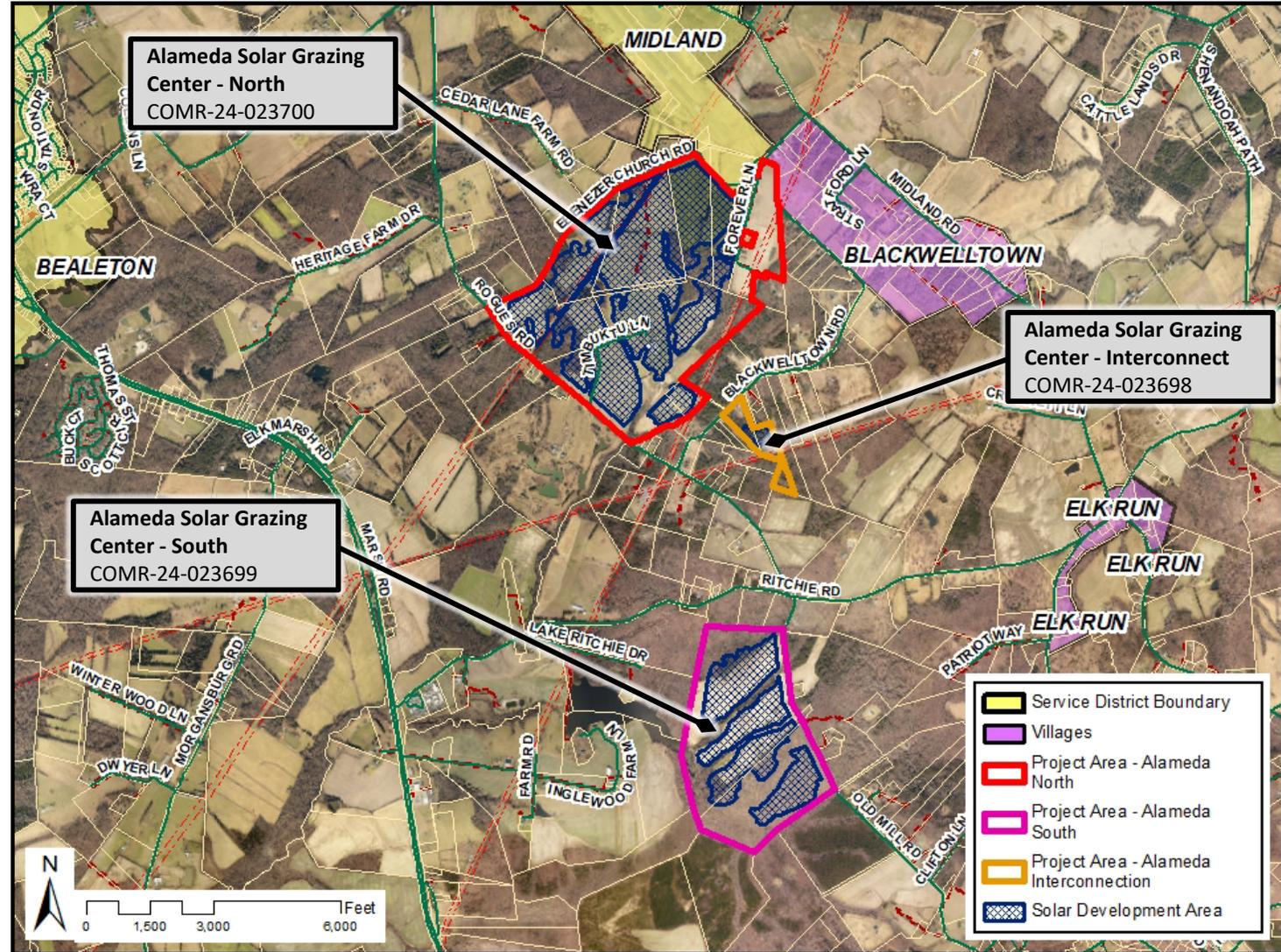
# Summary

## Planning Commission Determination:

- Determine as to Whether the Proposed **Location, Character** and **Extent** of a Utility Scale Solar Project is **Substantially in Accord** with the Comprehensive Plan
  - Primary Factors include Location, Scale/Intensity, Compatibility & Others

## Planning Commission Action:

- **Resolution A** - Proposal ***is*** substantially in accord with the Comprehensive Plan
- **Resolution B** - Proposal ***is not*** substantially in accord with the Comprehensive Plan



Location Map