



**Dominion
Energy®**

Remington Battery Energy Storage System

CATEGORY 20 SPECIAL EXCEPTION AND
AMENDMENT

SPEX-25-024369



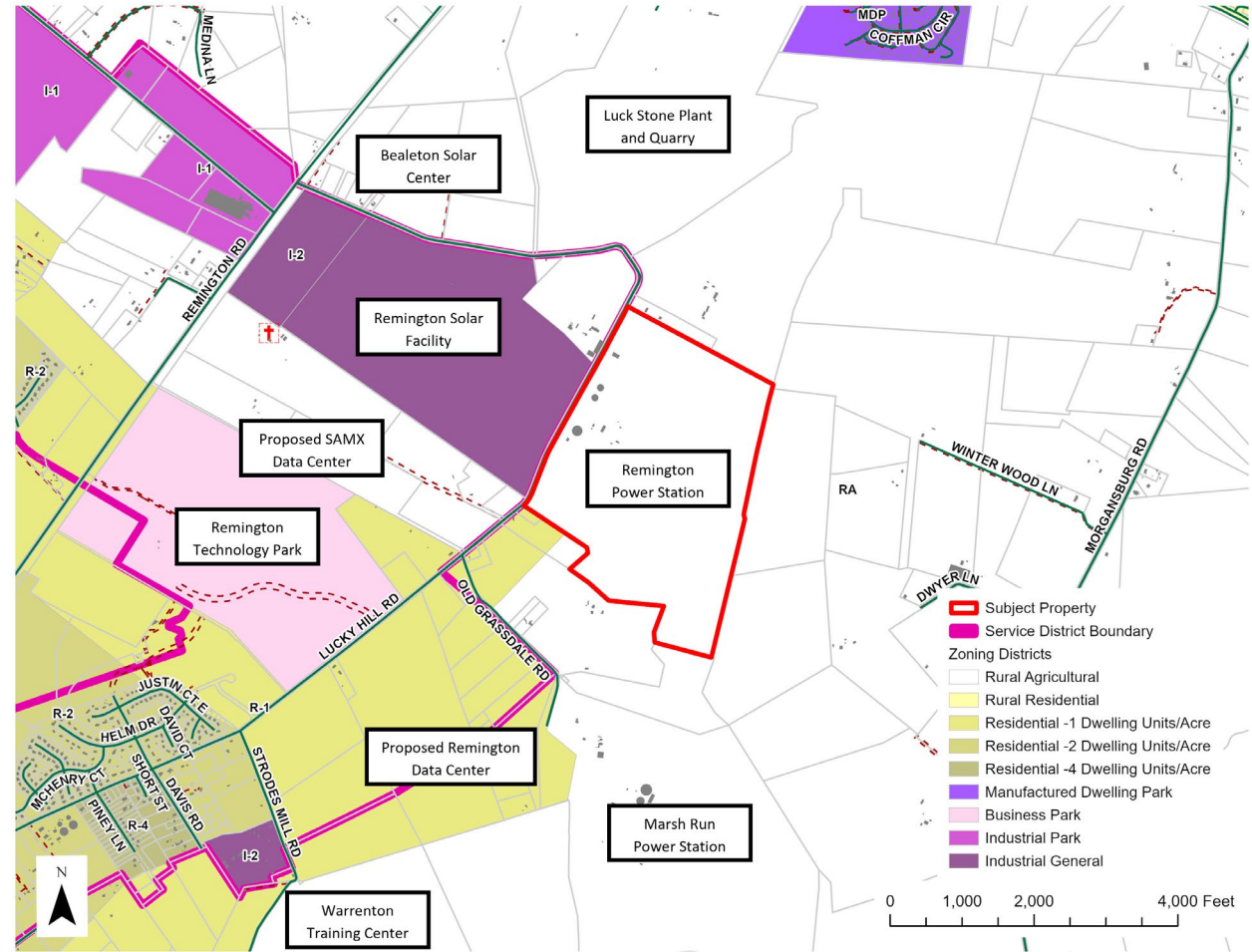
Property Summary

Subject Property:

- 12025 Lucky Hill Road, Remington
- 225.41 Acres, Use Area: +/- 72 Acres including the Existing Power Station

Property Information:

- Land Use: Rural with a Designated Electrical Generating Facility
- Zoning District: Agriculture (RA)
- Surrounding Properties: Agriculture (RA), Residential (R-1), Industrial General (I-2), Business Park (BP)
 - Various Electrical and Solar Uses, Remington Technology Park, Proposed Data Centers, Luck Stone Plant

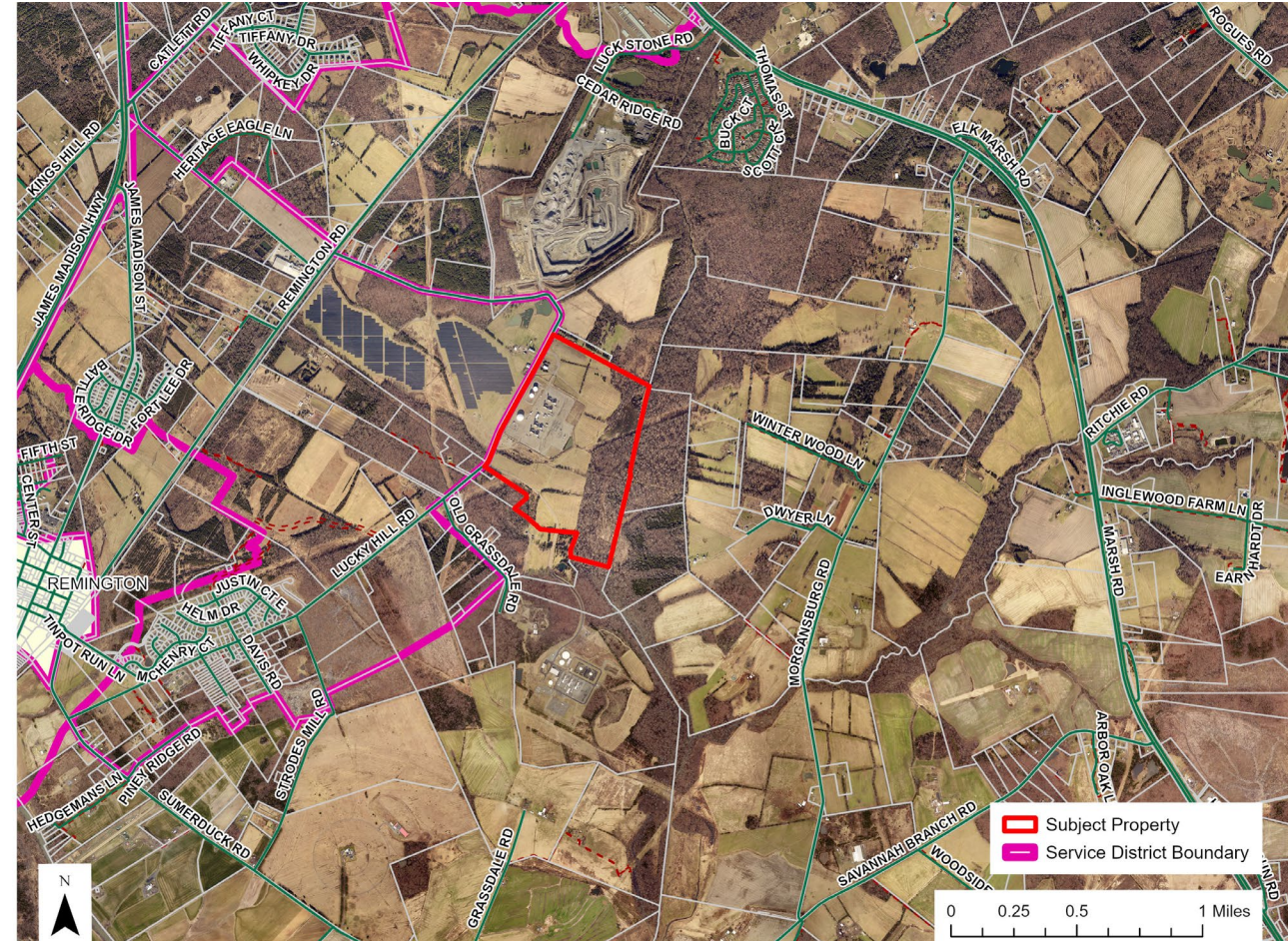


Zoning Map



Property History

- October 1998 – BOS approved a Category 20 SE for an Electrical Power Generating Facility
 - Included a condition that the total area of the site developed for the facility but limited to approximately 60 acres, as depicted on the SE Plat
 - Unless amended by the BOS, any remaining acreage shall be retained as buffer area
- November 2009 – BOS approved a Category 9 SE and Category 13 SP for the continued operation of Shady Grove Kennel and Hunting Preserve
- Requesting a Category 20 SE for a Tier 2 Battery Energy Storage System
 - Encompasses approximately 17 acres outside of the existing facility boundaries
- Approximately 72 acres of total site development, including the existing Electrical Generating Plant

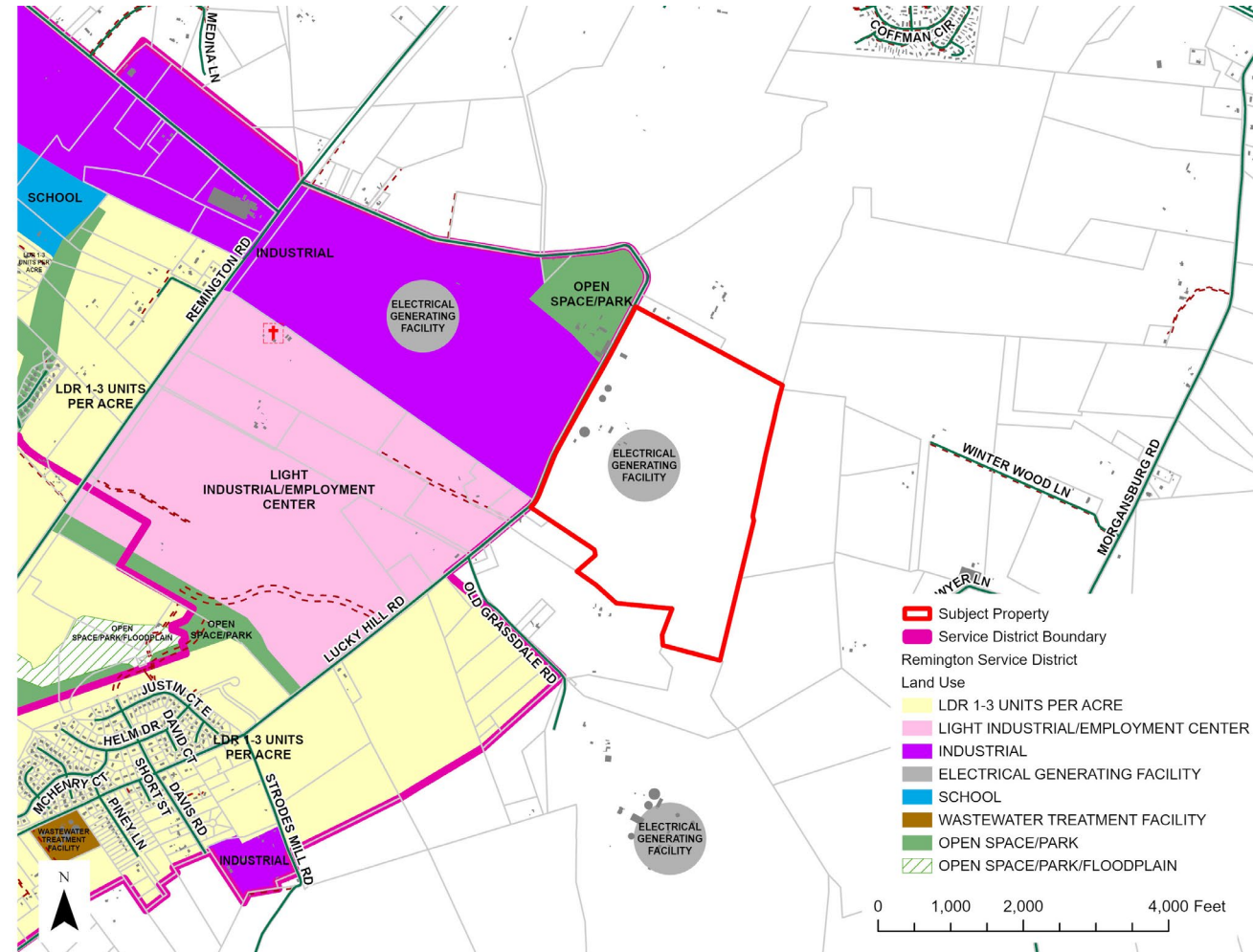


Regional Aerial Map



Comprehensive Plan

- Chapter 6 – Bealeton and Remington Service District Plan
 - Designates an Electrical Generating Facility
- Chapter 8 – Rural Land Use Plan
 - Evaluation of the impacts on scenic viewsheds in the design phase of any utility, energy, or other infrastructure project
- Chapter 9 – Public Facilities and Utilities
 - Locate electrical facilities to provide maximum service levels as unobtrusively as possible
 - Locate new facilities in areas of commercial or industrial land uses
 - Design electrical facilities to minimize negative and visual impacts on existing and future communities, including colocation of facilities

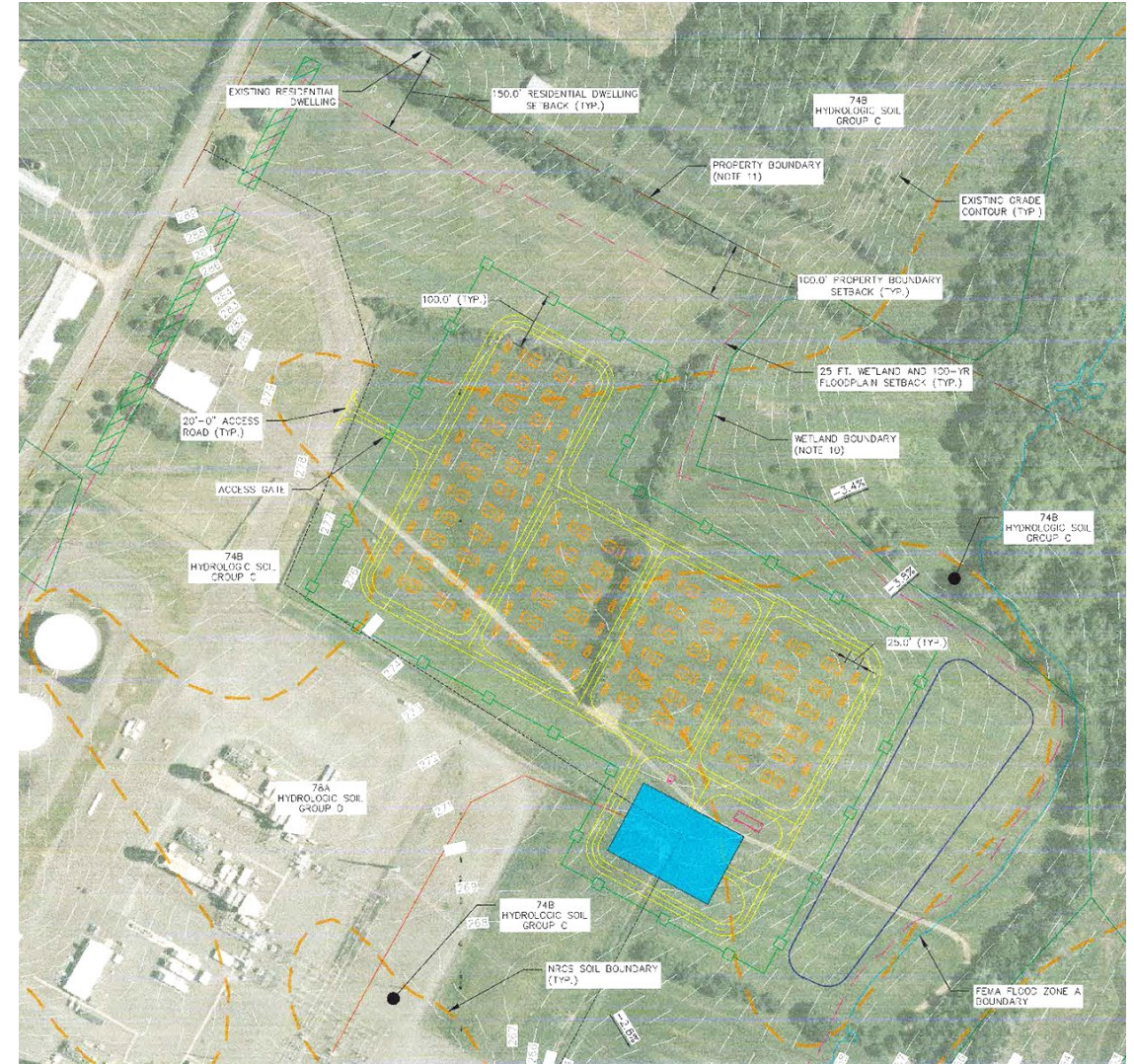


Land Use Map



Proposed System

- 100 MWac/400MWh Battery Energy Storage System encompassing +/- 17 acres
 - 230 kV substation
 - 174 individual enclosures, each 20' x 8' x 9.5' with top-mounted HVAC equipment
 - Light gray or white to blend in with surrounding electrical infrastructure
 - Substation interconnection to the grid via the existing Remington Power Station's switchyard
- Other Site Development
 - 20' wide gravel access road around the facility
 - Stormwater management, screening, 6-foot-tall fence with barbed wire around the facility
- Anticipated "Final Acceptance Date" in July 2029



Site Aerial Map



Included Conditions

- Total area limited to +/- 72 acres, as depicted on the SE Plat for the Remington BESS
- Electrical Generating Plant
 - Incorporated conditions from the 1998 approval
 - Conditions that have been addressed have been removed
 - No new conditions related to the Electrical Generating Plant since no changes are proposed to the operation
- Battery Energy Storage System
 - Conditions consistent with the Z.O. Standards for Battery Energy Storage Systems
 - Enclosures not to exceed 10 feet in height, not including equipment covering less than 25% of the top of the enclosure, finished in light gray or white
 - 25-foot setback from wetlands and floodplains

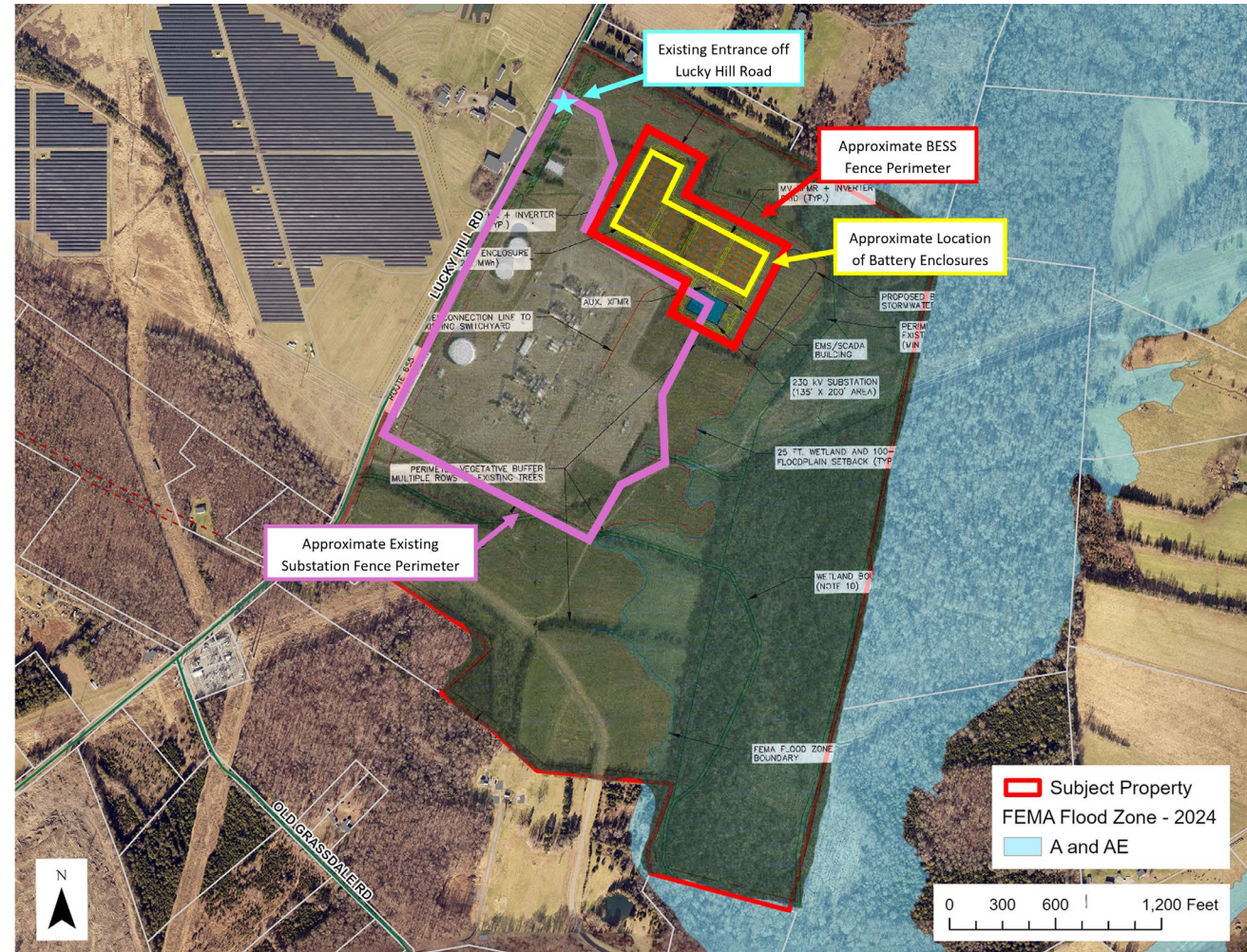


Site Aerial



Included Conditions

- Berm and evergreen tree plantings along the northern property line (From the 1998 Approval)
- 50-foot-wide vegetated buffer along the Lucky Hill Road frontage, in front of the BESS, and along the northern property line to screen the view of the batteries from adjacent properties all year
 - Existing vegetation, supplemented with evergreen trees, a minimum 6-8 feet at the time of planting
 - Established within 5 years and maintained for the life of the project
- Pre- and Post-Construction Road Evaluation for the Delivery Routes, reviewed and approved by VDOT
- Emergency vehicle access maintained at all times
- All applicable federal, state, and local permits
- Site Plan prior to commencement of the use

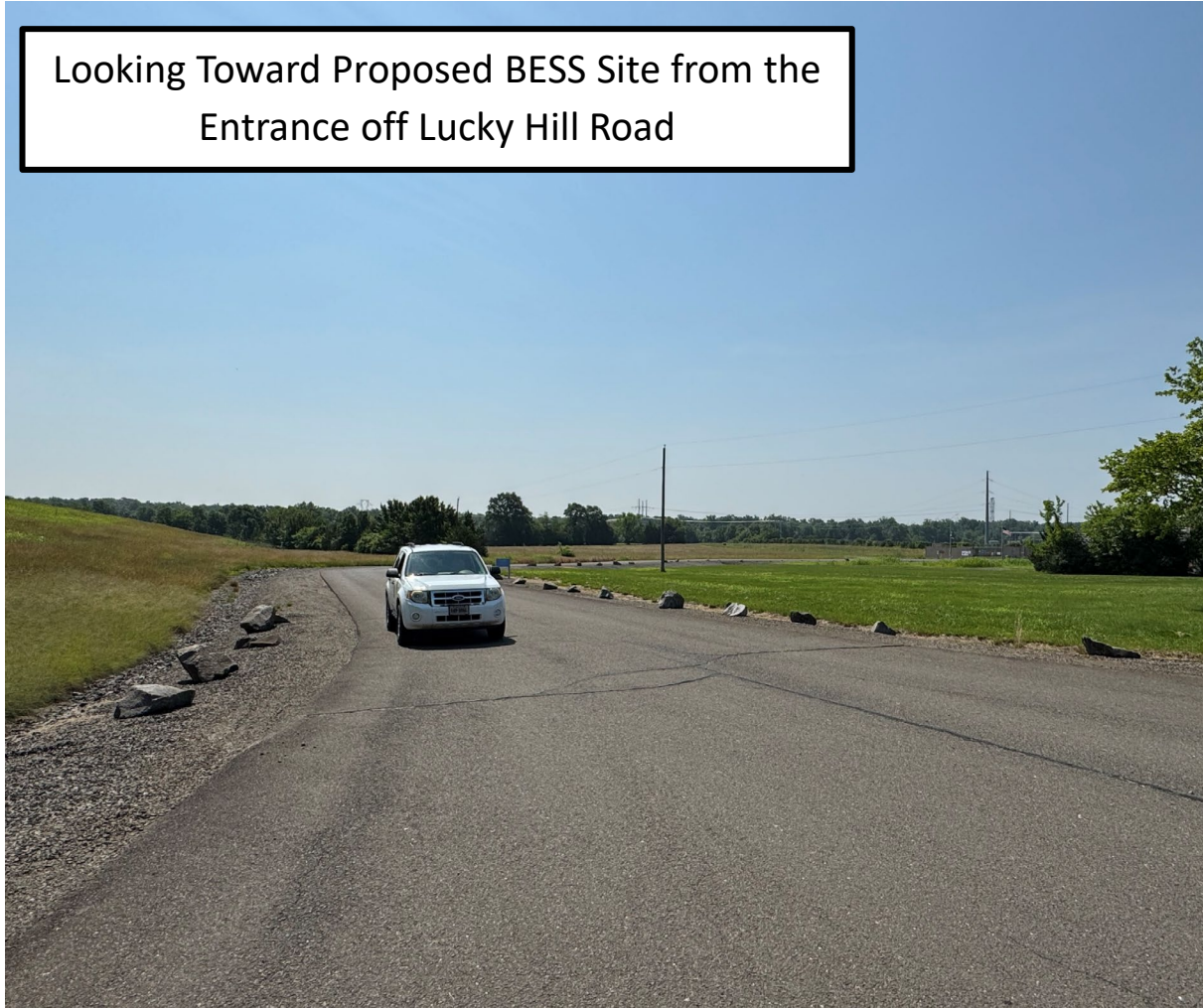


Site Aerial Map



Site Visit Photos

Looking Toward Proposed BESS Site from the
Entrance off Lucky Hill Road



Looking Toward Proposed BESS Site from the
Entrance off Lucky Hill Road





Site Visit Photos

Looking Toward Proposed BESS Site from Lucky Hill Road



Looking Across the Proposed BESS Site Toward the Adjoining Residence and Lucky Hill Road

