

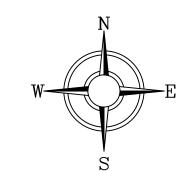
46TH STREET 690 LOT 2 Parcel P1304-02C 157,936 S.F. Proposed Building 5,873 S.F.

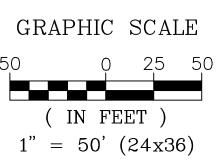
SITE PLAN

STREAMLINE ARCHITECTS THE ROCK

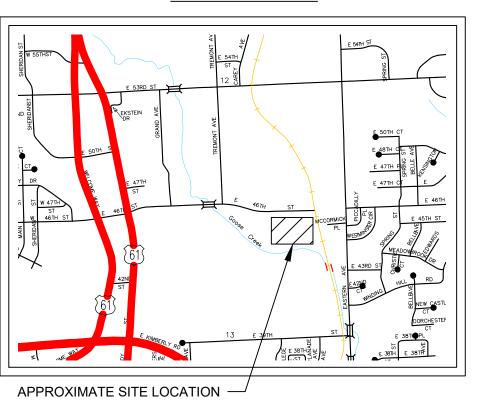
TO THE CITY OF DAVENPORT, IA







SITE LOCATION MAP



			LEGEND:		
S	EASEMENT SETBACK LINE CENTERLINE	M O	EXISTING GAS VALVE)15)15	EXISTING CONTOUR LINE PROPOSED CONTOUR LINE
	PROPERTY BOUNDARY EXISTING FENCE EXISTING SANITARY	Ø ₩	EXISTING UTILITY POLE EXISTING LIGHT POLE EXISTING TREE	<u> 715.00 T</u> C	SPOT ELEVATION TOP OF CURB
stn stn stn	PROPOSED SANITARY EXISTING STORM SEWER PROPOSED STORM SEWER		EXISTING BUSH	0715.00 FL	SPOT ELEVATION FL @ GUTTER
vvv	EXISTING WATER PROPOSED WATER	© ※	EXISTING MANHOLE EXISTING FIRE HYDRANT	0715.00 TW	SPOT ELEVATION SIDEWALK
	EXISTING GAS LINE EXISTING ELECTRIC	• •	FOUND PROPERTY PIN CONTROL POINT	0715.00 11	FINISHED FLOOR ELEVATION



DATE: 12/1/20

563 386.4236 office 386.4231 fax

2224 East 12th Street, Davenport, IA 52803

DRAWN BY: TAS DRAWING LOCATION

S: \DASSO-ANDREW\THE ROCK DAVENPORT

CHECKED BY: CRT

REVISIONS:

NO. DESCRIPTION DATE

PROJECT SITE PLAN

THE ROCK
DAVENPORT, IOWA

DEVELOPER

STREAMLINE ARCHITECTS
318 E. THIRD STREET
DAVENPORT, IOWA 52801













































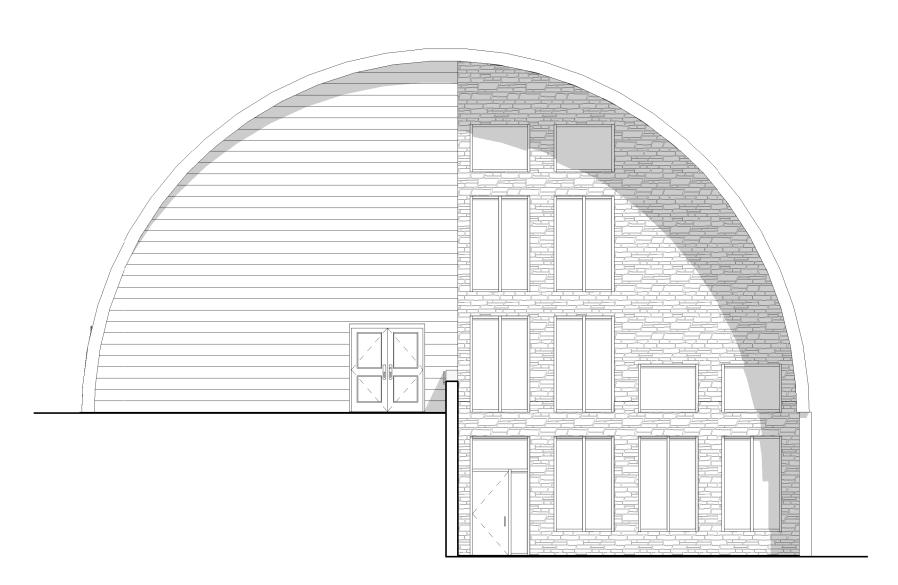


ROCK CHURCH

NEW CONSTRUCTION

DAVENPORT, IA

ADDENDUM 1 10/13/20



	INDEX		
NO.	SHEET NAME		
A000	COVER SHEET		
A002	DRAWING STANDARDS		
A101	LOWER LEVEL		
A102	UPPER LEVEL		
A110	LOWER LEVEL RCP		
A111	UPPER LEVEL RCP		
A120	ROOF PLAN		
A200	EXTERIOR ELEVATIONS		
A201	EXTERIOR ELEVATIONS		
A300	BUILDING SECTIONS		
A301	BUILDING SECTIONS		
A302	BUILDING SECTIONS		

I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA. PRINTED OR TYPED NAME: ANDREW J DASSO SIGNATURE: REGISTRATION EXPIRES: 06/30/21 DATE ISSUED: 08/21/2012 PAGES OR SHEETS COVERED BY THIS SEAL: A000 - A700, AS100, AD100-AD201



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CONTACT INFORMATION

BUILDING & PROPERTY OWNER

Rock Church of the Quad Cities 5335 Carey Avenue Davenport, IA 52807 (563) 386-7625

GENERAL CONTRACTOR

COMPANY Contact: (XXX)-XXX-XXXX phone XXX address **ARCHITECT**

STREAMLINE ARCHITECTS Andrew Dasso, AIA, LEED AP, NCARB

(309) 737-8587 575 12th Avenue East Moline, IL 61244 andrew@streamlinearchitects.com

Joshua Arguello (563) 265-4348 joshua@streamlinearchitects.com

No.	Description	Date
	-	

PROJECT NAME ADDRESS **COVER SHEET**

17-092 Project number 10/13/20 JJA Drawn by AJD Checked by

Scale

GENERAL NOTES

- A. SCOPE OF WORK AND GENERAL CONDITIONS

 1. THIS SET OF DOCUMENTS CONSISTS OF ALL SHEETS LISTED IN THE SHEET INDEX ON THE TITLE SHEET AND ALL ADDENDA. WORK SHOWN ON ANY OF THE ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, AND/OR FIRE PROTECTION DRAWINGS, INVOLVING ANY ONE PARTICULAR TRADE SHALL BE PERFORMED BY THAT PARTICULAR TRADE WHETHER SUCH REQUIRED WORK IS SHOWN ON THE DRAWINGS AS BELONGING TO THAT TRADE. FOR CONFLICTS OR INCONSISTENCIES THAT MAY ARISE BETWEEN VARIOUS DOCUMENTS THE BIDDER SHALL ASSUME THE MORE STRINGENT OR
- SEVERE CONDITION.

 2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE NATURE, AND SCOPE OF WORK DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO EXECUTE ALL WORK AS SHOWN ON THESE DRAWINGS EXCEPT WERE NOTED AS NOT IN CONTRACT (N.I.C.). CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING WORK WITH THAT OF ALL OTHER TRADES. ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKERS IN
- ACCORDANCE WITH THE BEST PRACTICES OF EACH TRADE.

 3. DUE TO THE NATURE OF RENOVATION WORK, THE BIDDER SHALL CONSIDER CONTINGENCIES IN THE BID. NO ADDITIONAL FUNDS WILL BE PROVIDED FOR HIDDEN FIELD CONDITIONS THAT MAY ARISE. THE CONSTRUCTION DOCUMENTS ARE SCOPE DOCUMENTS AND AS SUCH MAY NOT DETAIL EXISTING CONDITIONS EXACTLY; HOWEVER, THIS DOES NOT RELEASE THE BIDDER FROM CAREFULLY REVIEWING THE EXISTING FIELD CONDITIONS AS THEY AFFECT THE WORK.
- 4. CONTRACTORS MUST PERFORM THEIR WORK AT THE OWNER'S CONVENIENCE AND SO
- AS NOT TO INTERFERE WITH THE OWNER'S NORMAL OPERATION.

 5. ANY EXISTING WORK OR EQUIPMENT DAMAGED BY THE CONTRACTORS OR THEIR AGENTS OR EMPLOYEES MUST BE REPAIRED OR REPLACED AS APPROVED BY THE ARCHITECT, AND WITH NO CHANGE IN CONTRACT PRICE.
- 6. THE CONTRACTOR SHALL PROVIDE TEMPORARY ENCLOSURE OR OTHER MEANS OF PROTECTION AS REQUIRED. THE CONTRACTOR SHALL COORDINATE THE TEMPORARY ENCLOSURE WITH THE OWNER.
- CONTRACTOR(S) SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR LICENSES REQUIRED BY LOCAL AUTHORITIES.
- B. QUALIFICATIONS AND CODE COMPLIANCE
- THE CONSTRUCTION MANAGER AND ALL SUBCONTRACTORS SHALL BE LICENSED TO PRACTICE IN THE JURISDICTION OF THE SITE.
- 2. MODIFICATIONS REQUIRED TO COMPLY WITH CODES SHALL BE REVIEWED WITH ARCHITECT TO PRESERVE DESIGN INTENT. MODIFICATIONS TO MEET CODES SHALL BE PERFORMED AT NO ADDITIONAL CHARGE TO THE OWNER OVER THE ORIGINAL CONTRACT AMOUNT.
- 3. ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH THE OCCUPATIOND SAFETY AND HEALTH ACT OF 1970 (OSHA) AS PUBLISHED IN THE LATEST ISSUE OF THE FEDERAL REGISTER. THE CONTRACTOR MUST MAKE WHATEVER PROVISIONS ARE REQUIRED TO COMPLY.
- 4. ALL TRADES MUST BE KNOWLEDGEABLE OF PROVISIONS OF CURRENT GOVERNING CODES APPLICABLE TO THE TRADE.
 - PROVIDE HOT AND COLD WATER LINES, SOIL AND VENT LINES. AND SHUT-OFF VALVES
- AS REQUIRED IN ACCORDANCE WITH LOCAL BUILDING AND PLUMBING CODES.

 6. ALL INSULATION TYPES MUST RECEIVE APPROVAL FROM THE GOVERNING AGENCY FOR USE IN THE BUILDING OR AS A COMPONENT OF A SYSTEM IN THE BUILDING.
- C. CONTRACT DRAWINGS AND SPECIFICATIONS
- 1. PLANS AND SPECIFICATIONS ARE COOPERATIVE AND COMPLEMENTARY. ALL LABOR AND MATERIALS REQUIRED TO FULLY CARRY OUT THE INTENTIONS OF THE PLANS AND SPECIFICATIONS ARE PART OF THIS CONTRACT WHETHER OR NOT SPECIFICALLY DOCUMENTED.
- 2. CONTRACTOR AND EACH SUBCONTRACTOR ARE REQUIRED TO THOROUGHLY INSPECT THESE DRAWINGS AND SPECIFICATIONS AND SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AT THE JOB SITE, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES AND/OR CONFLICTS IN WRITING BEFORE PROCEEDING WITH THE WORK OR ORDERING ANY MATERIAL.
- 3. EACH TRADE IS REQUIRED TO THOROUGHLY EXAMINE THESE DRAWINGS AND INSPECT EXISTING CONDITIONS AT THE JOB SITE TO IDENTIFY POTENTIAL PROBLEMS, CONFLICTS, DISCREPANCIES OR INTERFERENCE WITH OTHER TRADES.
- 4. EXISTING CONDITIONS/DEMOLITION DRAWINGS WERE PREPARED FOR THE CONVENIENCE OF THE CONTRACTOR AND OWNER. THE ARCHITECT DOES NOT WARRANT THE ACCURACY AND COMPLETENESS OF THESE DRAWINGS. IT IS THE RESPONSITILITY OF THE CONTRACTOR TO VERIFY AND BE FAMILIAR WITH ALL EXISTING CONDITIONS AFFECTED BY THE WORK.
- CONDITIONS AFFECTED BY THE WORK.

 5. ANY WORK OR MATERIALS CALLED FOR DIFFERENTLY ON THE DRAWINGS AND IN THE SPECIFICATIONS SHALL BE PROVIDED AS SHOWN ON ONE OR THE OTHER, AT THE ARCHITECT'S OPTION, AT NO ADDED COST OVER THE ORIGINAL CONTRACT AMOUNT.
- INFORMATION IS NOT NECESSARILY REPEATED ON PLANS AND SPECIFICATIONS: BOTH ARE APPLICABLE. IN THE EVENT OF A CONFLICT, CONSULT THE ARCHITECT.
 NOTES APPEAR ON VARIOUS SHEETS FOR DIFFERENT SYSTEMS AND CONSTRUCTION MATERIALS. ALL SHEETS ARE TO BE REVIEWED AND NOTES ON ANY ONE SHEET ARE TO
- BE APPIED TO ALL RELATED DRAWINGS AND DETAILS.

 8. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE DETAILED. WHERE SPECIFIC DIMENSION, DETALIS, OR DESIGN INTENT CANNOT BE DETERMINED, CONSULT
- THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.

 9. DRAWINGS MAY BE DISTORTED FROM PRINTING AND ARE NOT TO BE SCALED. WRITTEN DIMENSIONS GOVERN: FAVOR LARGE SCALE DETAILS OVER SMALL SCALE DRAWINGS.

 10. ALL DIMENSIONS ARE FINISHED FACE OF WALLS AND PARTITIONS UNLESS OTHERWISE
- INDICATED.

 11. ARCHITECTURAL DIMENSIONS AND NOTES SHALL TAKE PRECEDENCE OVER ENGINEERING DIMENSIONS AND NOTES. IF DISCREPANCIES BETWEEN ARCHITECTURAL AND ENGINEERING DRAWINGS ARE DISCOVERED, CONTACT ARCHITECT FOR
- D. EXISTING CONDITIONS

INTERPRETATION.

1. THE CONTRACTOR SHALL VERIFY AND BE FAMILIAR WITH THE EXISTING CONDITIONS AS AFFECTED BY THE SCOPE OF WORK TO BE PERFORMED. BY SUBMITTING A BID OR EXECUTING THE CONTRACT, THE CONTRACTOR REPRESENTS THAT HE HAS VISITED THE SITE AND FAMILIARIZED HIMSELF WITH THE LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.

- NO REQUESTS FOR ADDITIONAL FUNDS WILL BE ALLOWED DUE TO IGNORANCE OF
 EXISTING CONDITIONS OR INTERFERENCE WITH THE WORK OF THE OTHER TRADES.
 THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY
- DISCREPANCIES, OMISSIONS AND/OR CONFLICTS BETWEEN THE EXITING CONDITIONS AND THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS.

 THE CONTRACTOR MUST VERIEY ALL EXISTING CONDITIONS AT THE SITE WHERE
- THE CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS AT THE SITE. WHERE REQUIRED, NEW WORK MUST BE ADAPTED TO FIT EXISTING CONDITIONS AT NO
- ADDITIONAL COST TO THE OWNER.

 4. THE CONTRACTOR SHALL VERIFY THAT ALL EXISTING FLOORS AND WALLS RELATED TO THE WORK ARE TRUE AND LEVEL TO PERMIT PROPER TOLERANCES FOR NEW WORK. COMMENCEMENT OF THE WORK INDICATES ACCEPTANCE OF CONDITION OF EXITING
- EXISTING CONDITIONS ARE INDICATED FOR THE CONTRACTOR'S CONVENIENCE ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EXISTING CONDITIONS AS THEY ARE AFFECTED BY THE WORK. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OR COMPLETENESS OF THE EXISTING CONDITIONS SHOWN. NO ADDITIONAL FUNDS WILL BE AUTHORIZED FOR THE CONTRACTOR'S IGNORANCE OF CONDITIONS AND THEIR

E. DEMOLITION AND REMOVALS

DISPOSITION OF ALL EXISTING CONSTRUCTION ITEMS, EQUIPMENT, FIXTURES, ETC.
THAT ARE TO BE REMOVED AND SALVAGED FOR OWNER AS PART OF THIS WORK, MUST BE VERIFIED WITH THE OWNER. CONTRACTORS MAY BE REQUIRED TO MOVE OFF SITE OR RELOCATE ANY OR ALL SUCH ITEMS.

EXISTING FIXTURES THAT ARE IDENTIFIED AS SALVAGED FOR OWNER.

- ANY MECHANICAL AND/OR ELECTRICAL APPURTENANCES, ETC., WHICH ARE TO REMAIN ACTIVE MUST BE REMOVED IN THEIR ENTIRETY TO SUCH EXTENT AS NOT TO INTERFERE WITH, NOR DESTROY THE DESIGN CONCEPT OF THE NEW WORK.
 CONTRACTOR SHALL COORDINATE WITH OWNER, AND STORE AS DIRECTED, ANY
- F. CUTTING AND PATCHING

THE CONTACTOR SHALL COORDINATE ALL WORK WITH ADJACENT AND AFFECTED TRADES. THE CONTRACTOR SHALL PERFORM ALL CUTTING, PATCHING AND FILLING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED OR IMPLIED ON THE DRAWINGS AND ALL OTHER WORK AS MAY BE REQUIRED TO COMPLETE THE JOB. PATCH AND REPAIR FLOORS, WALLS, CEILINGS, AND MULLIONS AS REQUIRED TO MATCH ADJACENT SURFACE AND/OR AS INDICATED ON THE DRAWINGS.

- 2. ALL WORK SUCH AS CUTTING, PATCHING, REPAIR WORK, ETC., MUST BE PERFORMED BY TRADES SPECIALIZING IN THAT WORK. SURFACES FORM WHICH EXISTING CONSTRUCTION ITEMS ARE TO BE REMOVED SHALL BE PATCHED AS REQUIRED BY THE NEW WORK SO AS TO MATCH ALL ADJACENT NEW OR EXISTING SURFACES.
- 3. AFTER REMOVAL OF ANY EXISTING CONSTRUCTION, ALL AREAS AFFECTED OR DAMAGED BY REMOVAL WORK SHALL BE PATCHED AS REQUIRED TO MATCH ADJACENT SURFACES IN ALL RESPECTS.
- 4. IN ALL LOCATIONS WHERE FILLING IN OF EXISTING OPENINGS IS REQUIRED, AND WHERE EXPOSED FINISH SURFACE IS MASONRY, THE CONTRACTOR SHALL MATCH THE ADJACENT MASONRY SURFACES AND INTERIOR FINISH IN EVER RESPECT.

G. MATERIALS, ASSEMBLIES AND INSTALLATION

- ALL OPENINGS AND OTHER PROVISIONS NECESSARY FOR INSTALLATION OF
 ARCHITECTURAL, PLUMBING, MECHANICAL, ELECTRICAL OR OWNER'S APPARATUS AND
 EQUIPMENT MUST BE VERIFIED WITH THE SPECIFIC TRADES INVOLVED, OR WITH THE
 OWNER PRIOR TO INSTALLATION, AND MUST BE OF SIZE, LOCATION, CONFIGURATION,
 ETC. REQUIRED.
- MATERIALS MAY BE SPECIFIED ON DRAWINGS AS WELL AS SPECIFICATIONS. IN THE
- EVENT OF A CONFLICT, CONSULT ARCHITECT.

 3. ANY DETAILS SYSTEMS MATERIALS. ETC. (ARCHITECTURAL, STRUCTURAL, MECHANICAL. ETC.) WHICH ARE PROPOSED TO BE CHANGED FROM THAT INDICATED OR SPECIFIED IN THE CONTRACT DOCUMENTS MUST BE REVIEWED BY THE ARCHITECT AND APPROVED BY THE OWNER PRIOR TO PREPARATION OF SHOP DRAWINGS.
- 4. ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO AVOID GALVANIC ACTION AND DETERIORATION.
- 5. ALL WOOD BLOCKING SHALL BE FIREPROOF (UNLESS OTHERWISE NOTED).
 6. ALL WORK SHALL BE GUARANTEED AGAINST DEFECTIVE MATERIALS AND WORKMANSHIP FOR A MINIMUM OF ONE YEAR AFTER THE DATE OF SUBSTANTIAL
- 7. INSTALL ALL MATERIALS AND SYSTEMS IN STRICT ACCORDANCE WITH
- MANUFACTURER'S SPECIFICATIONS OR INSTRUCTIONS.

 8. THE FLAME SPREAD RATING AND SMOKE DEVELOPMENT RATINGS FOR ALL MATERIALS SHALL CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF GOVERNING
- 9. WHERE NEW WORK ABUTS EXISTING CONSTRUCTION OR EXISTING CONSTRUCTION HAS BEEN PATCHED OR REPAIRED, PAINT EXISTING SURFACES FORM NEAREST CORNER TO NEAREST CORNER, AND FROM FLOOR TO CEILING.
- NEAREST CORNER, AND FROM FLOOR TO CEILING.

 10. ALL NEW PARTITIONS ARE TO EXTEND TIGHT UP TO THE FLOOR OR ROOF CONSTRUCTION, EXCEPT OTHERWISE SHOWN, AND ARE TO BE CUT TO FIT AROUND BEAMS, JOIST, DUCTS, CONDUITS, PIPES, HANGERS, ETC. ALL SUCH CUTS SHALL BE ACCURATE, STRAIGHT, AND SEALED WITH MORTAR OR TAPE AND COMPOUND, AND
- 11. PROVIDE PAINT FINISHES TO MATCH EXISTING ADJACENT CONDITIONS, UNLESS
- OTHERWISE NOTED.

 12. UNLESS OTHERWISE NOTED, THE CONSTRUCTION OF ALL NEW WALLS SHALL MATCH THICKNESS, HEIGHT, RATING, MATERIAL AND COMPOSITION OF THE ADJACENT
- 13. FOR ANY UNSCHEDULED OPENINGS IN A MASONRY WALL, THE ASSOCIATED TRADE
- SHALL PROVIDE STEEL LINTELS AS SPECIFIED.

 14. IT IS THE CONTRACTORS RESPONSIBILITY TO COORDINATE & ACCURATELY LOCATE ELECTRICAL AND MECHANICAL DEVICES WITH CASEWORK AND OTHER CONSTRUCTION TO AVOID CONFLICTS. NO ADDITIONAL FUNDS WILL BE AUTHORIZED BY THE ARCHITECT FOR MISCOORDINATED WORK.
- 15. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED SO AS TO BE COMPLETELY
- WATERTIGHT AND AIRTIGHT.

 16. CONTRACTOR SHALL PROVIDE AND INSTALL NEW FIXTURES AND LAMPS AS SPECIFIED
- AND RELAMP EXITING FIXTURES AS INDICATED ON DRAWINGS.

 17. ALL LENSES. REFLECTORS, LAMPS, PLATES FOR NEW AND EXISTING LIGHT FIXTURES
- ETC. SHALL BE THOROUGHLY CLEANED PRIOR TO OCCUPANCY.

 18. THE CONTACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY BRACING (TEMP. AND PERM.) FOR SOUND CONSTRUCTION TO MEET CODE DEFINED LOADING CONDITIONS
- WHETHER OR NOT SPECIFICALLY DOCUMENTED AL NO ADDITIONAL COST TO OWNER.

 19. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY BLOCKING, FURRING, AND GROUNDS (TEMP. AND PERM.) FOR GOOD CONSTRUCTION PRACTICE WHETHER OR

NOT SPECIFICALLY DOCUMENTED AT NO ADDITIONAL COST TO THE OWNER

20. ROOFING, WATERPROOFING AND MOISTURE PROTECTION DETAILS ARE INDICATED FOR DESIGN INTENT AND ARE SUGGESTIVE ONLY. IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE A PROPER AND COMPLETE SYSTEM PER THE SELECTED MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS, FOR MATERIALS AND EXECUTIONS THAT IS COMPLETELY WATER-TIGHT AND MEETS THE MANUFACTURER'S CRITERIA FOR WARRANTY.

H. SITE CONDITIONS.

- ACTIVE PIPES, CONDUITS AND OTHER UTILITIES OF ALL TYPES, WHETHER SHOWN IN THE BID DOCUMENTS OR NOT, MUST BE PROTECTED BY THE CONTRACTOR AT ALL TIMES DURING THE CONSTRUCTION OF THE WORK. EXTREME CARE SHALL BE EXERCISED AT ALL TIMES NOT TO DAMAGE ANY SUCH PIPES AND CONDUITS. IF DAMAGE OCCURS THE CONTRACTOR SHALL REPAIR SUCH DAMAGE IN A MANNER APPROVED BY THE ARCHITECT, AND AT NO CHANGE IN CONTRACT PRICE.
- 2. UNLESS SPECIFICALLY OTHERWISE APPROVED BY THE OWNER, ALL MECHANICAL AND/OR ELECTRICAL LINES MUST BE KEPT ACTIVE DURING AND/OR AFTER CONSTRUCTION. WHERE THEY INTERFERE THE NEW OR REMODELING WORK, THEY MUST BE TEMPORARILY RELOCATED DURING CONSTRUCTION AND PERMANENTLY RELOCATED AFTER CONSTRUCTION, TO LOCATIONS APPROVED BY THE ARCHITECT, AT NO ADDITIONAL COST TO THE OWNER.
- 3. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE STRUCTURE AND ITS INHABITANTS.

 4 THROUGHOUT THE PERIOD OF DEMOLITION AND CONSTRUCTION PROVIDE ALL NECESSARY

4 THROUGHOUT THE PERIOD OF DEMOLITION AND CONSTRUCTION PROVIDE ALL NECESSARY
"ACCOMMODATIONS" TO KEEP THE TENANT-OCCUPIED PORTION OF THE FLOOR OPERATIONAL
AND SAFE. THESE "ACCOMMODATIONS" INCLUDE, BUT ARE NOT LIMITED TO ELECTRICAL AND
COMMUNICATIONS WIRING, HVAC, NOISE AND DUST CONTROL, PLUMBING, TEMPORARY
SIGNAGE, AND LIFE-SAFETY MEASURES.

5. ALL CORRIDORS ARE TO BE KEPT FREE FOR REFUSE AND CONSTRUCTION MATERIAL. CONTRACTOR SHALL DISPOSE OF DEMOLISHED MATERIALS.

I NOTES

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Description

PROJECT NAME

ADDRESS
DRAWING
STANDARDS

Project number	17-092
Date	10/13/20
Drawn by	Author
Checked by	Checker

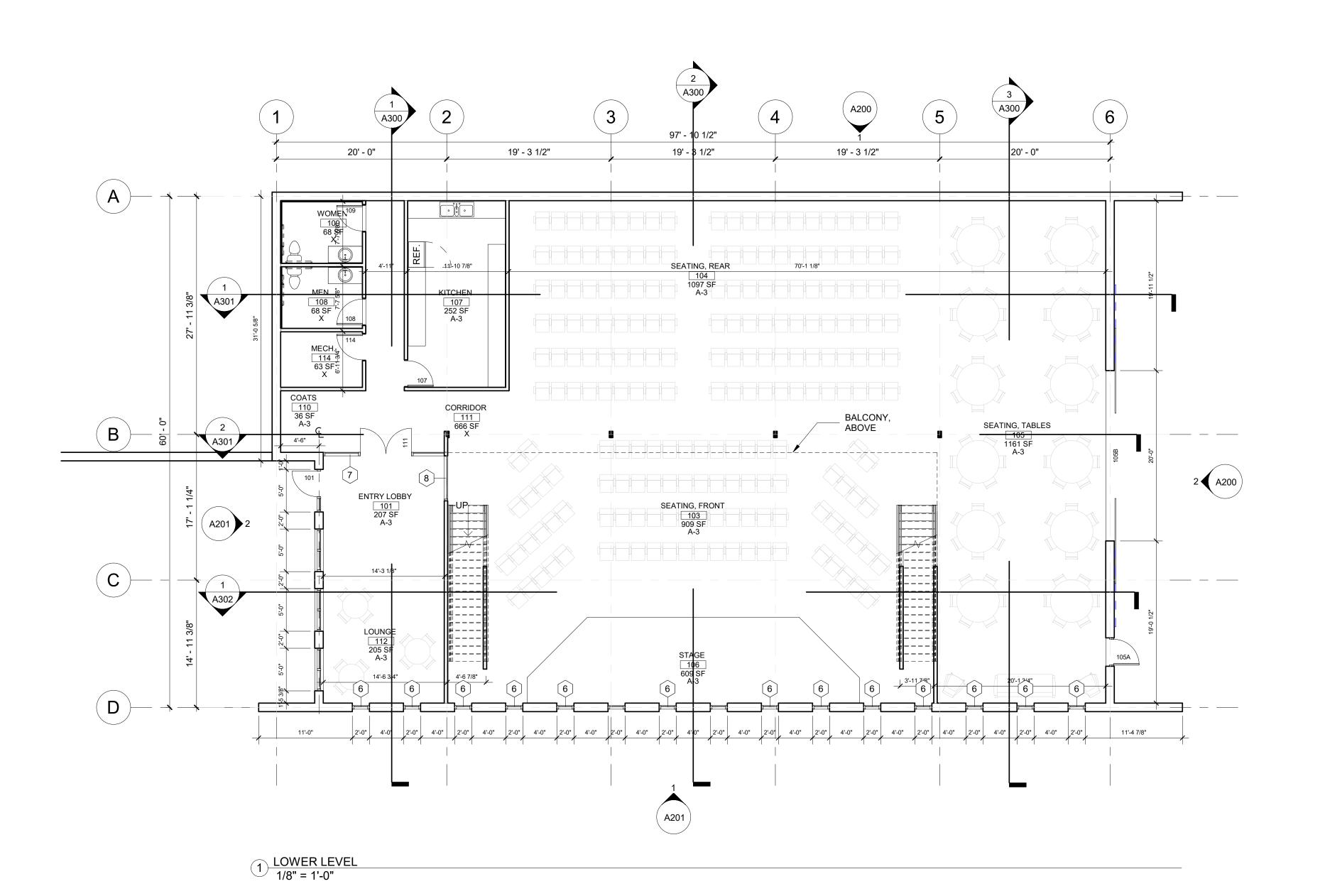
A002

Scale

12" = 1'-0"

SYMBOLS & ABBREVIATIONS

12" = 1'-0"





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PROJECT NAME ADDRESS

LOWER LEVEL

Project number 17-092

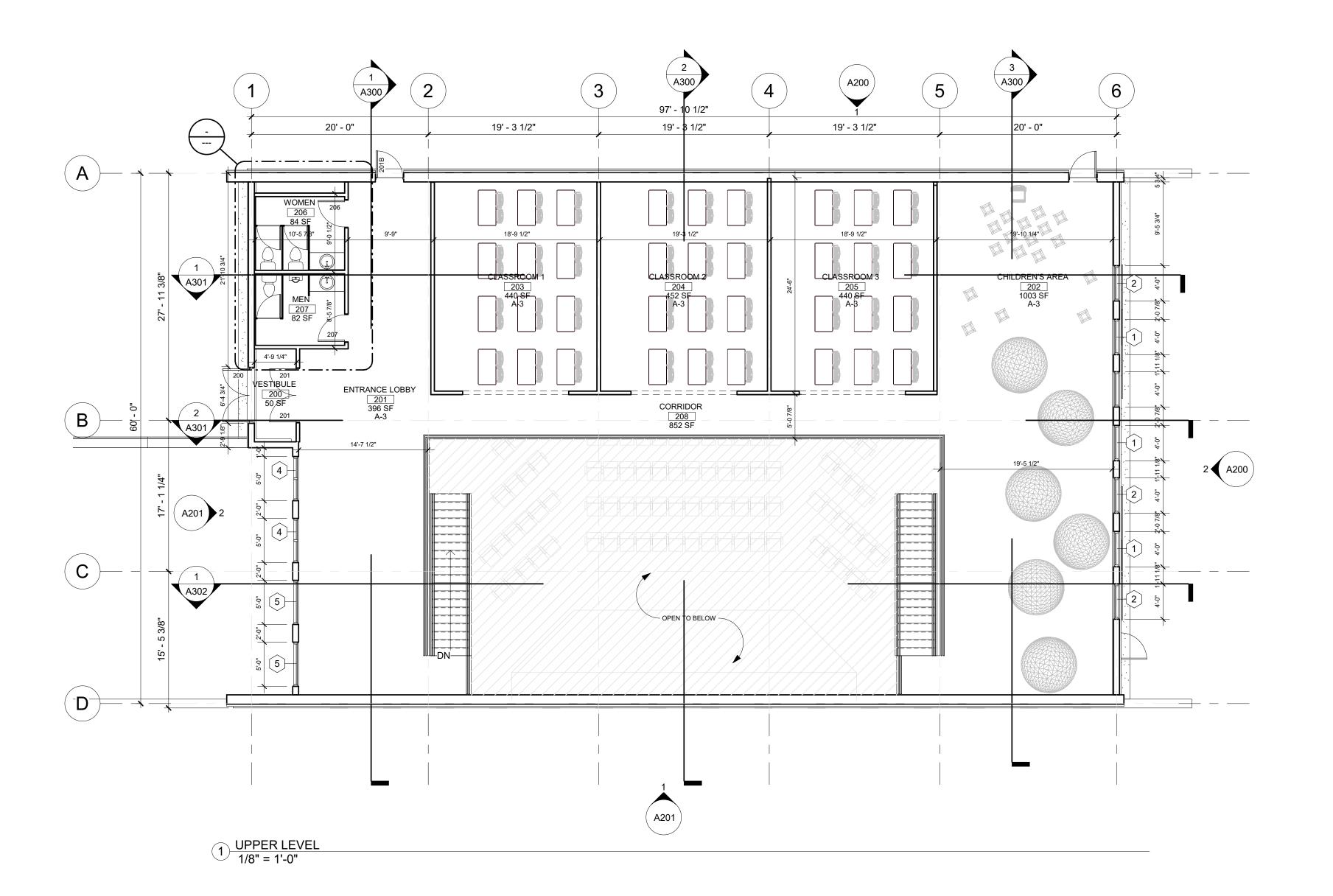
Date 10/13/20

Drawn by Author

Checked by Checker

A101

Scale





Streamline Architects, P.L.C.

Andrew Dasso, AIA 575 12th Ave East Moline, IL 309-737-8587 andrew@buildbyarchitects.com

No.	Description	Date
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PROJECT NAME

ADDRESS

UPPER LEVEL

Project number 17-092

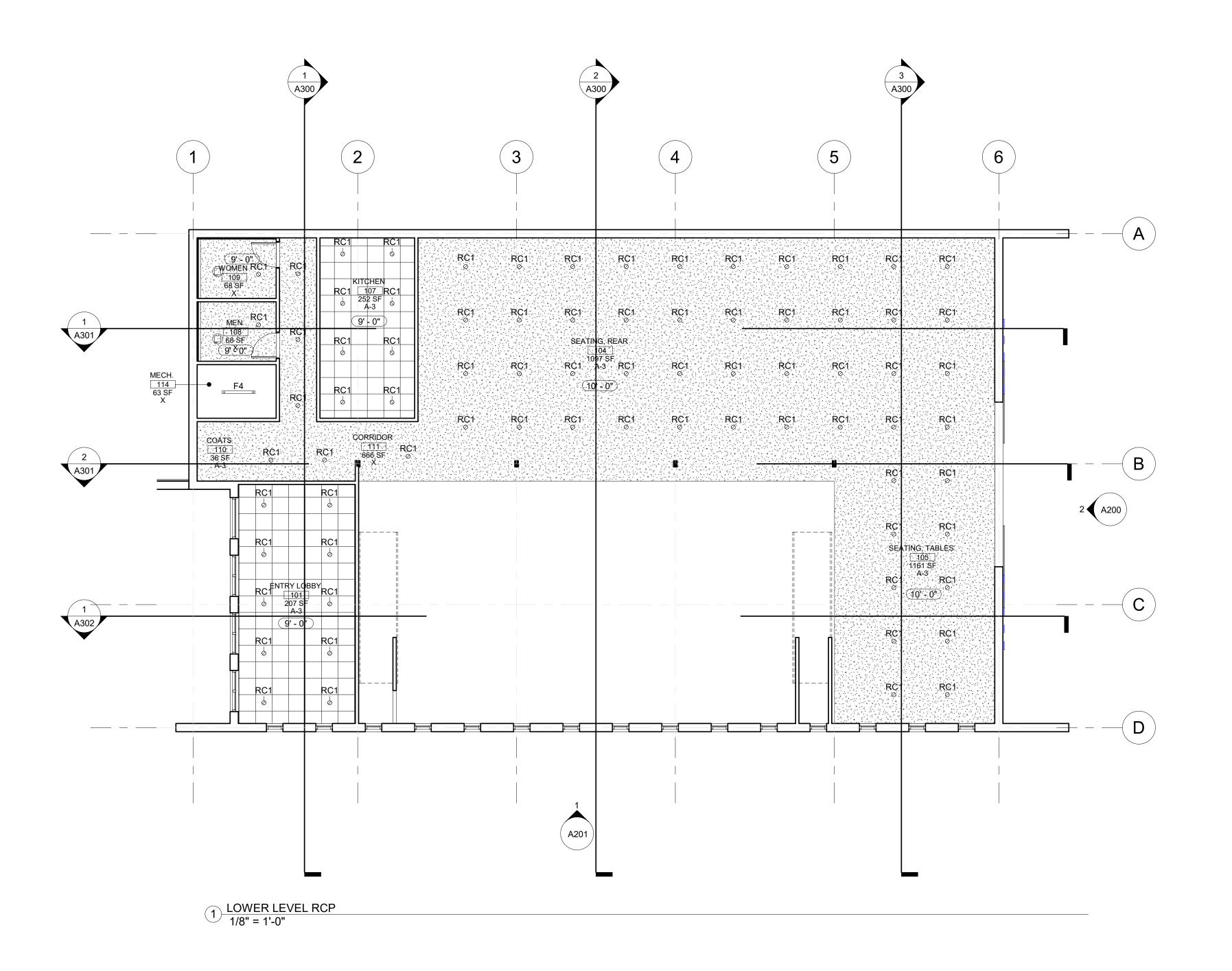
Date 10/13/20

Drawn by Author

Checked by Checker

A102

Scale



RCP GENERAL NOTES

- 1. ALL GWB CEILING TO PAINTED WHITE, U.N.O.
- 2. ALL DRYWALL SOFFITS (VERTICAL PLANE) TO MATCH ADJACENT WALL FINISH, U.N.O.
- ALL FIXTURES TO BE CE VTL RED IN CEILING
- 4. ALL GRIDS TO BE CENTERED IN ROOMS, U.N.O.
- ALL LIGHT FIXTURES INSTALLED IN SOFFITS TO BE CENTERED WITHII A VI IDTH, U.N.O.
- S. ALL SUSPENDED CEILING GRIDS, MECH.
 SYSTEMS, AUTO SPRINK LER SYSTEMS &
 PLUMBING TO BE SUPPCRT ED FROM THE
 BOTTOM OF JOIST WHEF E APPLICABLE
- 7. GENERAL CONTRACTOR TO GUNFIRM CEILING LAYOUT & COOF.DINATE MECHANICAL, FIRE PROTECTION & ELECTRICAL TRADES
- 8. SEE MECHANICAL & ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION

RCP LEGEND

			2 x 2 SUSPE GRID W/ AC CEILING TIL	OUST	IC.	
Ţ	<u> </u>	<u></u>				

GWB CEILIN(≥

RECESSED CAN FIXTURE

CABLE RAIL LIGHTING

SUSPENDED UT"LITY FIXTURE

2 X 4 DIRECT/יאוט ECT LED LIGHT FIXTU RE

EMERGENCY LIGHT W/ 90 MIN. BATTERY

EXIT LIGHT / EMFRGENCY LIGHT
(LIGHTED FACE OF SICN IS
SHADED) W/ 90 Min. PATTERY



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NO.	Description	Date

PROJECT NAME ADDRESS

LOWER LEVEL RCP

Project number 17-092

Date 10/13/20

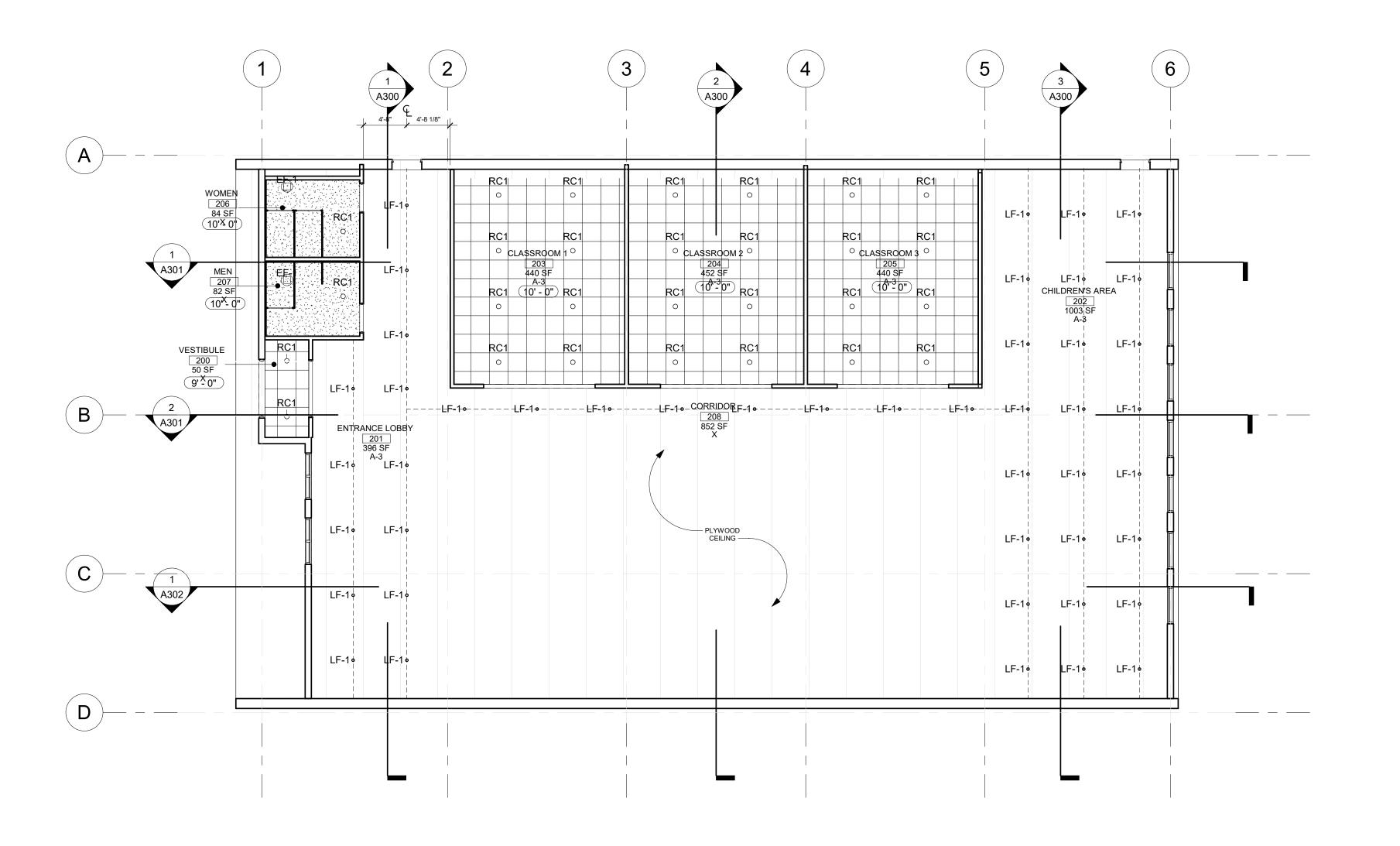
Drawn by Author

Checked by Checker

A110

Scale

As indicated



1 UPPER LEVEL RCP 1/8" = 1'-0"



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318 E. Third Street

309-737-8587

RCP GENERAL NOTES

- ALL GWB CEILING TO PAINTED WHITE, U.N.O.
- ALL DRYWALL SOFFITS (V :RTICAL PLANE) TO MATCH ADJACENT WALL FINISH, U.N.O.
- ALL FIXTURES TO BE C EN TERED IN CEILING
- ALL GRIDS TO BE CENTFILED IN ROOMS, U.N.O.
- ALL LIGHT FIXTURES IN STALLED IN SOFFIT 3 TO BE CENTERED WITH, WIDTH, U.N.O.
- ALL SUSPENDED CEILING GRIDS, MECH. SYSTEMS, AUTO SPRINKLER CYCTEMO & PLUMBING TO BE SUPFORTED FROM THE BOTTOM OF JOIST WHERE APPLICABLE
- GENERAL CONTRACTOR TO CONFIRM CEILING LAYOUT & COORDINATE MECHANICAL, FIRE PROTECTION & ELECTRICAL TRADES
- SEE MECHANICAL & ELLICTRICAL DRAWINGS FOR ADDITIONAL INFOLMATION

RCP LEGEND



GWB CEIL

RECESSED CAN FIXTURE



SUSPENDLED CITH ITY FIXTLIRE

LIGHT FIXT J
 EMERCENCY





Scale

UPPER LEVEL RCP

Description

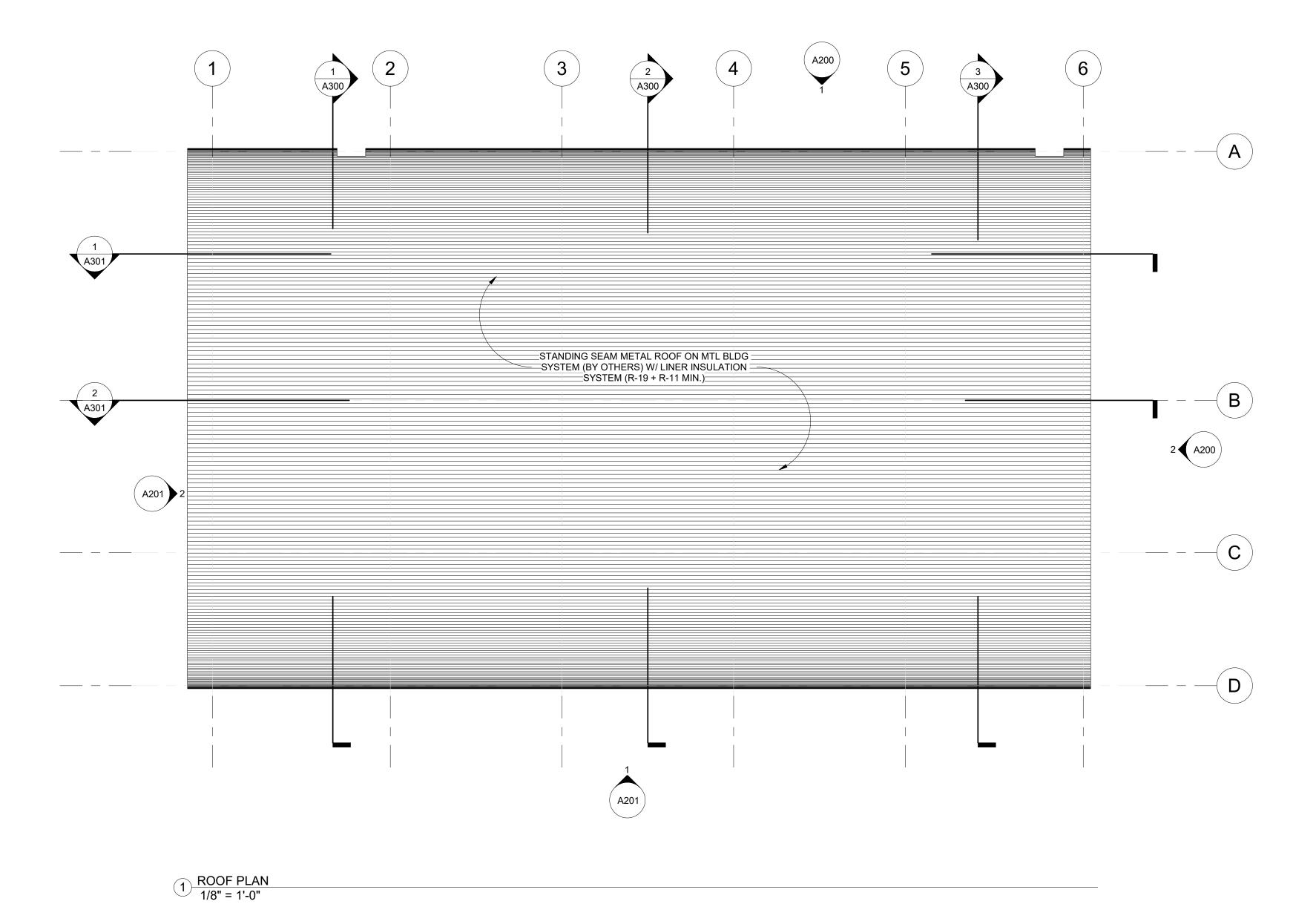
Date

17-092 Project number 10/13/20 Author Drawn by Checker Checked by

A111

As indicated





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PROJECT NAME

ADDRESS

ROOF PLAN

 Project number
 17-092

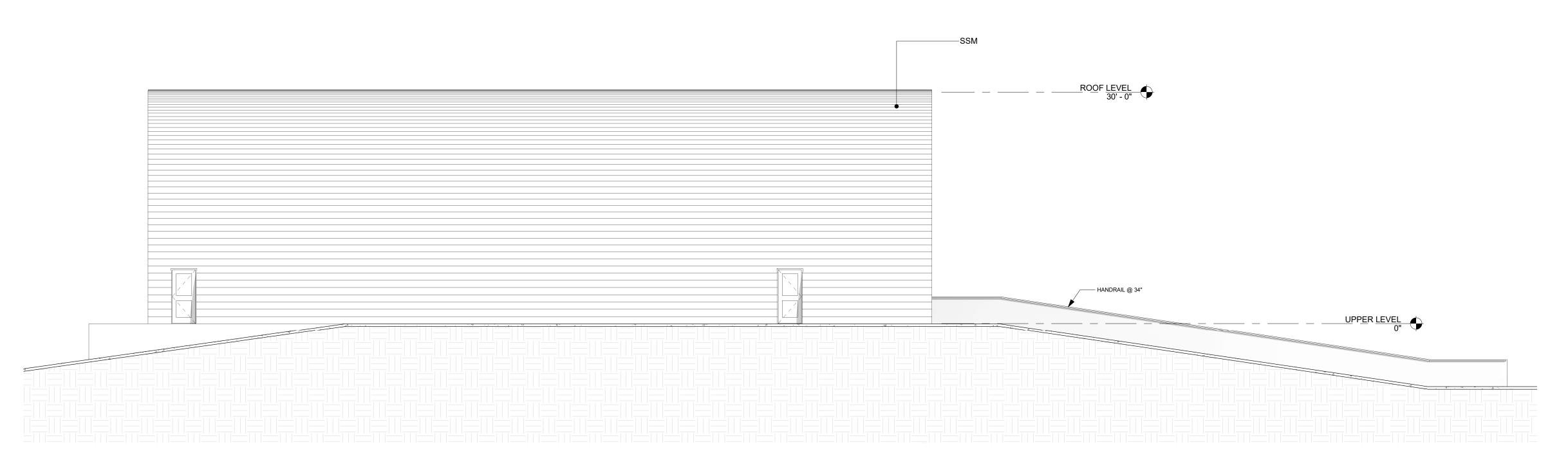
 Date
 10/13/20

 Drawn by
 JJA

 Checked by
 AJD

A120

Scale



1) NORTH ELEVATION 1/8" = 1'-0"

FCB-1—	——MTL-1	ROOF LEVEL 30' - 0"
	MTL-1	
	— FCB-2	LOWER LEVEL
		LOWER LEVEL -12' - 0"

2 EAST ELEVATION 1/8" = 1'-0"



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MATERIAL LEGEND

CN-1 CONCRETE FOUNDATION WALL / RETAINING WALL

ALL FINISHES TO BE APPROVED BY ARCHITECT & OWNER

FCB-1 FIBER CEMENT BOARD - WOOD PATTERN

FCB-2 FIBER CEMENT BOARD - STONE PATTERN

ITEM MATERIAL SPECIFICATIONS

MTL-1 METAL TRIM - TBD

NOTES:

SSM STANDING SEAM METAL ROOF

NOTES

No.	Description	Date

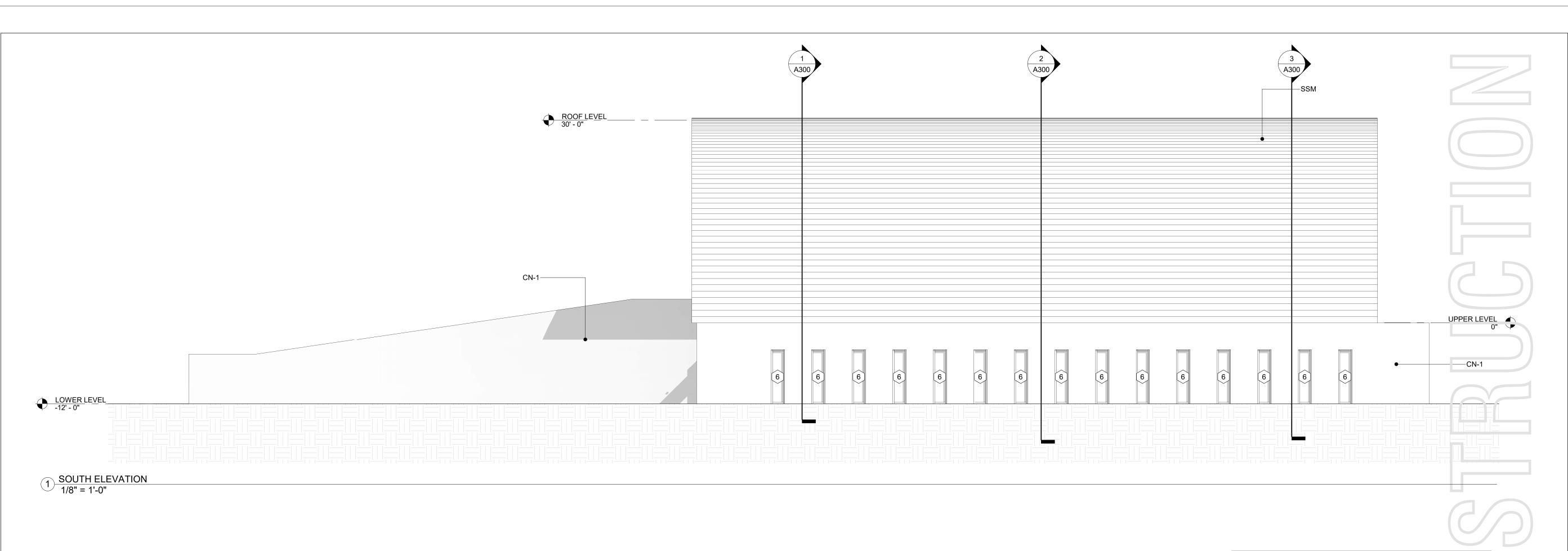
PROJECT NAME
ADDRESS
EXTERIOR

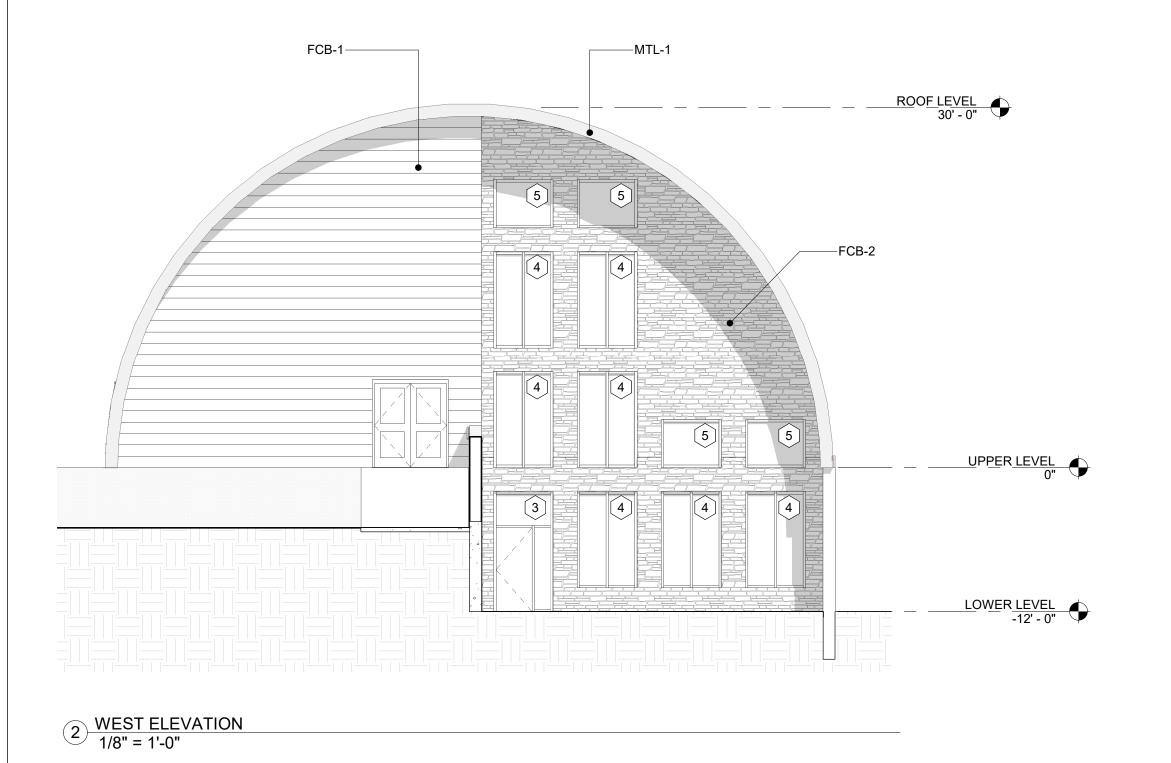
Project number 17-092
Date 10/13/20
Drawn by Author
Checked by Checker

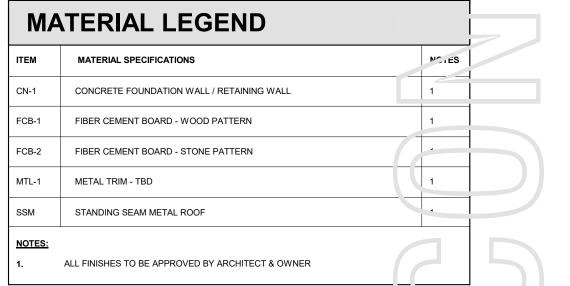
A200

Scale As indicated

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Streamline Architects, P.L.C.

Andrew Dasso, AIA 318 E. Third Street Davenport, IA 52801 309-737-8587 andrew@streamlinearchitects.com

NO.	Description	Date

PROJECT NAME

ADDRESS

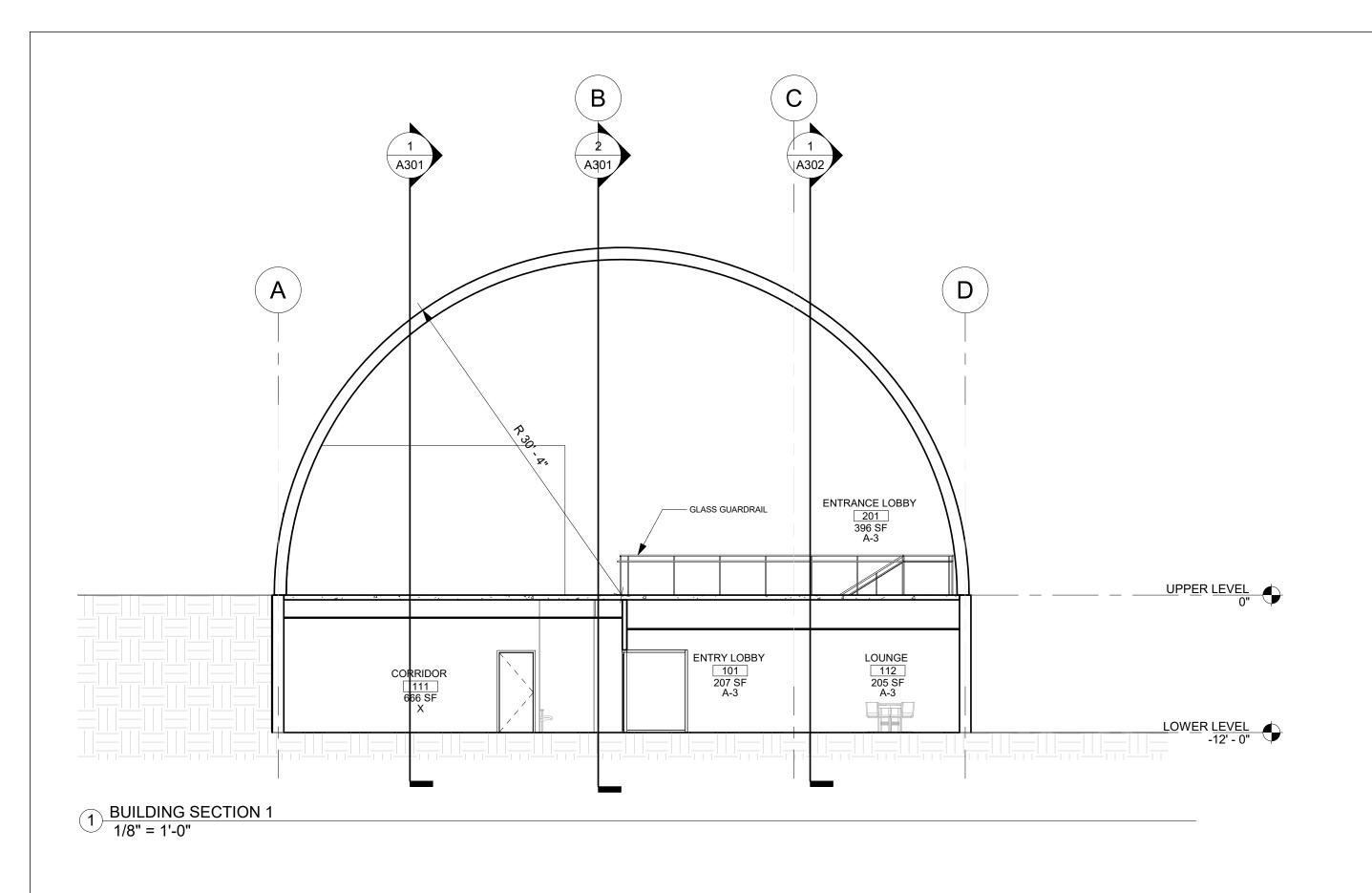
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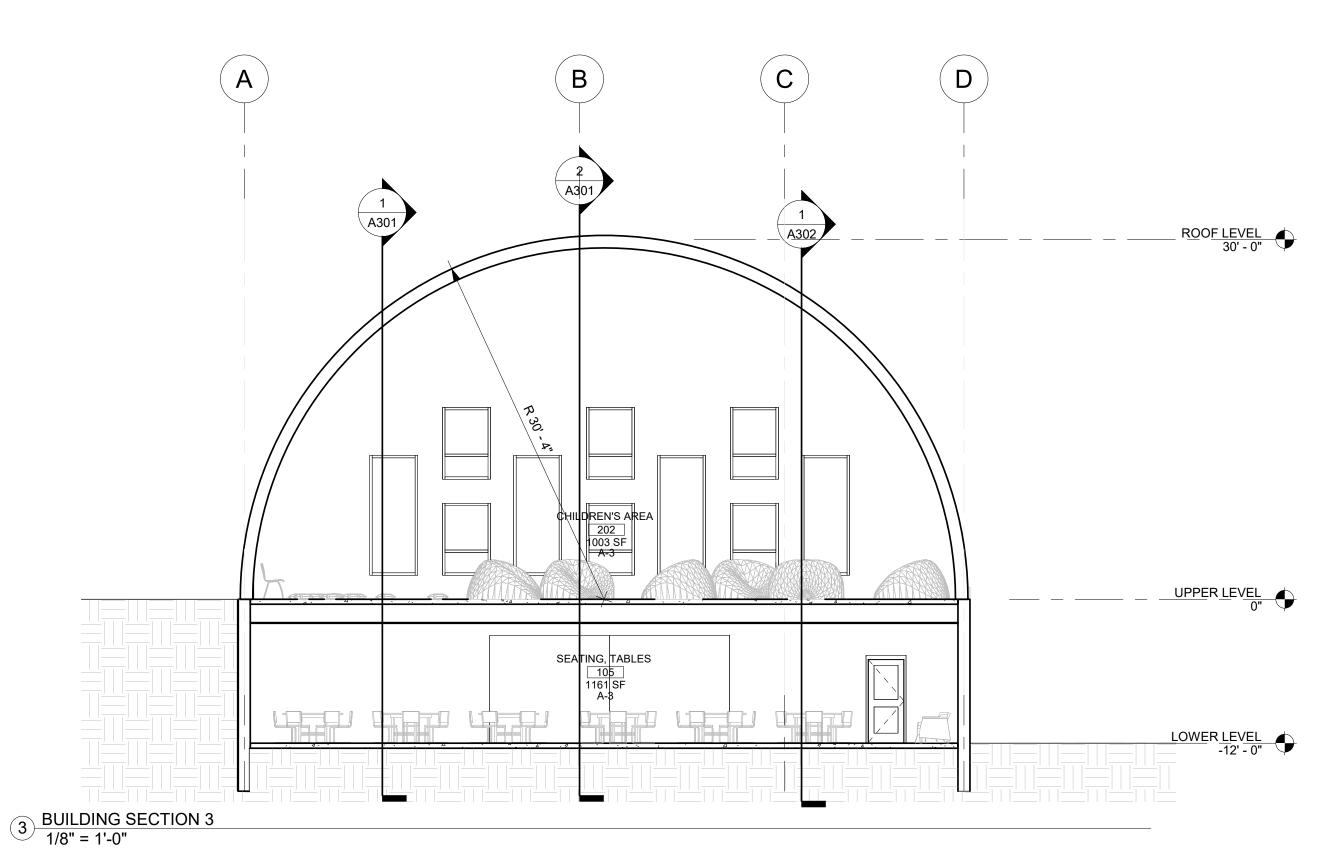
Project number	17-092
Date	10/13/20
Drawn by	Author
Checked by	Checker

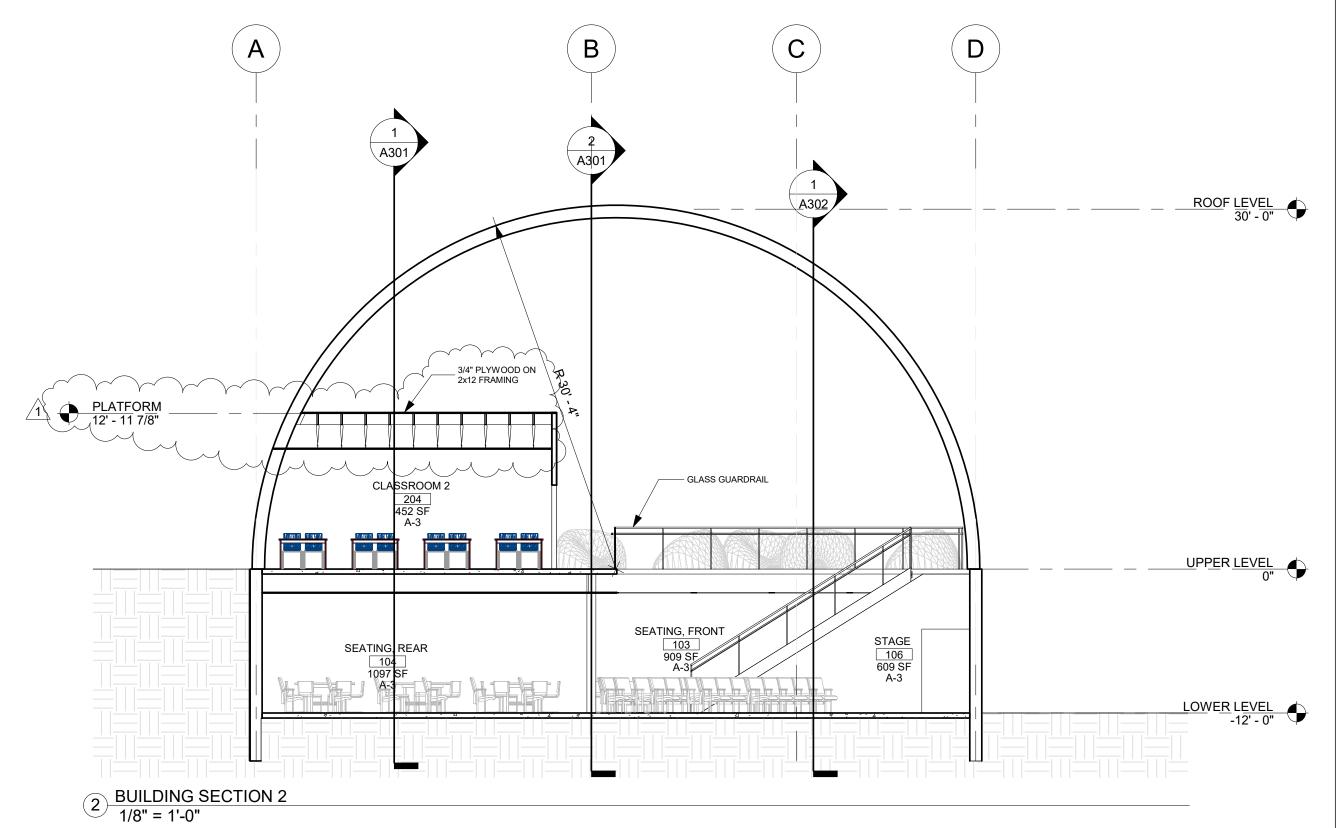
A201

Scale As indicated

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Streamline Architects, P.L.C.

Andrew Dasso, AIA 575 12th Ave East Moline, IL 309-737-8587 andrew@buildbyarchitects.com

	Description	Date
Addend	lum 1	10/13/20

PROJECT NAME

ADDRESS

BUILDING SECTIONS

Project number 17-092

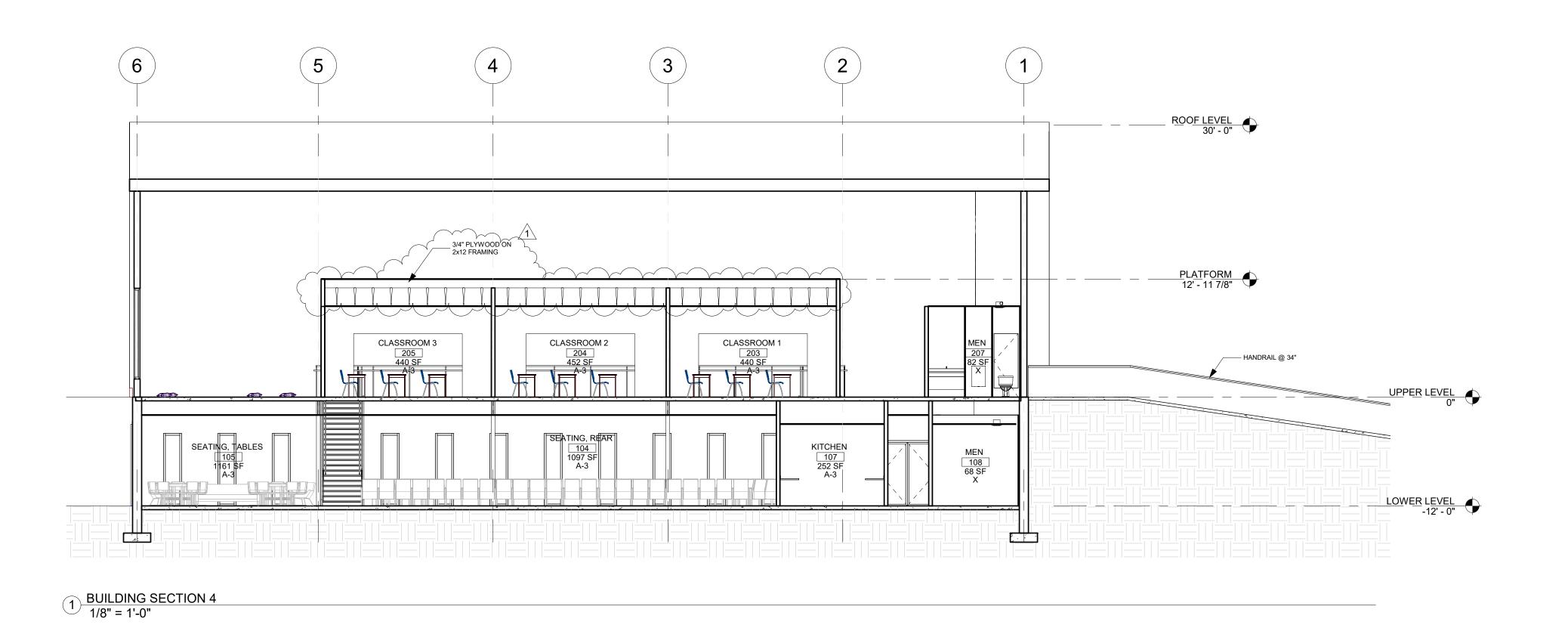
Date 10/13/20

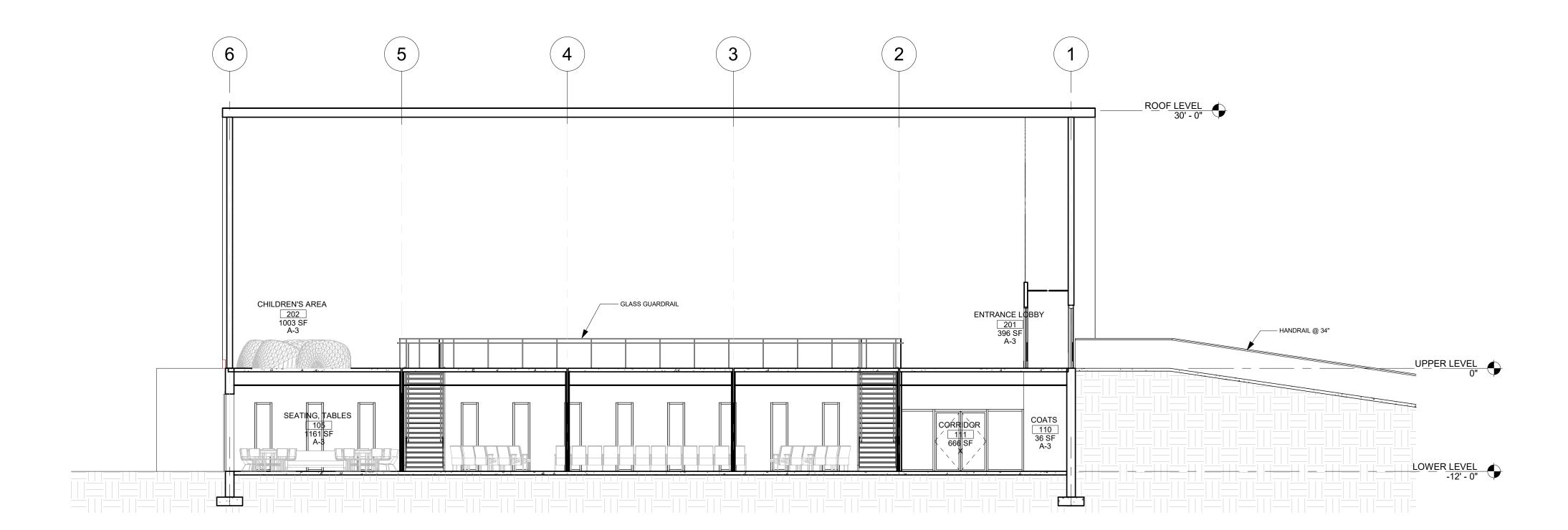
Drawn by Author

Checked by Checker

A300

Scale





2 BUILDING SECTION 5 1/8" = 1'-0"



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Streamline Architects, P.L.C.

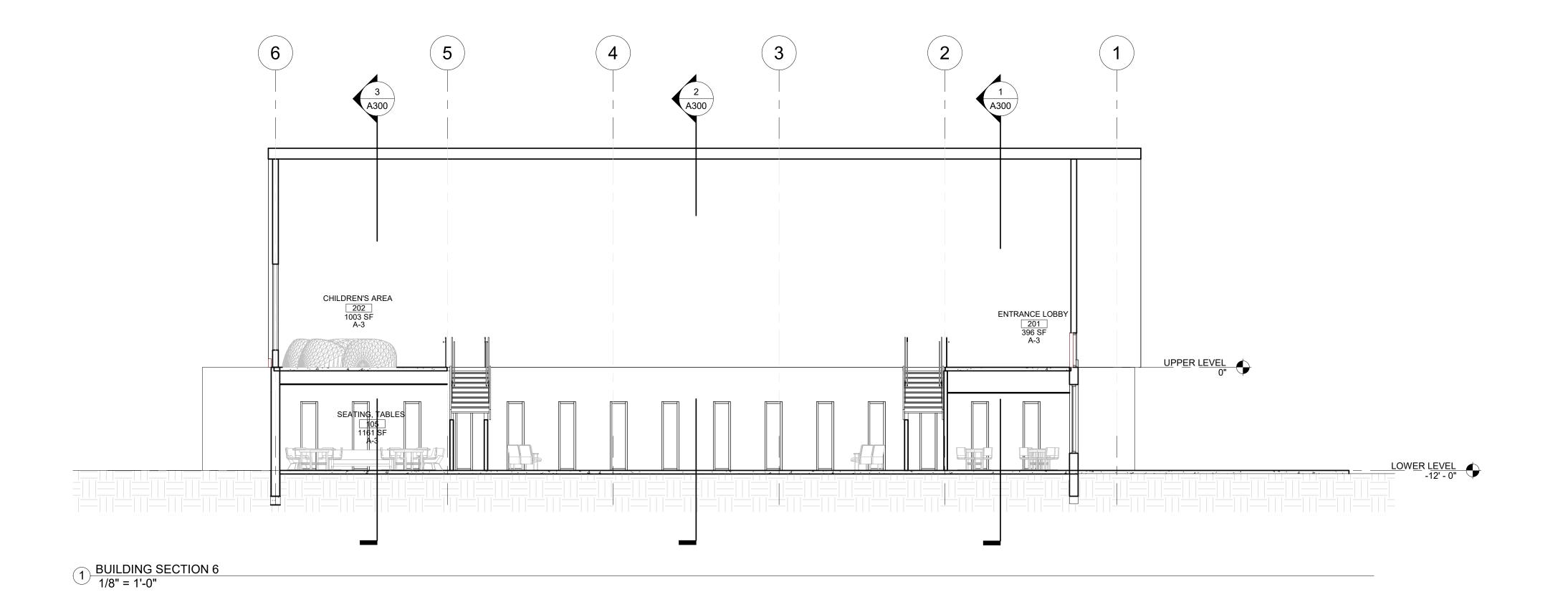
Andrew Dasso, AIA 318 E. Third Street Davenport, IA 52801 309-737-8587 andrew@streamlinearchitects.com



PROJECT NAME ADDRESS

		- 1
Project number	17-092	
Date	10/13/20	
Drawn by	Author	
Checked by	Checker	

BUILDING SECTIONS A301 1/8" = 1'-0" Scale





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Andrew Dasso, AIA 318 E. Third Street Davenport, IA 52801 309-737-8587 andrew@streamlinearchitects.com



ADDRESS

BUILDING SECTIONS

17-092 10/13/20 Drawn by Author Checker

A302

1/8" = 1'-0"

PROJECT NAME Project number

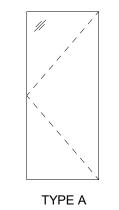
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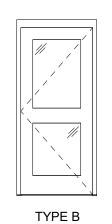
							DOOR S	CHEDULE		
DOOR			FRAME							
DOOR		OPENING S	SIZE						FIRE	
NO.	WIDTH	HEIGHT	THICK.	STYLE	MATERIAL	STYLE	MATERIAL	HARDWARE	RATING	REMARKS
101	3' - 0"	7' - 0"	1 3/4"	Α	HM / GL	Α	НМ			
105A	3' - 0"	7' - 0"	1 3/4"	В	HM / GL	В	НМ			
105B	20' - 0"	9' - 0"	1 3/4"	F		F				BARN DOOR - SEE DOOR MFG SPECIFICATIONS FOR HARDWARE & INSTALLATION DETAILS
107	3' - 0"	7' - 0"	1 3/4"	D	WD	D	WD			
108	3' - 0"	7' - 0"	1 3/4"	D	WD	D	WD			
109	3' - 0"	7' - 0"	1 3/4"	D	WD	D	WD			
111	6' - 0"	7' - 0"	1 3/4"	E	GL	E	НМ			
114	3' - 0"	7' - 0"	1 3/4"	D	WD	D	WD			
200	6' - 0"	7' - 0"	1 3/4"	С	HM / GL	С	НМ			
201	6' - 0"	7' - 0"	1 3/4"	С	HM / GL	С	НМ			
201B	3' - 0"	7' - 0"	1 3/4"	В	HM / GL	В	НМ			
201D	3' - 0"	7' - 0"	1 3/4"	В	HM / GL	В	НМ			
206	3' - 0"	7' - 0"	1 3/4"	D	WD	D	WD			
207	3' - 0"	7' - 0"	1 3/4"	D	WD	D	WD			

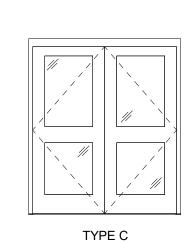


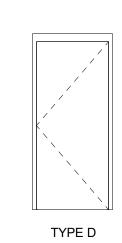
Streamline Architects, P.L.C.

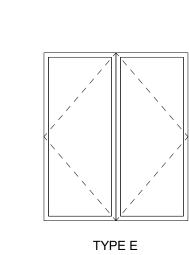
Andrew Dasso, AIA 575 12th Ave East Moline, IL 309-737-8587 andrew@buildbyarchitects.com

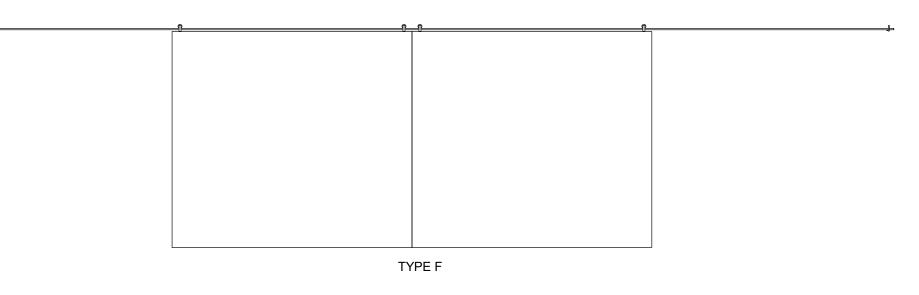




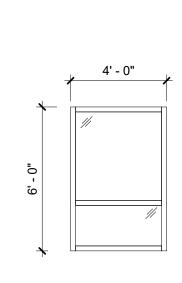


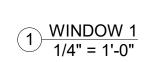


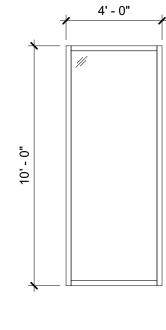


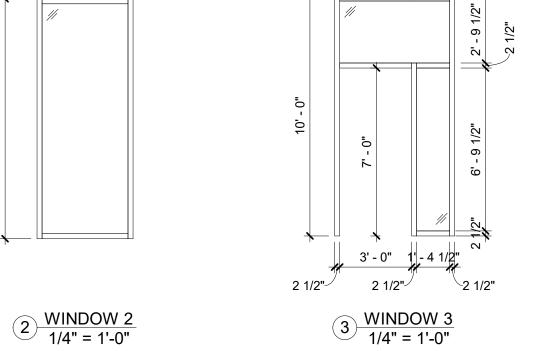


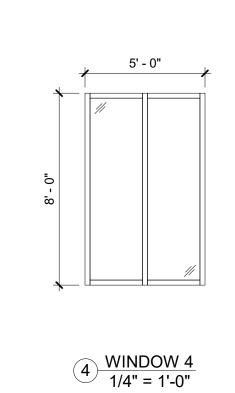
DOOR ELEVATIONS
1/4" = 1'-0"

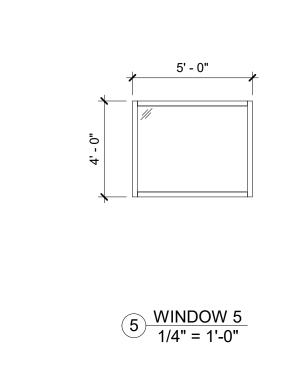


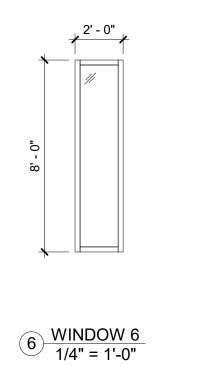


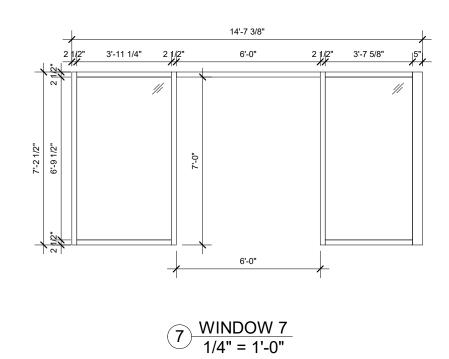


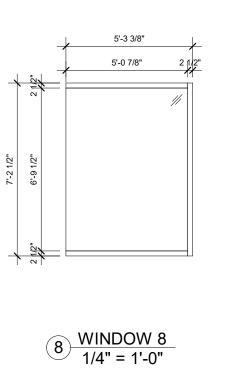












NO.	Description	Date

PROJECT NAME ADDRESS

DOOR & WINDOW SCHEDULE

Project number	17-092
Date	10/13/20
Drawn by	Author
Checked by	Checker

A600

Scale