



Board of Adjustment Agenda Item

Subject: Board Consideration of Variance Request to the Zoning Ordinance Requirements in the R-3 Multi Family Residential District for a 5,968.2 SF Attached Garage and the Number of Garage Doors/Stalls for one side Exceeding the Limit of Three at 1733 3rd Avenue SW

Meeting: Board of Adjustment - Nov 21 2024

From: Heath VonEye, Assistant City Manager/Public Works Director

BACKGROUND INFORMATION:

Owner/Applicant: Travas & Sherrie Uthe/ John Knight

Property Address: 1733 3rd Avenue SW, Watertown, SD 57201

Legal Description: Uthe First Addition to the Municipality of Watertown, Codington County, South Dakota. Previously described as E97.8' Lot 11 Way's Subd OL 28 Way Case Addition to the Municipality of Watertown, Codington County, South Dakota.

Variance Request:

The property owners, Travas & Sherrie Uthe, appeal the terms of the Zoning Ordinance seeking a variance from the maximum number of garage doors per side or frontage and the maximum allowable size for an attached garage in the R-3 Multi Family Residential District pursuant to Chapter 21.1002 3. c. (1) and 21.1002 3. c. (3). The proposed structure is to be built on the recently platted Lot 1 of Uthe First Addition. The lot is 37,337 SF in size which allows for a 2,352 SF attached garage and an 1,859 SF unattached garage. Per ordinance, an attached garage larger than the allowed maximum square footage is permitted to utilize the square footage allotted for an unattached garage. Combining the square footages would permit the Uthes to build a 4,219 SF attached garage and would prohibit an unattached garage from being located on the property. The Uthes are proposing to build a 5,968.2 SF attached garage which exceeds the total maximum allowable square footage of 4,220 SF by 1,767.2SF.

If the applicant were to use the adjacent properties to the east under their ownership to meet the lot area for an unattached garage to be allowed to be 3,616.2 SF to add to the attached garage allowable area of 2,352 SF, the lot size would need to be 120,540 SF or 2.77 Acres, an additional 83,203 SF added to Lot 1 of Uthe First Addition, however, the maximum available lot area is 101,218 SF (blue hatched, maroon hatched, and green hatched areas on the attached *EXHIBIT B*) which would allow for a 3,037 SF detached garage. However, 21.1002 3.d.(e) "Over 87,120 square feet: Three percent (3%) of lot area or 3,485 square feet, whichever is greater" allows for the greater of the two areas, allowing for 3,485 SF for any lot less than 116,166 SF. This would allow for the attached garage to be 5,837 SF taking away the ability to have a detached garage on the property and would limit buildable area for the four lots to the east. The attached garage would still be 131.2 SF short of the proposed attached garage area.

To allow the four lots to the east to maximize available lot area, the minimum size the required for maximize the detached garage allowable area is for the lot to be 87,121 SF (blue and maroon hatched area on the attached *EXHIBIT B*) which would still allow for a 3,485 SF detached garage to be added to the attached garage, still being 5,837 SF or 131.2 SF short.

The attached garage portion of the single family residence proposes an 18' sidewall with an overall height to the peak of ~30'. The structure is allowed to have a maximum height of 35' in the R-3 District. The structure will be setback 10' from the west property line. There is an existing single family residence on the property to the west that is approximately 9' from the property line. The proposed structure will be setback 48.2' from the front property line, reducing blocked views for the neighboring property to the west which has a front yard setback of approximately 35'.

The applicant is proposing four garage doors/stalls facing east which exceeds the limit of three garage doors/stalls facing one side or front. The applicant owns the adjacent property to the east where the doors will be facing. The garage doors will be 14' in height and 12' in width. The standard residential single garage door height is 7-8' and a width of 8-9'. The attached garage is 99.47' in depth and 60' in width.

In review of the surrounding neighborhood and the R-3 zoning designation the proposed structure is compatible with apartments to the south and a concrete contractor operation with outdoor storage to the north in the R-3 District. The owners could redesign their structure as multi-family housing or request a conditional use for storage units that would allow them the square footage they are requesting. The property would allow for 28 one-bedroom units or 21 two-bedroom units with incidental garages that do not have a maximum allowable size. The Uthes own adjacent properties to the east of where the proposed structure will be built and could do additional platting or combining portions of adjacent lots to achieve slightly less than the desired square footage without requesting a variance, however, taking portions of back lots is not an ideal subdivision strategy to achieve the desired square footage for the attached garage.

Chapter 21.0202.1. and 2. state:

In granting a variance, the Board shall ascertain that the following criteria are met:

1. Variances shall be granted only where special circumstances or conditions (such as exceptional narrowness, topography or siting), fully described in the finding of the Board, do not apply generally in the district;
2. Variances shall not be granted to allow a use otherwise excluded from the particular district in which requested;
3. For reasons fully set forth in the findings of the board, the aforesaid circumstances or conditions are such that the strict application of the provisions of this title would deprive the applicant of any reasonable use of his land. Mere loss in value shall not justify a variance; there must be a deprivation of beneficial use of land;
4. Any variance granted under the provisions of this section shall be the minimum adjustment necessary for the reasonable use of the land;
5. The granting of any variance is in harmony with the general purposes and intent of this title and will not be injurious to the neighborhood, detrimental to the public welfare, or in conflict with the comprehensive plan for development.

Before the board shall have the authority to grant a variance, the person seeking the variance has the burden of showing:

1. That the granting of the building permit will not be contrary to the public interest;

2. That the literal enforcement of this title will result in unnecessary hardship;
3. That by granting the building permit contrary to the provisions of this title the spirit of this title will be observed;
4. That by granting the permit, substantial justice will be done.

FINANCIAL CONSIDERATIONS:

N/A

OVERSIGHT / PROJECT RESPONSIBILITY:

Brandi Hanten, Community Development Manager

Carla Heuer, Planner

STAFF RECOMMENDATION / SUGGESTED MOTION:

The board may approve the following variance requests through the following motions:

I move to approve the Variance Requests to the Zoning Ordinance Requirements in the R-3 Multi Family Residential District for the property located at 1733 3rd Avenue SW:

1. To allow for a 5,968.2 SF Attached Garage
2. To allow for Four Garage Doors/Stalls on the East Side

The Board of Adjustment shall make findings that the requirements of Section 21.0202(2)(c)(1) and (2), above have been met by the applicant for a variance.

ATTACHMENT(S):

[Application](#)

[Vicinity Map](#)

[Preliminary Construction Plans](#)

[Site Plan](#)

[Plat of Uthe First Addition](#)

[EXHIBIT A](#)

[EXHIBIT B](#)



C-24-21

Variance Application

Status: Active

Submitted On: 10/23/2024

Primary Location

1733 3RD AVE SW
WATERTOWN, SD 57201

Owner

TRAVAS UTHE
1631 3 AVE SW WATERTOWN, SD
57201-

Applicant

 JOHN Knight
 605-520-2113
 john@grolawfirm.com
 816 S BROADWAY
Watertown, SD 57201

Applicant Information

Applicant is...

Agent

Main Contact Information

Responsible party for all correspondence throughout the project.

Main Contact Name

John Knight

Main Contact Phone Number

605-520-2113

Main Contact Email

john@grolawfirm.com

Main Contact Address

816 S. Broadway, Watertown, SD 57201

Variance Request Information

Describe the special conditions and circumstances which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same district:*

The neighborhood is somewhat unique in the mixture of residential, commercial or light industrial and multi-unit housing development. The lot is adjacent to other properties owned by the applicant and is adjacent to other properties and structures that are not used for residential purposes.

Do these special circumstances result from the actions of the applicant?*

No

Would granting the variances requested give the applicant any special privilege that is denied by this ordinance to other lands, structures or building in the same district?*

No

Unnecessary Hardship: A hardship that is substantial and of compelling force, not merely for reasons of convenience or profit must be identified by the Board when granting a variance. Unnecessary hardship is demonstrated when the land in question cannot yield a reasonable return without the variance, or the plight of the owner is due to unique circumstances and not to the general conditions in the neighborhood.

Describe the hardship that will result if variance is denied:*

The applicant has replatted the property to increase the size of the lot to minimize the requested variance. The applicant owns multiple properties and could conceivably replat additional properties to allow for the building of the proposed structure without a variance. However, re-platting the additional lots will result in portions of multiple lots to become unusable and/obsolete for any other purposes.

Requested Variances

Description* 

Requesting a variance from the maximum size of structure for size of the lot and requesting a 4th door facing the boundary of the lot.

Please read through Section 21 of the Ordinance: [click here](#) and note which section and requirement is applicable in the box below.

Ordinance Section and Requirement* ?

Addresses of other sites ?

21.1001 & 21.1002

Acknowledgement

I, the undersigned, do hereby affirm the above statements are true and correct and agree to comply with the provisions of the ordinances of the City of Watertown and the approved plans and specifications accompanying this application.

I am the...*

Agent

✓ John Knight

Oct 23, 2024

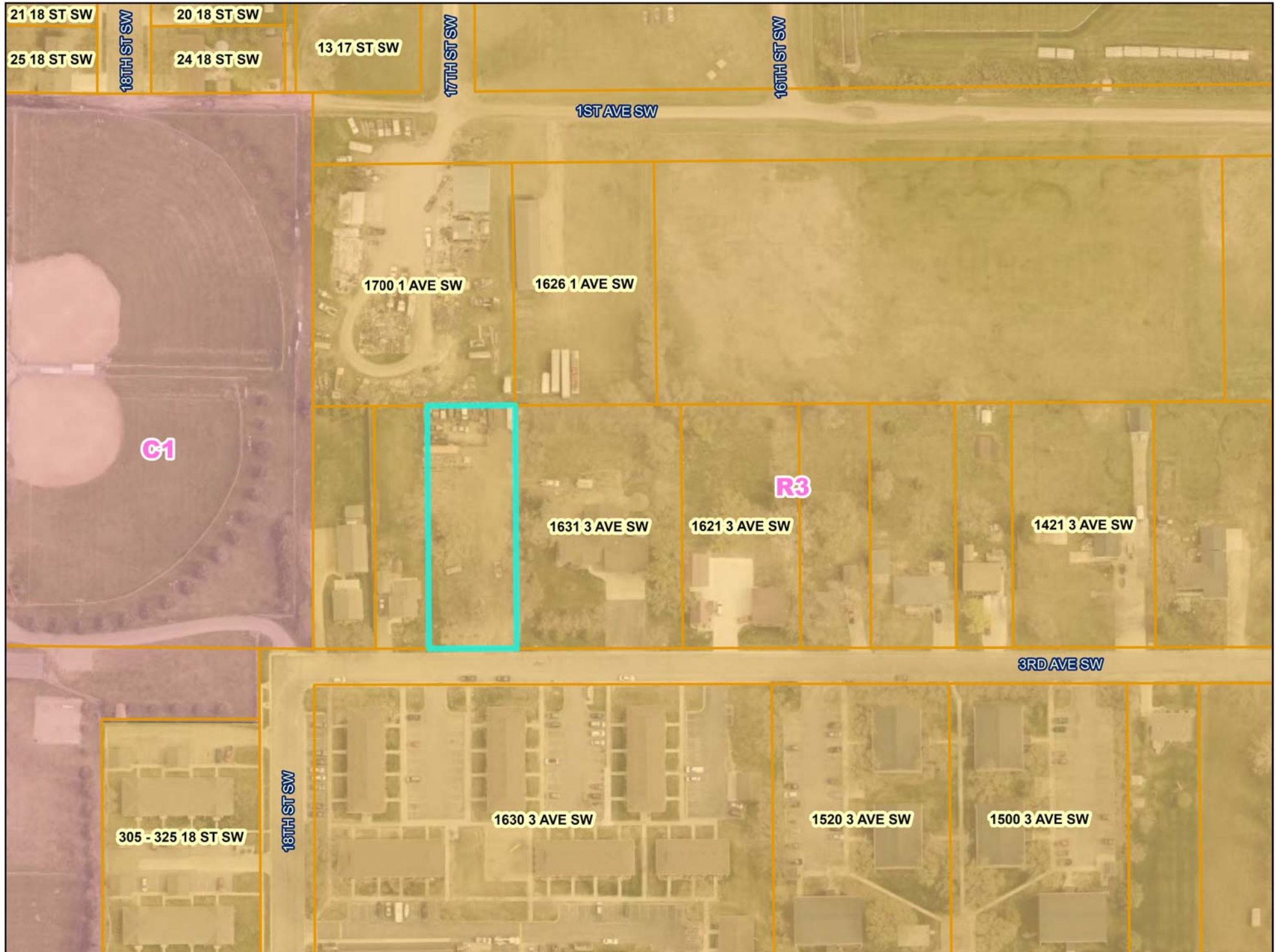
Date*

10/23/2024

Vicinity Map



0 50 100 200 Feet



GENERAL NOTES:

REBAR/STAIN:

1) PRIOR TO CONSTRUCTION OF YOUR NEW ENERCEPT PROJECT, ENERCEPT, INC. STRONGLY SUGGESTS THAT THE OWNER/CONTRACTOR HAVE A FULL UNDERSTANDING OF THE ENERCEPT CONSTRUCTION AND ELECTRICAL GUIDES. ANY AREAS IN QUESTION SHOULD BE ADDRESSED PRIOR TO CONSTRUCTION.

2) REFER TO THE ENERCEPT CONSTRUCTION AND ELECTRICAL GUIDES FOR STANDARD PANEL INSTALLATION. INSTALLATION NOTES SHOWN ON THIS SET OF DRAWINGS MAY SUPERSEDE THE CONSTRUCTION GUIDE.

3) ENERCEPT WILL NOT BE RESPONSIBLE FOR ON-SITE ALTERATIONS OR MODIFICATIONS TO PANELS AS MANUFACTURED UNLESS APPROVED IN ADVANCE BY AUTHORIZED ENERCEPT PERSONNEL. ALL WARRANTIES WILL BE VOIDED WITHOUT PREVIOUS AUTHORIZATION. **PLEASE CALL BEFORE YOU CUT A NEW HOLE-2022**

DESIGNS:

1) THIS SET OF DRAWINGS IS INTENDED FOR USE BY PEOPLE WITH KNOWLEDGE OF CONSTRUCTION AND BUILDING STRUCTURE. ENERCEPT RECOMMENDS CONSULTING YOUR LOCAL BUILDING PROFESSIONALS REGARDING SPECIAL CONDITIONS AND REGULATIONS CONCERNING HIGH WIND, SEISMIC AND HAZARDOUS EXPOSURE AREAS. THESE CONDITIONS MAY REQUIRE FURTHER ENGINEERING REGARDING LATERAL BUILDING DESIGN.

2) SHOULD QUESTIONS ARISE REGARDING THE USE OF THESE DRAWINGS OR THE SUBMITTAL OF DETAILS FOR SITUATIONS UNENCOUNTERED, CONTACT ENERCEPT BEFORE PROCEEDING. ENERCEPT CANNOT BE HELD RESPONSIBLE FOR MISINTERPRETATION OR MISUSE OF INFORMATION HEREIN, OR USE OF THIS INFORMATION BY PERSONS NOT KNOWLEDGEABLE IN ITS DERIVATION AND IMPLEMENTATION.

3) ENERCEPT SHALL NOT BE RESPONSIBLE FOR CHANGES OR DEPARTURES FROM THESE DRAWINGS AND SPECIFICATIONS BY OWNER/CONTRACTOR, OR ANY OTHER, AT ANY TIME DURING CONSTRUCTION.

4) ENERCEPT DOES NOT ASSUME RESPONSIBILITY OF ANY ERRORS OR OMISSIONS ON THESE DRAWINGS, UNLESS ADVISED IN WRITING PRIOR TO THE START OF CONSTRUCTION.

DIMENSIONS:

1) THE OWNER/CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD AND NOTIFY ENERCEPT OF ANY DISCREPANCIES. DIMENSIONS ARE TO THE FACE OF SHEATHING ON ENERCEPT PANELS, TO THE FACE OF SHEATHING ON EXISTING FRAMED WALLS & TO THE FACE OF STUDS ON INTERIOR FRAMED WALLS.

3) EXCEPT WHERE SPECIFICALLY DIMENSIONED, ALL INTERIOR FRAMED WALLS ARE TO BE LOCATED BY THE OWNER/CONTRACTOR.

4) ALL DOORS AND WINDOWS ARE DIMENSIONED TO THE CENTER OF EACH OPENING, UNLESS SHOWN OTHERWISE.

5) WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. PLEASE NOTIFY ENERCEPT OF ANY DISCREPANCIES.

CONSTRUCTION NOTES: WALLS & ROOFS

STRUCTURAL:

1) IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO INCORPORATE THE ENERCEPT PANELS INTO THE OVERALL DESIGN OF THE STRUCTURE. ALL CONNECTIONS BETWEEN THE BUILDING COMPONENTS AND THE ENERCEPT PANELS WILL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR.

2) ENERCEPT ACCEPTS NO RESPONSIBILITY FOR THE DESIGN, SPECIFICATIONS, AND CONSTRUCTION OF INTERIOR WALLS, INTERIOR SUPPORT WALLS, COLUMNS, OR POSTS. ALL MATERIALS FOR THE INTERIOR STRUCTURE AND SUPPORT TO BE SUPPLIED BY THE OWNER/CONTRACTOR, UNLESS OTHERWISE SPECIFIED.

3) THE OWNER/CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY SUPPORTS AND BRACING FOR WALLS AND FLOORS PRIOR TO THE COMPLETION OF THE LATERAL AND VERTICAL LOAD SYSTEMS.

4) SUPPORT POINTS LOCATED WITHIN THE ENERCEPT PANEL WILL BE PROVIDED BY ENERCEPT. SUPPORT POINTS AND HEADERS LOCATED ON INTERIOR WALLS TO BE DESIGNED AND SUPPLIED BY OTHERS, UNLESS NOTED OTHERWISE.

5) PROVIDE DOUBLE FLOOR JOISTS OR SOLID BLOCKING UNDER SUPPORT POINTS OR WHERE PARTITIONS OCCUR.

6) DIMENSIONAL LUMBER SHALL BE SPF #2 UNKD.

7) ALL LVL MEMBERS TO HAVE THE FOLLOWING MINIMUM DESIGN PROPERTIES: $F_b=2,800\text{psi}$ $E=2,000,000\text{psi}$ $T_n=25\text{ksi}$

DOOR AND WINDOW OPENINGS:

1) ALL OPENING SIZES ON THE DRAWING ARE ROUGH OPENING SIZES, NOT UNIT SIZES. IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY ALL DOOR AND WINDOW LOCATIONS, ROUGH OPENINGS, AND HEADER HEIGHTS. ALL SIZES ON DRAWINGS ARE AS FOLLOWS, WITH A HEIGHT:

2) STANDARD HEADER HEIGHT FOR ALL DOOR AND WINDOW ROUGH OPENINGS IS 6'-11" FROM THE SUBFLOOR, UNLESS SPECIFIED BY THE OWNER/CONTRACTOR. HEADER HEIGHTS ARE ADJUSTED ACCORDING TO UNIT SPECIFICATIONS.

PANEL INSTALLATION:

1) WHEN SETTING ENERCEPT WALL AND ROOF PANELS THE BUILDER MUST CHECK TO MAKE SURE THAT ALL CENTERLINE DIMENSIONS ARE MAINTAINED. CENTERLINE DIMENSIONS FOR ROUGH OPENINGS, SUPPORT POSTS, ROOF LINES, AND ANY OTHER REQUIRED AREAS ARE NEEDED FOR PROPER INSTALLATION OF ENERCEPT PANELS. ENERCEPT RECOMMENDS SETTING GABLE WALLS FROM CENTERLINE OUT TO THE CORNERS.

2) NAIL ALL PANEL JOINTS USING 8D NAILS ON 6" CENTERS ON BOTH THE INTERIOR AND EXTERIOR SURFACES. PANELS MUST BE NAILED TO THE FULLY RECESSED TOP PLATE USING 8D NAILS ON 6" CENTERS. FULLY RECESSED TOP PLATE TO BE NAILED TO POSTS WITH 16D NAILS. REFER TO THE ENERCEPT CONSTRUCTION GUIDE FOR COMPLETE DETAILS.

ELECTRICAL:

1) ENERCEPT WALL PANELS HAVE A 16" AND 44" HORIZONTAL ELECTRICAL CHARGE THROUGHOUT, AND A VERTICAL CHARGE AT EACH PANEL SPICE AS WELL AS ONE ON EACH SIDE OF EVERY DOOR.

MISC:

1) AREAS THAT REQUIRE FRAMING OVER THE ENERCEPT PANELS WILL BE DESIGNED AND MATERIALS SUPPLIED BY OTHERS. PROPER VENTILATION IS REQUIRED FOR COMFORTABLE AREAS.

2) STAIR DESIGN AND LAYOUT WILL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR.

3) ALL ENERCEPT PANELS REQUIRE SEAM TAPE APPLIED TO THE INTERIOR SURFACE. SEE THE ENERCEPT CONSTRUCTION GUIDE FOR DETAILS.

4) ENERCEPT HOMES ARE DESIGNED TO BE VERY AIR TIGHT. ENERCEPT HIGHLY RECOMMENDS THAT YOU WORK WITH A HVAC PROFESSIONAL TO DESIGN A VENTILATION SYSTEM THAT WILL INSURE INDOOR AIR QUALITY AND MOISTURE CONTROL. AIR-TO-AIR HEAT EXCHANGERS/VENTILATORS ARE HIGHLY RECOMMENDED.

CONSTRUCTION NOTES: BASEMENTS & FOUNDATIONS

STRUCTURAL:

1) IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO INCORPORATE THE ENERCEPT PANELS INTO THE OVERALL DESIGN OF THE STRUCTURE. ALL CONNECTIONS BETWEEN THE BUILDING COMPONENTS AND THE ENERCEPT PANELS WILL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR.

2) ENERCEPT ACCEPTS NO RESPONSIBILITY FOR THE DESIGN, SPECIFICATIONS, AND CONSTRUCTION OF INTERIOR WALLS, INTERIOR SUPPORT WALLS, COLUMNS, OR POSTS. ALL MATERIALS FOR THE INTERIOR STRUCTURE AND SUPPORT TO BE SUPPLIED BY THE OWNER/CONTRACTOR, UNLESS OTHERWISE SPECIFIED.

3) SUPPORT POINTS LOCATED WITHIN THE ENERCEPT PANEL WILL BE PROVIDED BY ENERCEPT. SUPPORT POINTS AND HEADERS LOCATED ON INTERIOR WALLS TO BE DESIGNED AND SUPPLIED BY OTHERS, UNLESS NOTED OTHERWISE.

4) ENERCEPT WALKOUT PANELS ARE NOT DESIGNED TO SUPPORT ANY BACKFILL. BACKFILL CAN ONLY BE PLACED AGAINST WALL PANELS WITH TREATED MATERIAL.

5) MAXIMUM BACK FILL ON ENERCEPT BASEMENT WALL, UNLESS SPECIALLY ENGINEERED:

WALL THICKNESS:	WALL HEIGHT:	BACKFILL HEIGHT:
8" PANEL	8'-0"	8'-0" (FULL BACKFILL)
8" PANEL	10'-0"	7'-0"
10" PANEL	8'-0"	8'-0" (FULL BACKFILL)
10" PANEL	10'-0"	8'-0"
10" PANEL	12'-0"	8'-0"

SEE CONSTRUCTION GUIDE FOR BACKFILL SPECIFICATIONS.

DOOR AND WINDOW OPENINGS:

1) STANDARD HEADER HEIGHT FOR ALL DOOR AND WINDOW ROUGH OPENINGS IS 6'-10" FROM THE TOP OF 4" CONCRETE FLOOR, OR 7'-2" FROM BOTTOM OF PANEL, UNLESS SPECIFIED BY THE OWNER/CONTRACTOR. HEADER HEIGHTS ARE ADJUSTED ACCORDING TO UNIT SPECIFICATIONS.

2) UNLESS STRUCTURAL HEADERS ARE PROVIDED IN THE PANEL, DOUBLE THE EXTERIOR FIN JOIST AND JOIST HINDERS OVER DOOR AND WINDOW OPENINGS TO SUPPORT THE FLOOR SYSTEM. LENTIS AND/OR TOP PLATES ARE NOT DESIGNED FOR FLOOR JOIST SUPPORT.

PANEL INSTALLATION:

1) CHECK ALL TREATED PLATE MATERIAL TO MAKE SURE IT IS THE CORRECT WIDTH BEFORE FASTENING TO FOUNDATION. TREATED MATERIAL MAY NEED TO BE RIPPED TO THE CORRECT WIDTH DUE TO VARYING MOISTURE CONTENT.

2) NAIL ALL BASEMENT PANEL EDGES USING 8D NAILS ON 6" CENTERS ON BOTH THE INTERIOR AND EXTERIOR SURFACES. NAILS ON THE EXTERIOR SURFACE MUST BE STAINLESS STEEL OR AN APPROVED DOUBLE-DIPPED, GALVANIZED NAIL. PANELS MUST BE NAILED TO THE PLATE MATERIAL USING 8D NAILS ON 6" CENTERS. TOP PLATES TO BE NAILED TO STUDS WITH 16D STAINLESS STEEL NAILS. REFER TO ENERCEPT CONSTRUCTION GUIDE FOR COMPLETE DETAILS.

3) NAIL ALL FOUNDATION PANEL EDGES USING 8D NAILS ON 6" CENTERS ON BOTH THE INTERIOR AND EXTERIOR SURFACES. NAILS MUST BE STAINLESS STEEL OR AN APPROVED DOUBLE-DIPPED, GALVANIZED NAIL. PANELS MUST BE NAILED TO THE PLATE MATERIAL USING 8D NAILS ON 6" CENTERS. TOP PLATES TO BE NAILED TO STUDS WITH 16D STAINLESS STEEL NAILS. REFER TO ENERCEPT CONSTRUCTION GUIDE FOR COMPLETE DETAILS.

ELECTRICAL:

1) ENERCEPT BASEMENT PANELS HAVE A VERTICAL ELECTRICAL CHARGE AT EACH PANEL SPICE AND ON EACH SIDE OF WINDOW AND DOOR ROUGH OPENINGS. NO HORIZONTAL ELECTRICAL CHARGES ARE PROVIDED IN BASEMENT PANELS.

MISC:

1) STAIR DESIGN AND LAYOUT WILL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR.

2) ALL ENERCEPT PANELS REQUIRE SEAM TAPE APPLIED TO THE INTERIOR SURFACE. SEE THE ENERCEPT CONSTRUCTION GUIDE FOR DETAILS.

3) ENERCEPT FOUNDATION PANELS ENCLOSING HABITABLE OR USABLE SPACES LOCATED BELOW GROUND SHALL BE DISAPPROPRIATED WITH A 6-MIL POLYETHYLENE FILM APPLIED TO THE EXTERIOR OF THE FOUNDATION WALL PRIOR TO BACKFILLING. REFER TO SECTION 9406.3.2 OF THE IRC FOR COMPLETE INFORMATION.

ROOF PANEL DESIGN CRITERIA	
DESIGN CRITERIA BASED ON THE 2015 IBC & IRC	
ROOF DEAD LOAD (LB / SQFT)	15
GROUND SNOW LOAD (LB / SQFT)	50

INDEPENDENT ENGINEERING RECOMMENDATIONS:
ALL NOTES SHOWN IN GREEN ARE RECOMMENDATIONS FROM AN INDEPENDENT ENGINEERING REVIEW THAT ENERCEPT HAS PERFORMED. ALL ITEMS SHOWN IN GREEN ARE PROVIDED BY OTHERS. THESE ITEMS WILL NOT BE INCLUDED WITH THE SP PACKAGE.

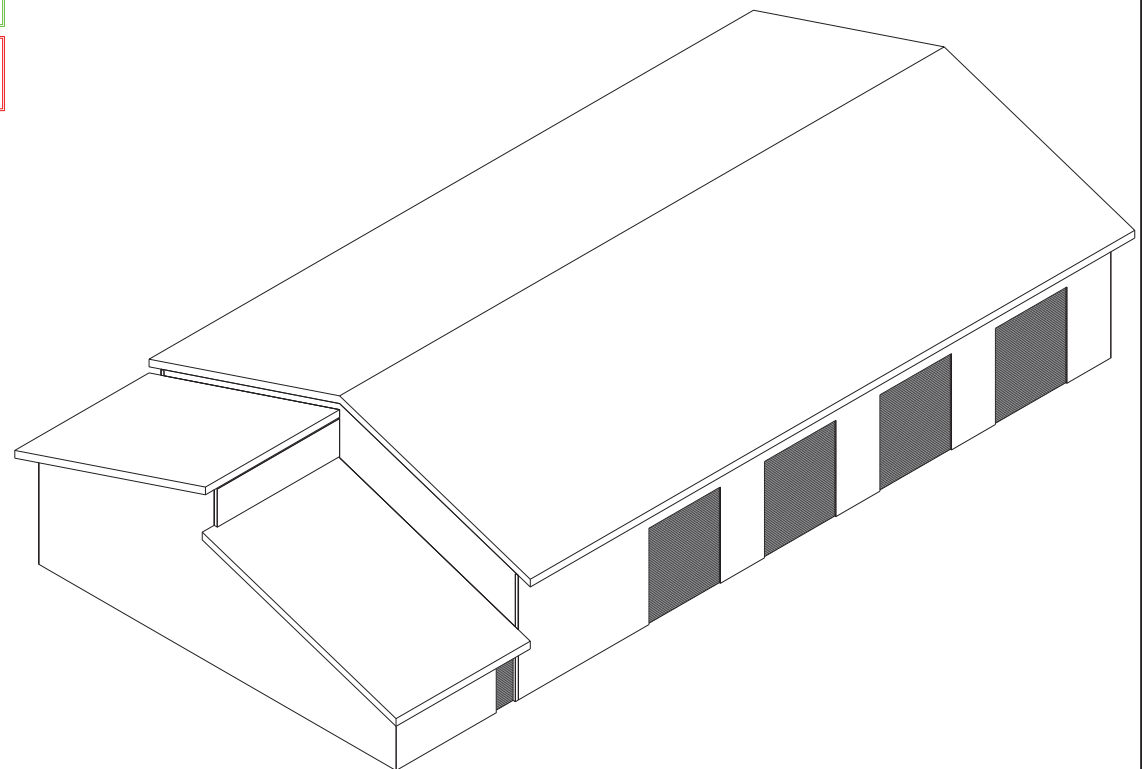
ENGINEERING DISCLAIMER:
ENERCEPT'S DESIGN WORK FOR THIS PROJECT IS LIMITED TO THE DESIGN OF THE SP PRODUCTS MANUFACTURED BY ENERCEPT. ENERCEPT IS NOT RESPONSIBLE FOR THE DESIGN OF THE BUILDING'S STRUCTURAL SYSTEMS, INCLUDING BUT NOT LIMITED TO, ROOF, FLOOR, WALL, FOUNDATION, OR LATERAL LOAD RESISTING STRUCTURAL SYSTEMS, AND ENERCEPT SHALL NOT PERFORM ANY ENGINEERING OR DESIGN SERVICES RELATING TO THE STRUCTURAL SYSTEMS FOR THIS PROJECT.

PANEL NOTES:
MAXIMUM PANEL WIDTHS WILL VARY BASED ON INDIVIDUAL PROJECT NEEDS. YOUR PROJECT MAY INCLUDE A COMBINATION OF 4-FOOT PANELS AND 8-FOOT (LARGED) PANELS. AT SELECT ANGLES, ENERCEPT RESERVES THE RIGHT TO SUBSTITUTE JAMBO PANELS FOR 4-FOOT PANELS IN THE INTEREST OF JOB-SITE EFFICIENCY, STRUCTURAL CONSIDERATIONS, OR A COMBINATION THEREOF.

INTERIOR LAYOUT:

ENERCEPT MAKES EVERY EFFORT TO ACCURATELY LOCATE INTERIOR WALLS AND FEATURES. HOWEVER, UNLESS SPECIFICALLY DIMENSIONED, INTERIOR WALL LAYOUTS SHOULD NOT BE SCALED OR UTILIZED TO DETERMINE CRITICAL DIMENSIONS SUCH AS DOOR/WINDOW PLACEMENT. INTERIOR WALL LAYOUTS ARE FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE BUILDER TO DETERMINE ACTUAL PLACEMENT OF INTERIOR PARTITIONS.

SP SCREW SCHEDULE			
LOCATION	QTY	LENGTH	SPACING
ROOF TO BEAMS	80	14	12" O.C.
ROOF TO STARWOODS	600	14	12" O.C.
ROOF TO GABLE WALL	150	14	12" O.C.
ROOF TO EAVE WALL	300	15	12" O.C.



UTHE ADU/SHOP
NA
WATERTOWN, SD

PRELIMINARY DRAWING
- NOT FOR CONSTRUCTION -



ENERCEPT, INC.
3100 5TH AVE. SE
WATERTOWN, SD 57095
PHONE: (605) 882-2722
FAX: (605) 882-2733
www.enercept.com

REVISIONS:

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UTHE ADU/SHOP

PROJECT LOCATION: UTHE TRAVIS UTHE WATERTOWN, SD 57091	BUILDER INFORMATION:
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COVER

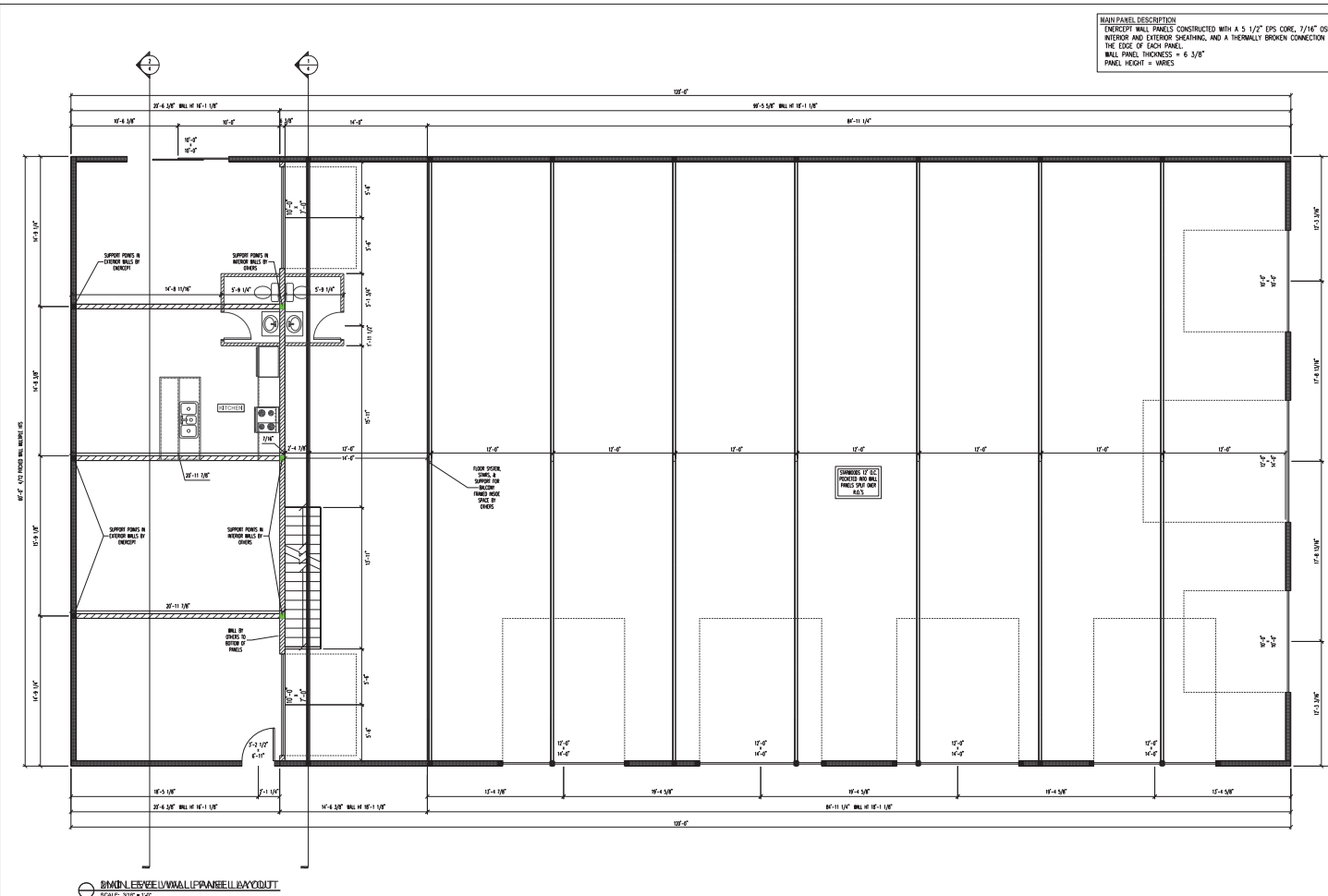
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DRAWN BY:
JMF

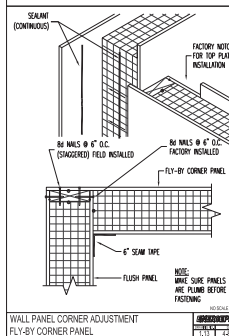
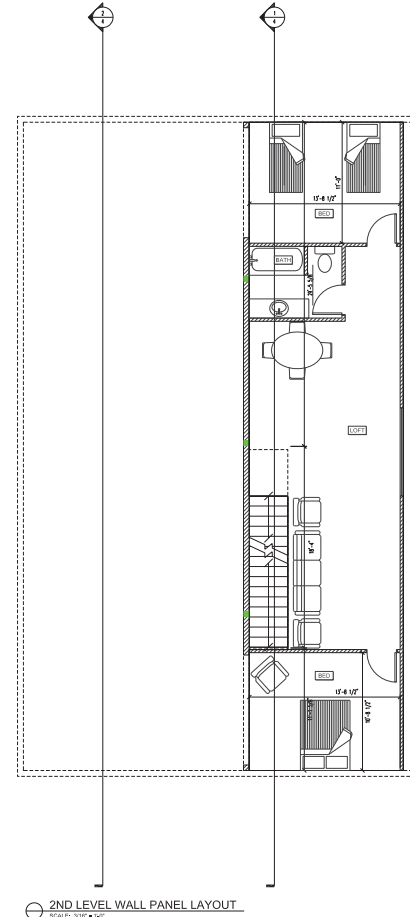
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PROJECT NUMBER:
78844

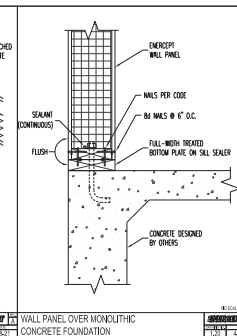
SHEET:
1 OF 6



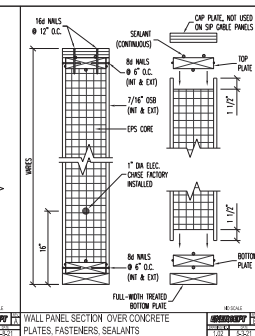
MAIN PANEL DESCRIPTION
ENERCEPT WALL PANELS CONSTRUCTED WITH A 5 1/2\"/>



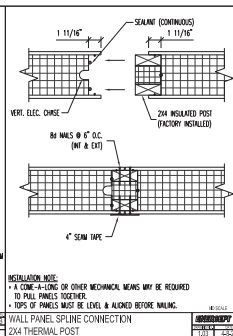
WALL PANEL CORNER ADJUSTMENT
FLY-BY CORNER PANEL



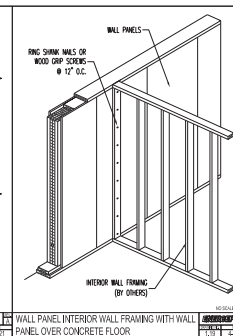
WALL PANEL OVER MONOLITHIC
CONCRETE FOUNDATION



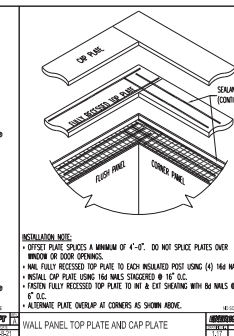
WALL PANEL SECTION OVER CONCRETE
PLATES, FASTENERS, SEALANTS



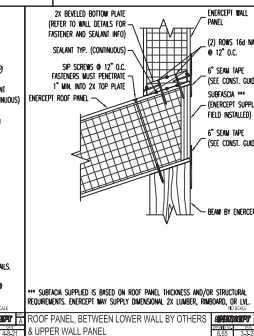
WALL PANEL SPLINE CONNECTION
2x4 THERMAL POST



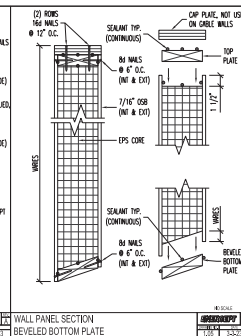
WALL PANEL INTERIOR WALL FRAMING WITH WALL
PANEL OVER CONCRETE FLOOR



WALL PANEL TOP PLATE AND CAP PLATE



ROOF PANEL, BETWEEN LOWER WALL BY OTHERS
& UPPER WALL PANEL



WALL PANEL SECTION
BEVELED BOTTOM PLATE

ENERCEPT, INC.
3100 5th Ave. SE
Plymouth, MN 55443
PHONE: (612) 579-1991
FAX: (612) 579-2222
www.enercept.com

REVISIONS:

NO.	DESCRIPTION
1	2ND LEVEL WALL PANEL LAYOUT

UTHE ADUSHOP

PROJECT LOCATION: TRAVIS UTHE, WATERLOO, SD 57071

SCALE: 3/16" = 1'-0"

DRAWN BY: ZMF

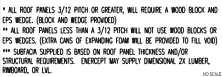
DATE: 24/01/26

PROJECT NUMBER: 78844

SHEET: 2 OF 6

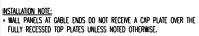
Architectural drawing of the 2nd Level Wall Panel Layout. The drawing shows a rectangular wall layout with dimensions: 12'-0" by 12'-0". The layout is divided into a grid of 12 panels, each measuring 1'-0" by 1'-0". The panels are labeled with "1" and "2" in the top-left corner. The drawing includes a title block in the bottom-left corner with the text "2ND LEVEL WALL PANEL LAYOUT". The drawing is a technical drawing with dimensions and labels.

2ND LEVEL WALL PANEL LAYOUT
SCALE: 1/8" = 1'-0"

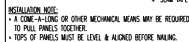


ROOF PANEL PLUMB CUT, WALL PANEL AT EAVE,

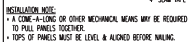
INSULATED OVERHANG	0.04	4-2-21
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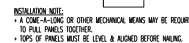
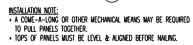
ROOF PANEL, WALL PANEL AT GABLE END, SINGLE TOP PLATE WITH INSULATED OVERHANG	SPRINKLER	1.22	4.8-57
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ROOF PANEL



ROOF PANEL



ENERCEPT, INC.
3100 9th AVE SE
WATERTOWN, SD 57201
PHONE: (605) 882-2222
FAX: (605) 882-2753
www.enercept.com

REVISIONS:

UTHE ADU/SHOP

BUILDER INFORMATION:

ROOF

PROJECT LOCATION:
TRAVIS UTHE
NA
WATERTOWN, SD 5720

SCALE:

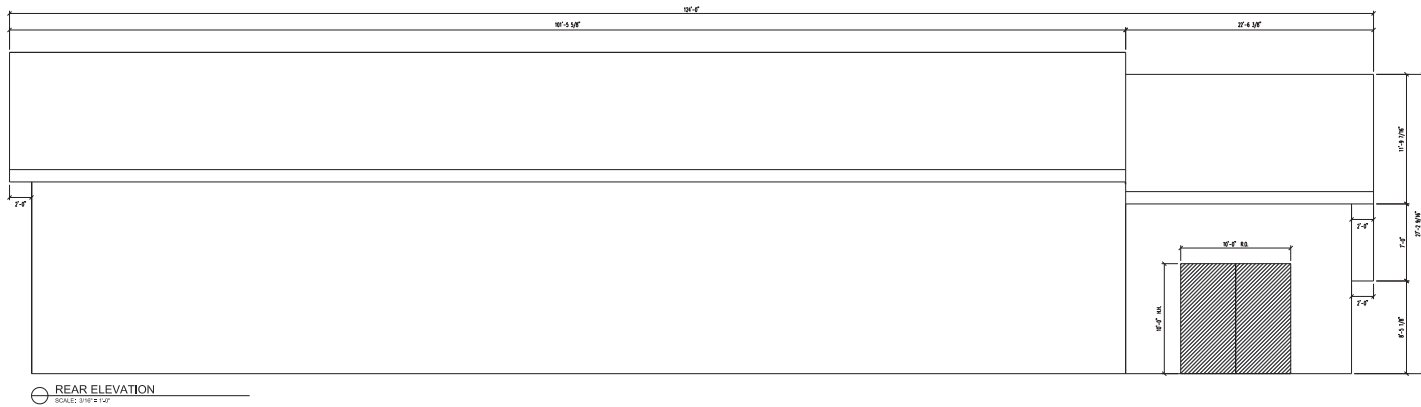
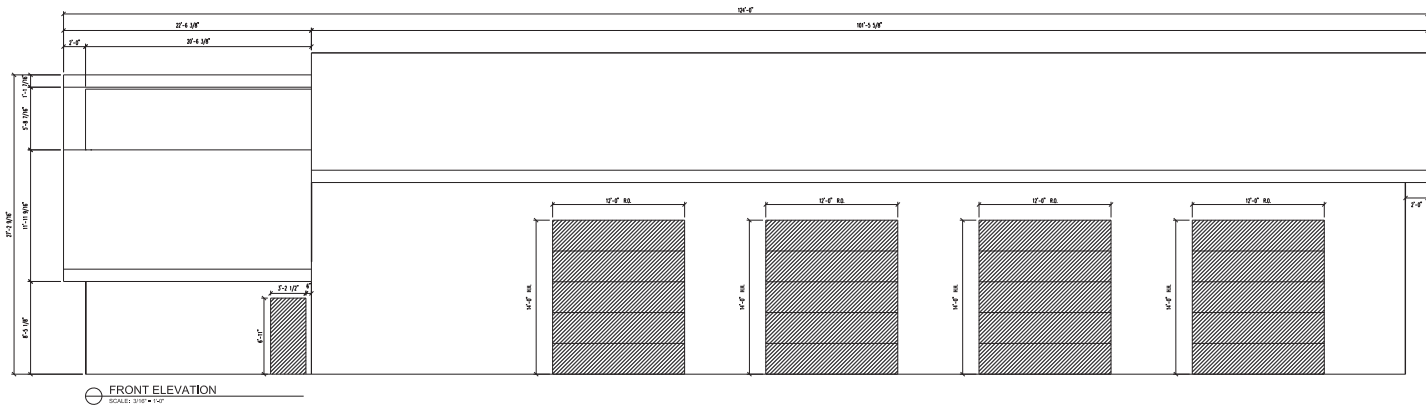
16" = 1'-0"

DRAIN BY:

DATE:
24/01/26

JECT NUMBER:
78844

SHEET:
3 OF 6



ENERCEPT, INC.
3100 9th AVE SE
WATERLOO, SD 57991
PHONE: (605) 882-2722
FAX: (605) 882-2753
www.enercept.com

REVISIONS:

UTHE ADU/SHOP

BUILDER INFORMATION:

PROJECT LOCATION:
THOMAS UTHE
WATERLOO, SD 57991

ELEVATION 1

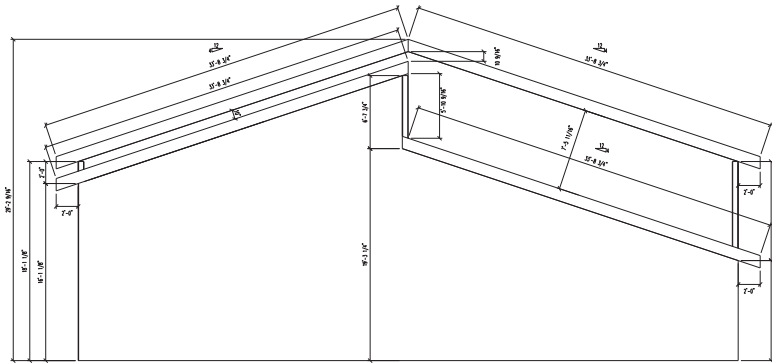
SCALE:
NA

DRAWN BY:
ZMF

DATE:
24/01/26

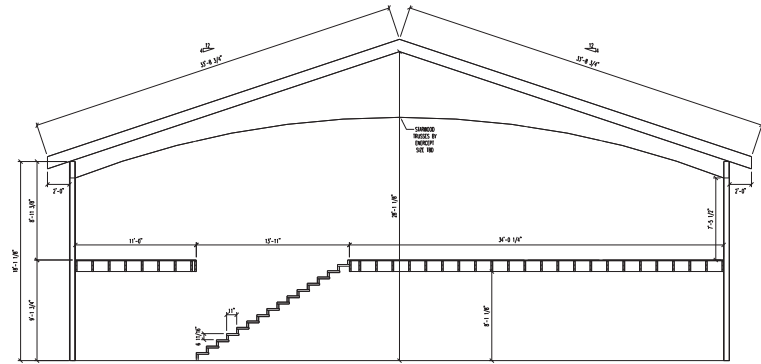
PROJECT NUMBER:
78844

SHEET:
4 OF 6



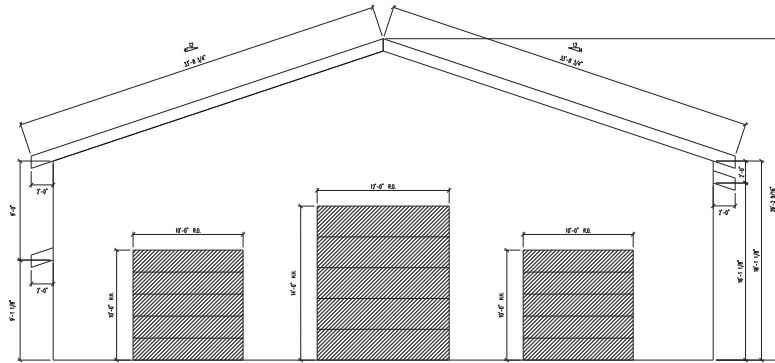
LEFT ELEVATION

SCALE: 3/16" = 1'-0"



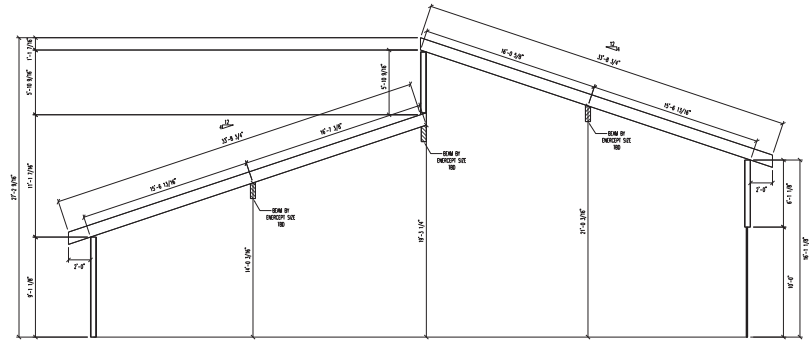
PANEL SECTION

SCALE: 3/16" = 1'-0"



RIGHT ELEVATION

SCALE: 3/16" = 1'-0"



PANEL SECTION

SCALE: 3/16" = 1'-0"



ENERCEPT, INC.
3100 9th AVE SE
WATERLOO, SD 57991
PHONE: (605) 272-2722
FAX: (605) 272-2722
www.enercept.com

REVISIONS:

UTHE ADU/SHOP

BUILDER INFORMATION:

PROJECT LOCATION:
TRAVIS UTHE
WATERLOO, SD 57991

ELEVATION & SECTIONS

SCALE:
3/16" = 1'-0"

DRAWN BY:

DATE:

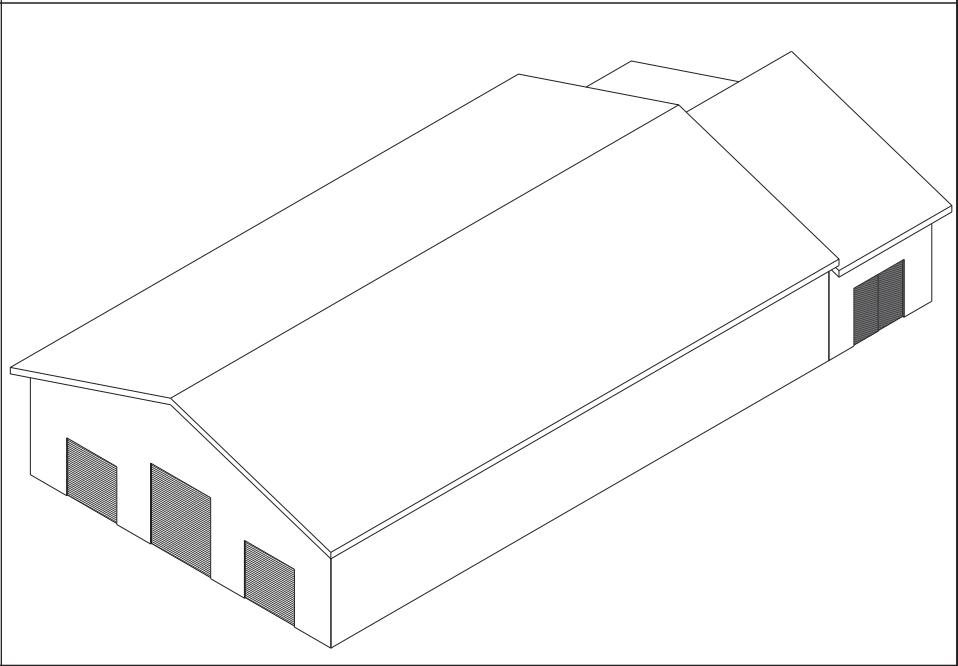
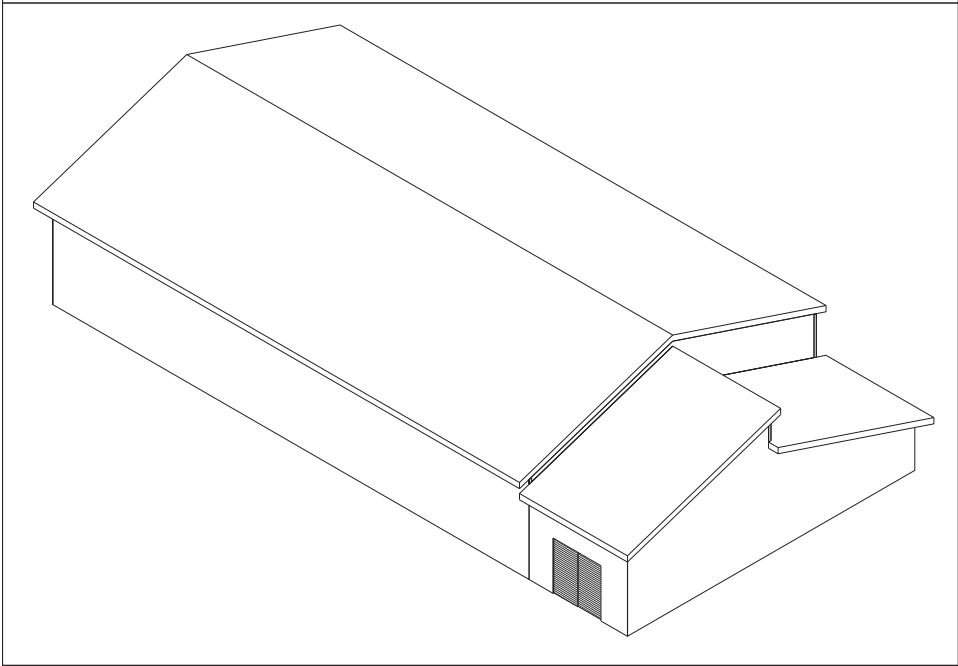
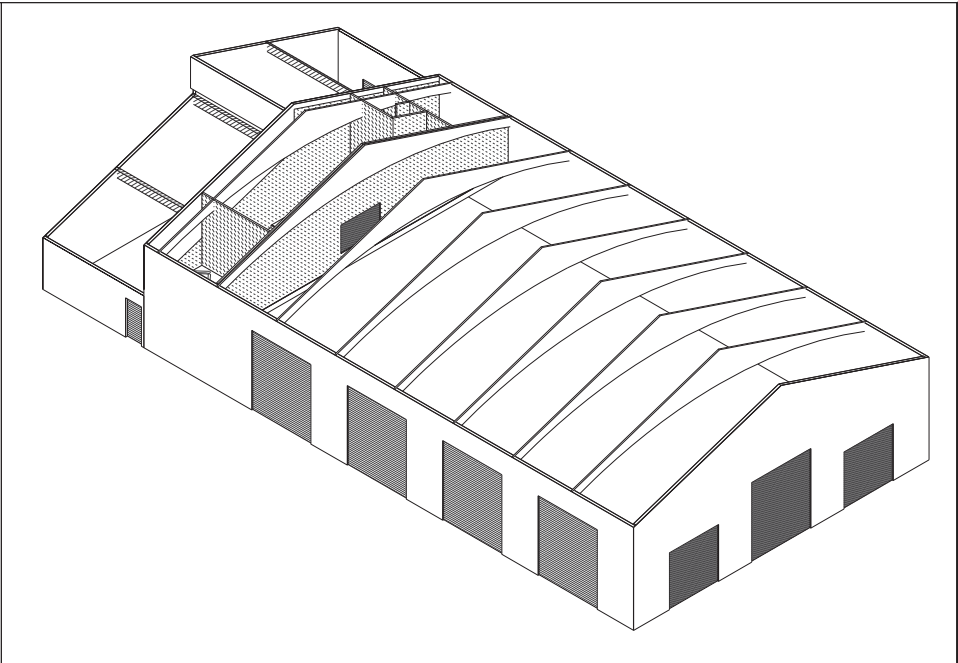
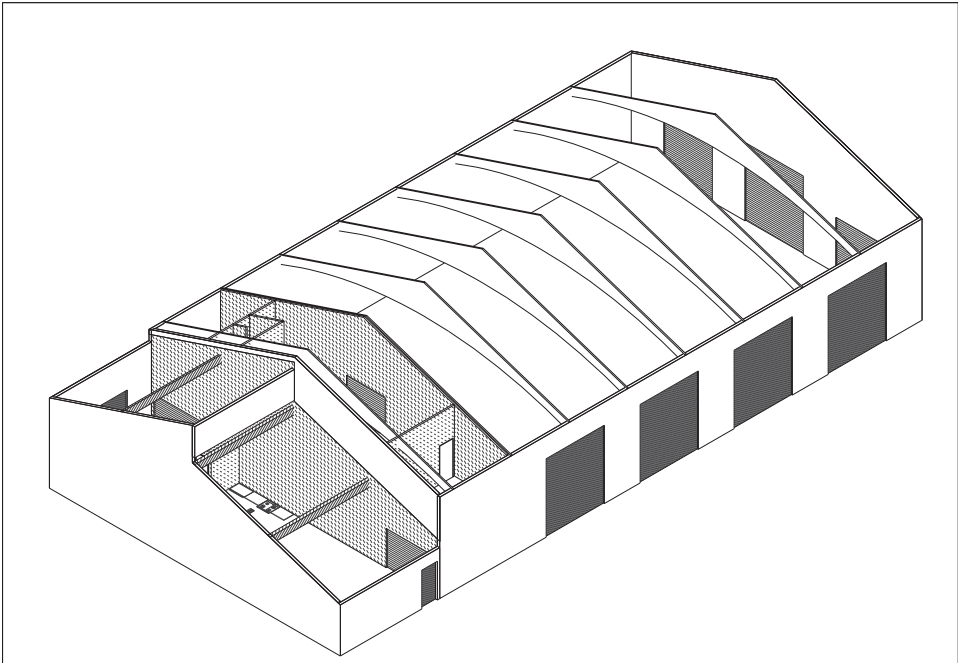
24/01/26

PROJECT NUMBER:

78844

SHEET:

5 OF 6



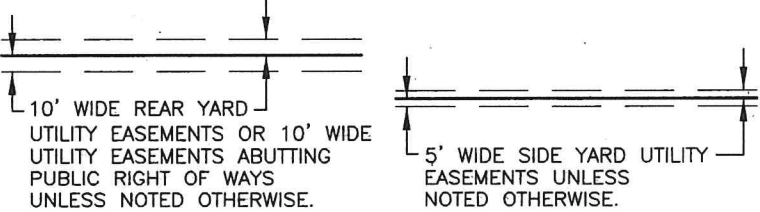
	
ENERCEPT, INC. 3100 9th Ave SE WAUKESHA, WI 53191 PHONE: (608) 782-2722 FAX: (608) 782-2733 www.enercept.com	
REVISIONS:	
UTTHE ADUISHOP	ISO
PROJECT LOCATION: TRAVIS UTTE WAUKESHA, WI 53191	BUILDER INFORMATION:
SCALE: 1/4" = 1'-0"	DRAWN BY: ZMF
DATE: 24/01/26	PROJECT NUMBER: 78844
SHEET: 6 OF 6	

PLAT OF
UTHE FIRST ADDITION TO THE MUNICIPALITY OF WATERTOWN
IN THE COUNTY OF CODINGTON, SOUTH DAKOTA.

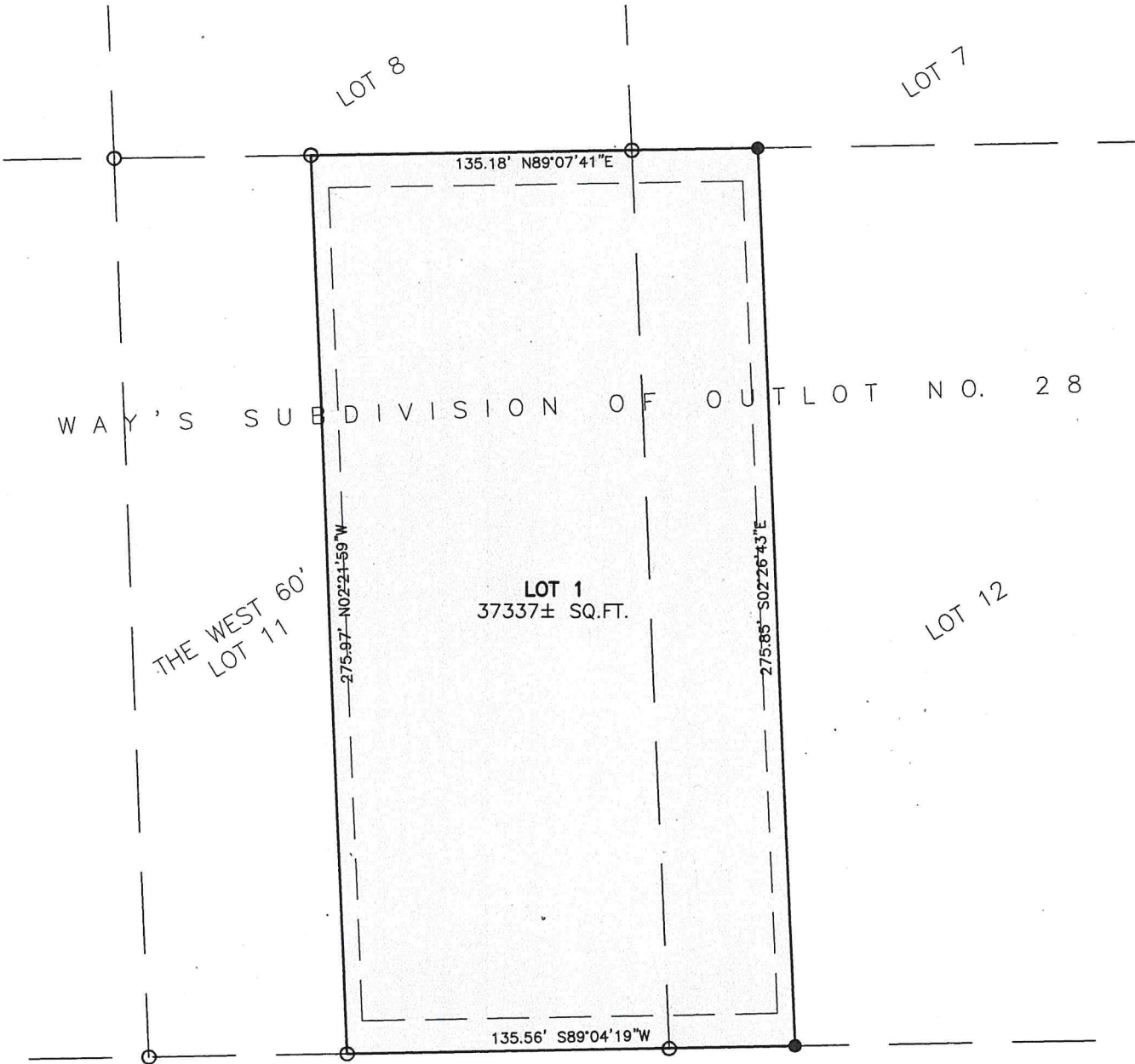
NOTE: THIS PLAT IS A REPLAT OF AND SHALL VACATE THE EAST 97.8' OF LOT 11 AND THE WEST 38.2' OF LOT 12 OF THE PLAT ENTITLED, "WAY'S SUBDIVISION OF OUTLOT NO. 28 IN THE WAY-CASE ADDITION TO WEST WATERTOWN TO THE TOWN OF WATERTOWN," CODINGTON COUNTY, SOUTH DAKOTA. RECORDED IN BOOK "AP" OF PLATS ON PAGE 426.

October 10, 2024
Scale: 1"=100'
○ Monument Recovered
● ½"x18" Rebar w/ Plastic Cap
Stamped #11310 Set

NOTE: Bearings are based on UTM Zone 14 North - NAD83 coordinate zone. Ground Distances shown.



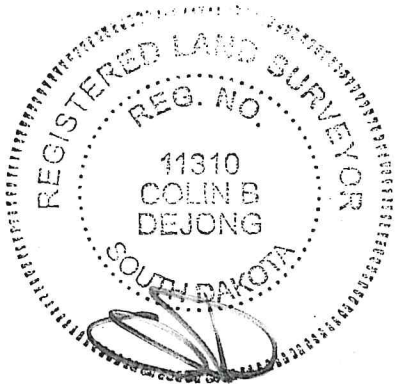
EASEMENT INFORMATION EASEMENT INFORMATION



Prepared By
AASON ENGINEERING COMPANY, INC.

1022 SIXTH STREET S.E.
WATERTOWN, SD
Telephone 605-882-2371

NOTE: This plat and the survey on which it is based was performed without the benefit of a title report and is subject to any encumbrances whether specified hereon or of record, if any.



Registered Land Surveyor

View looking toward the West



