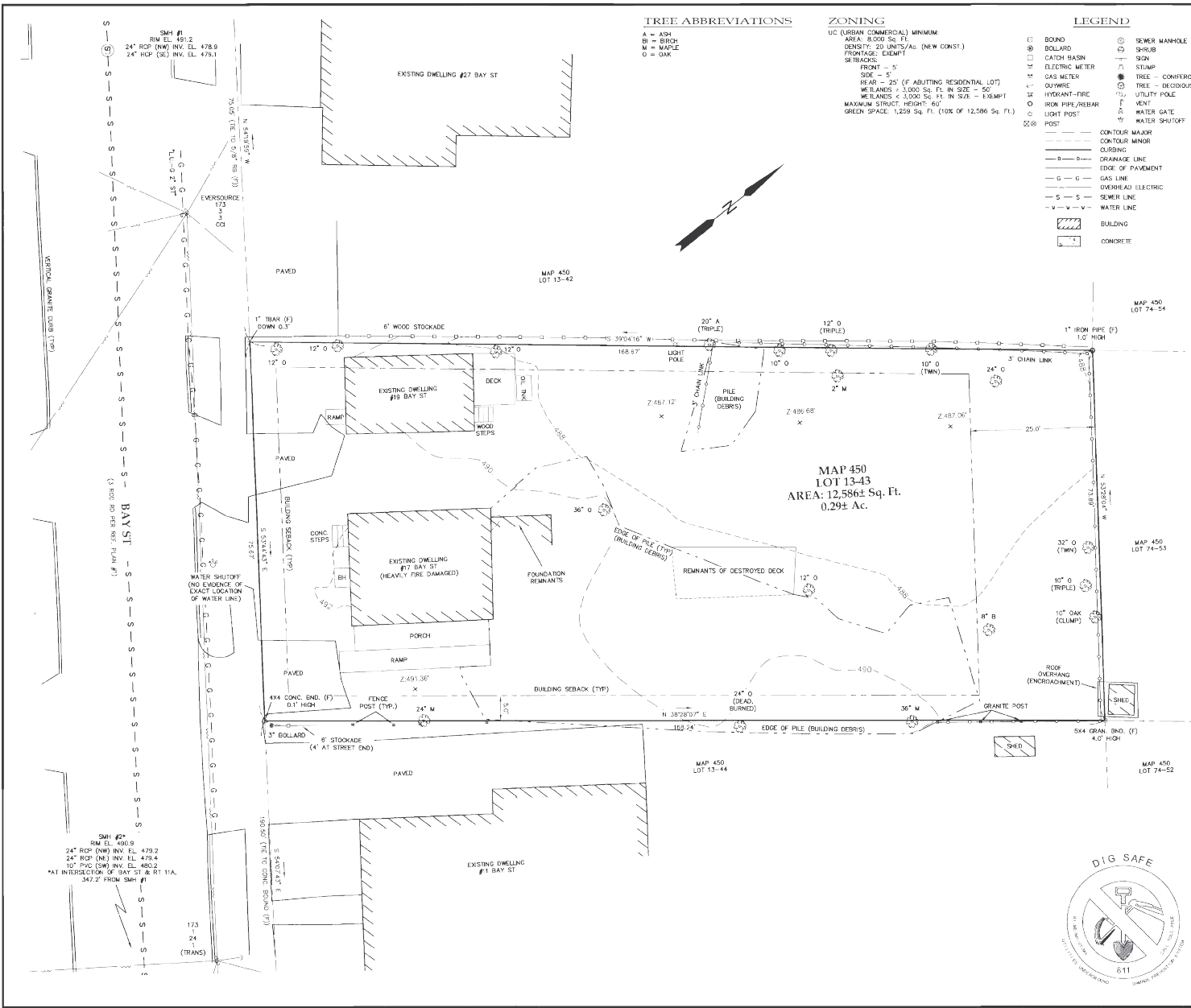




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**TREE ABBREVIATIONS**

A = ASH  
 B = BIRCH  
 M = MAPLE  
 O = OAK

**ZONING**

UC (URBAN COMMERCIAL) MINIMUM:  
 AREA: 8,000 SQ. FT.  
 DENSITY: 20 UNITS/AC. (NEW CONST.)  
 FRONTAGE: 60' MIN.  
 SETBACKS:  
 FRONT - 5'  
 SIDE - 5'  
 REAR - 25' (IF ADJUTING RESIDENTIAL LOT)  
 WETLANDS < 1,000 SQ. FT. IN SIZE = 50'  
 WETLANDS < 1,000 SQ. FT. IN SIZE = 150' MIN.  
 MAXIMUM STRUCT. HEIGHT: 60'  
 GREEN SPACE: 1,250 SQ. FT. (10% OF 12,586 SQ. FT.)

**LEGEND**

- BOUND
- BOLLARD
- CATCH BASIN
- ⊖ ELECTRIC METER
- ⊖ GAS METER
- ⊖ GUYWIRE
- ⊖ HYDRANT/FIRE
- IRON PIPE/REBAR
- LIGHT POST
- ⊖ POST
- SEWER MANHOLE
- SHRUB
- SIGN
- ⊖ STUMP
- TREE - CONIFEROUS
- TREE - DECIDUOUS
- ⊖ UTILITY POLE
- ⊖ VENT
- ⊖ WATER GATE
- ⊖ WATER SHUTOFF
- CONTOUR MAJOR
- CONTOUR MINOR
- CURBING
- GRASS LINE
- EDGE OF PAVEMENT
- G - G GAS LINE
- DEGREEAD ELECTRIC
- S - S SEWER LINE
- W - W WATER LINE
- ▨ BUILDING
- ▨ CONCRETE

**LOCUS MAP**



- PLANS OF REFERENCE**
- 1) PLAN OF WOBESON FIELD, NO SURVEYOR LISTED, NO SCALE OR DATE LISTED; SEE BELKNAP COUNTY REGISTRY OF DEEDS (BOOK) PLAN No. 1-25.
  - 2) "BOUNDARY SURVEY OF LAND OF HARRY & PRISCILLA BEAN", PREPARED BY: BRYAN L. BAILEY ASSOC., INC.; SCALE: 1" = 200'; DATED: JAN. 08, 2004; SEE BOOK PLAN No. 449-B.

- NOTES**
- 1) THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS OF MAP 450 LOT 13-43, LOCATED AT 17-19 BAY STREET IN LACONIA, NEW HAMPSHIRE.
  - 2) THIS PLAN IS BASED ON FIELD EVIDENCE LAST OBSERVED IN APRIL OF 2023. THE FIELDWORK ASSOCIATED WITH THIS SURVEY HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE OF 1:27,183.
  - 3) THIS PARCEL OF LAND (MAP 450 LOT 13-43) DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS INTERPOLATED FROM THE FLOOD INSURANCE RATE MAP (FIRM) FOR BELKNAP COUNTY, NEW HAMPSHIRE (ALL JURISDICTIONS) #3300000000, HAVING AN EFFECTIVE DATE OF AUGUST 15, 1980.
  - 4) THE SUBJECT LOT IS SERVED BY MUNICIPAL WATER AND SEWER SERVICE; GAS SERVICE IS FROM LIBERTY UTILITIES; ELECTRIC SERVICE IS FROM EVERSOURCE.
  - 5) THE UTILITIES SHOWN ON THIS PLAN ARE BASED ON COVERAGE AVAILABLE AT THE TIME OF THIS SURVEY. THIS INCLUDES DISCRETE PAINT MARKINGS, MANHOLE COVERS, OVERHEAD LINES, ETC. THE LOCATION OF ALL UTILITIES MUST BE VERIFIED PRIOR TO ANY CONSTRUCTION ACTIVITY.
  - 6) THE BEARING SYSTEM OF THIS PLAN IS REFERENCED TO NH NAD83 (2011). THE VERTICAL DATUM IS NAVD83 (2011). THESE ARE BOTH BASED ON POST-PROCESSED GNSS OBSERVATIONS CONDUCTED ON-SITE BY THIS OFFICE.
  - 7) THIS PLAN IS INTENDED TO BE AT THE OPTICED SCALE WHEN PLOTTED ON 22x34 (ANSI D) SIZE PAPER.
  - 8) ALL DIMENSIONS, UNLESS OTHERWISE INDICATED, ARE IN SURVEY HORIZONTAL UNITS.
  - 9) ALL ZONING INFORMATION SHALL BE VERIFIED PRIOR TO ANY BUILDING OR CONSTRUCTION ACTIVITY THAT DOES NOT FALL UNDER CURRENT ZONING.
  - 10) NO ON-SITE WETLANDS WERE OBSERVED OR DELINEATED.
  - 11) TOPOGRAPHY AS DEPICTED IS BASED ON AN ON-THE-GROUND TOPOGRAPHICAL FIELD SURVEY, WITH CONTOURS AT 2' INTERVALS.

**LAND OWNERS OF RECORD**

S & K REHAB A, LLC  
 P.O. BOX 745  
 WINNISQUAM, NH 03289  
 BELKNAP COUNTY REGISTRY OF DEEDS BOOK 3214 / PAGE 0090

S & K REHAB A, LLC DATE

**EXISTING CONDITIONS PLAN**  
 MAP 450 LOT 13-43  
 17-19 BAY ST  
 LACONIA, NEW HAMPSHIRE  
 APRIL 5, 2023

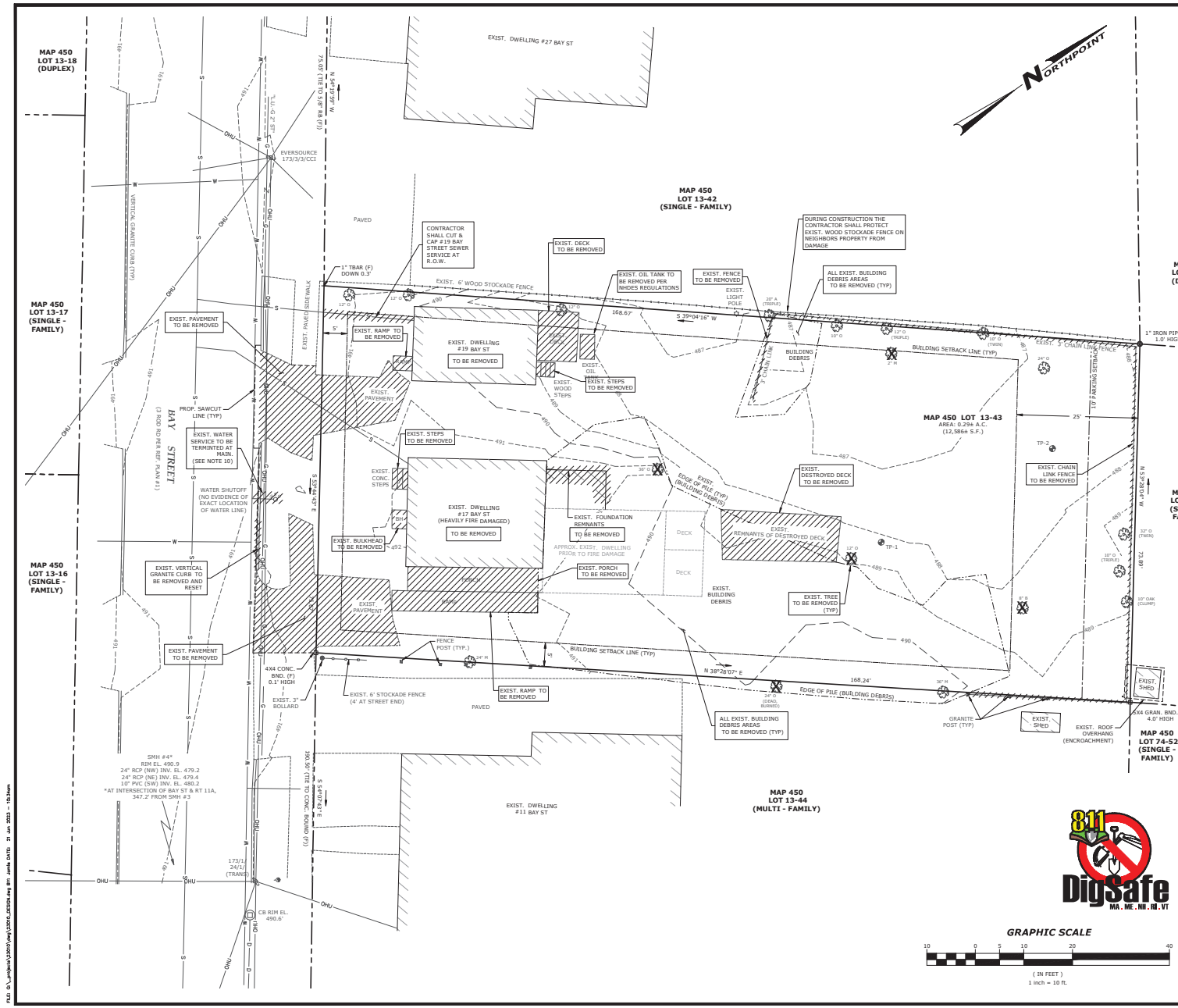
PREPARED FOR: LAKES REGION COMMUNITY DEVELOPERS  
 193 COURT ST  
 LACONIA, NH 03246

SCALE: 1"=10' SHEET 1 OF 1

PREPARED BY: **Promised Land Survey, LLC**  
 P.O. Box 447  
 Derry, New Hampshire 03038  
 Tel: (603) 432-2112  
 www.PromisedLandSurvey.com  
 Land Surveying • Mapping • Planning • Permitting • Layout

**REVISIONS**

NO.	DATE	DESCRIPTION	BY



- NOTES:**
1. DIGSAFE SHALL BE CONTACTED 72 HOURS PRIOR TO CONSTRUCTION COMMENCING (1-888-344-7233).
  2. EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE IN LOCATION AND POSSIBLY INCOMPLETE. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT SIZE, LOCATION, DEPTH AND EXISTENCE OF ALL EXISTING UNDERGROUND UTILITIES THAT ARE TO BE ACCESSED OR CROSSED DURING CONSTRUCTION.
  3. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL REQUIRED DEMOLITION PERMITS FROM THE CITY OF LACONIA PRIOR TO THE COMMENCEMENT OF ANY WORK.
  4. ALL EXISTING MATERIALS AND DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY.
  5. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE OWNING UTILITY COMPANY(IES) FOR THE REMOVAL, RELOCATION OR RESTRICTION OF ANY EXISTING UTILITY POLES, OR GUY WIRES, THAT WILL BE IMPACTED BY THE PROPOSED IMPROVEMENTS. EXACT LOCATION OF ANY RELOCATED POLES OR WIRES SHALL BE DETERMINED BY THE OWNING UTILITY COMPANY, HOWEVER THE UTILITY LAYOUT SHOULD BE SUBMITTED TO THE ENGINEER AND ARCHITECT FOR APPROVAL BEFORE BEING INSTALLED.
  6. EXISTING EXTERIOR SITED OIL TANK SHALL BE REMOVED IN ACCORDANCE WITH NH'S REQUIREMENTS. CARE SHALL BE TAKEN TO EMPTY OIL IN AN APPROPRIATE MANNER, AND REMOVE FROM SITE.
  7. EXISTING TREES TO REMAIN SHOULD BE PROTECTED THROUGHOUT CONSTRUCTION TO THE EXTENT POSSIBLE.
  8. PRIOR TO ANY TREE REMOVAL THE CONTRACTOR SHALL COORDINATE WITH THE OWNER & THE ENGINEER FOR WORK THAT MAY IMPACT ADJUTING PROPERTIES.
  9. ALL TREE DEBRIS SHALL BE REMOVED OFFSITE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
  10. THE EXISTING WATER SERVICE WILL NEED TO BE TERMINATED AT THE MAIN ON BAY STREET IN ACCORDANCE WITH LACONIA WATER SPECIFICATIONS.

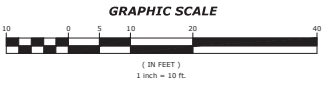


**REMOVALS PLAN**  
 PREPARED FOR:  
**BAY STREET APARTMENTS**  
 17-19 BAY STREET - TAX MAP 450 LOT 13-43  
 LACONIA, NEW HAMPSHIRE

APPLICANT: LAMES RESORU COMMUNITY DEVELOPERS  
 193 COURT STREET  
 LACONIA, NH 03246

OWNER: S & N REHAB A LLC.  
 P.O. BOX 745  
 WINNISQUAM, NH 03289

REVISIONS:	
NO.	DATE DESCRIPTION
1	06/20/23 TRC COMMENTS



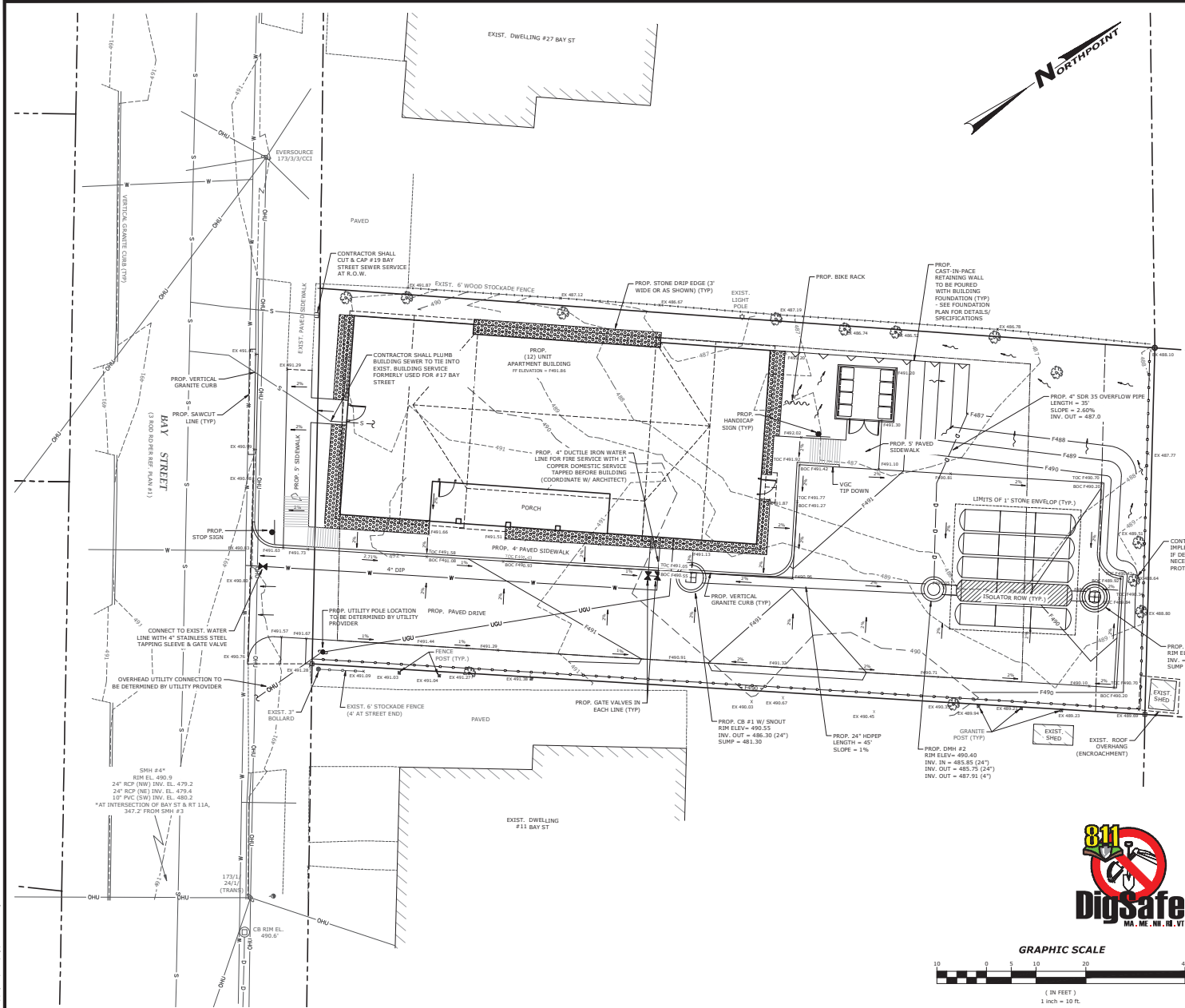
FILED IN LACONIA AT 10:00 AM ON 06/20/23 BY: [Name] TITLE: [Title] DATE: 06/20/23 - 10:00 AM

**NORTHPOINT ENGINEERING, LLC**  
 Civil Engineering / Land Planning / Construction Services

119 Storrs St, Ste 201  
 Concord, NH 03301  
 Tel 603-226-1166  
 Fax 603-226-1160  
 www.northpointeng.com

DATE: JUNE 2023  
 PROJ.: 23010  
 SCALE: 1"=10'  
 SHEET: 2 OF 14

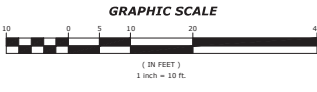




- CONSTRUCTION NOTES:**
1. DGS&F SHALL BE CONTACTED 72 HOURS PRIOR TO CONSTRUCTION COMMENCING (811).
  2. EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE IN LOCATION AND POSSIBLY INCOMPLETE PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE EXACT SIZE, LOCATION AND DEPTH OF ALL EXISTING UNDERGROUND UTILITIES THAT ARE TO BE ACCESSED OR CROSSED DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING IF ANY UTILITIES ARE FOUND TO BE INTERFERING WITH PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK.
  3. THE LIMITS OF TREE CLEARING SHALL BE STAKED OUT PRIOR TO ANY TREE REMOVAL AND GRANGE CONSTRUCTION FENCING SHALL BE INSTALLED TO DEMARKATE THE LIMITS OF LAND DISTURBANCE.
  4. ALL TEMPORARY EROSION CONTROL MEASURES (BMP'S) SHOWN ON THE EROSION CONTROL PLAN SHALL REMAIN IN PLACE FOR THE DURATION OF CONSTRUCTION, AND UNTIL THE SITE IS STABILIZED.
  5. PRIOR TO STARTING ANY WORK WITHIN THE CITY OF LACONIA ROW THE CONTRACTOR MUST OBTAIN ALL REQUIRED PERMITS FROM APPLICABLE CITY DEPARTMENTS. ALL WORK PERFORMED WITHIN THE CITY RIGHT OF WAY SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CITY STANDARDS, SPECIFICATIONS, AND REQUIREMENTS.
  6. ALL CONSTRUCTION ON SITE SHALL CONFORM TO THE PROJECT SPECIFICATIONS AND SHALL BE PERFORMED IN A WORKMAN LIKE MANNER.
  7. ALL CONSTRUCTION DEBRIS, INCLUDING STUMPS, SHALL BE REMOVED FROM THE JOB SITE AND DISPOSED OF PROPERLY OFF SITE.
  8. ALL AREAS DISTURBED DURING CONSTRUCTION, INCLUDING ALL CUT AND FILL SLOPES, SHALL BE PERMANENTLY STABILIZED WITH 4" OF LOAM AND SEED, PER THE TURE ESTABLISHMENT SCHEDULE. REFER TO THE EROSION CONTROL PLAN FOR ADDITIONAL REQUIREMENTS FOR TEMPORARY AND PERMANENT STABILIZATION PRACTICES IN CERTAIN AREAS OF THE SITE.
  9. ALL PROPOSED STORM DRAINS SHALL BE INSTALLED PER THE LINE AND GRADE SHOWN ON THESE PLANS. ALL STORM DRAINS SHALL BE HDPE, UNLESS OTHERWISE NOTED. CONSTRUCTION METHODS SHALL CONFORM TO WHIST STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
  10. THE PROPOSED STORMTECH CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
  11. THE PROPOSED BUILDING SEWER SHALL BE CONNECTED TO EXISTING 6" SEWER SERVICE FORMERLY SERVING #17 BAY STREET. CARE SHALL BE TAKEN DURING THE REMOVAL TO PROTECT EXISTING SERVICE FOR REUSE. THE RECONNECTION SHALL BE PERFORMED IN ACCORDANCE WITH CITY SPECIFICATIONS AND REQUIREMENTS. THE EXISTING SEWER SERVICE TO #19 BAY STREET SHALL BE CAPPED AND ABANDONED AT THE RIGHT-OF-WAY.
  12. THE PROPOSED CAST-IN-PLACE RETAINING WALL SHALL BE DESIGNED AND POURED WITH THE BUILDING FOUNDATION MEETING ALL LOCAL BUILDING CODES. CONTRACTOR SHALL COORDINATE WITH ARCHITECT BEFORE PERFORMING WORK.
  13. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE OWNING UTILITY COMPANIES FOR THE REMOVAL, RELOCATION, RESETING OF ANY EXISTING UTILITY POLES, GUY WIRES, OR SERVICE CONNECTIONS THAT WILL BE IMPACTED BY THE PROPOSED IMPROVEMENTS.
  14. ALL ELECTRICAL UTILITY CONDUITS AND TRENCH WORK SHALL BE INSTALLED PER OWNING ELECTRIC COMPANY SPECIFICATIONS.
  15. ALL PROPOSED UNDERGROUND CONDUIT LOCATIONS FOR ELECTRICAL LIGHTING AND CONTROLS SHALL BE PROVIDED BY ARCHITECTURAL PLANS.
  16. WATER CONNECTION IN STREET AND 4" DUCTILE IRON FIRE SERVICE WITH 1" COPPER DOMESTIC SERVICE SHALL CONFORM WITH THE CITY OF LACONIA WATER DEPARTMENT SPECIFICATIONS. WATER SERVICE PENETRATIONS INTO BUILDINGS SHALL BE COORDINATED WITH ARCHITECT AND MEP ENGINEER FOR LOCATION AND OTHER REQUIREMENTS. EXISTING WATER SERVICE TO BE TERMINATED AT THE WATER MAIN ON BAY STREET. PROPOSED METERS AND BACKFLOWS MUST BE IN HEATED, ACCESSIBLE LOCATION. LACONIA WATER WILL NEED TO INSPECT ALL WATER WORK. PLEASE CONTACT FOR DEPOSIT AMOUNT AND SCHEDULING (603-524-0901).

**GRADING & DRAINAGE PLAN**  
 PREPARED FOR:  
**BAY STREET APARTMENTS**  
 17-19 BAY STREET - TAX MAP 450 LOT 13-43  
 LACONIA, NEW HAMPSHIRE

APPLICANT: LAKES REGION COMMUNITY DEVELOPERS 193 COURT STREET LACONIA, NH 03246	OWNER: S & N REHAB A LLC. P.O. BOX 745 WINNISQUAM, NH 03289																		
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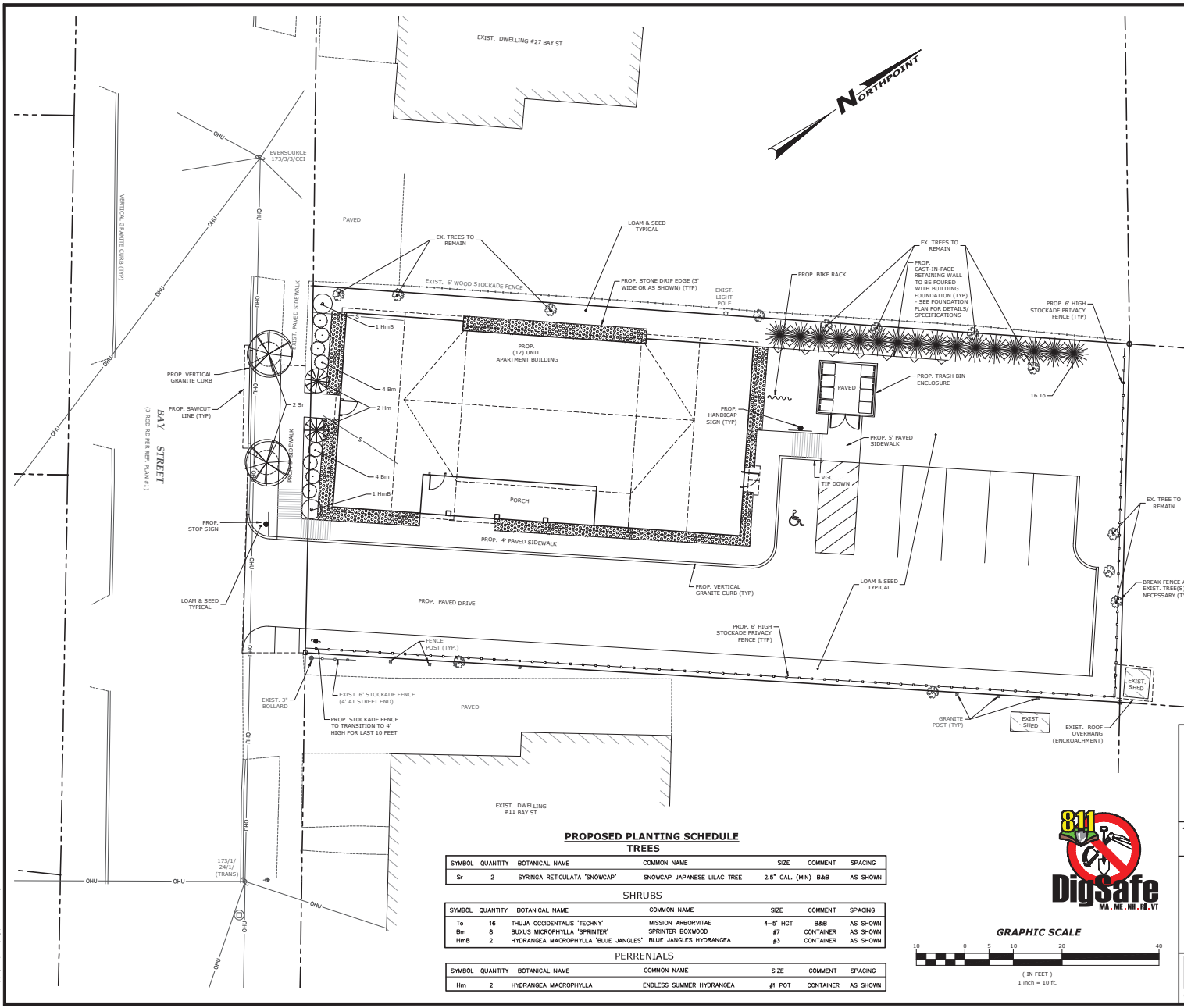


FILED IN: 173/3/3/CCI  
 DATE: 06/20/23  
 TIME: 10:00 AM  
 BY: J. J. JONES - 1838

**NORTHPOINT ENGINEERING, LLC**  
 Civil Engineering • Land Planning • Construction Services

119 Storrs St, Ste 201  
 Concord, NH 03301  
 Tel: 603-226-1166  
 Fax: 603-226-1160  
 www.northpointeng.com

DATE: JUNE 2023  
 PROJ.: 23010  
 SCALE: 1"=10'  
 SHEET: 4 OF 14



**LANDSCAPE REGULATIONS:**

- ZONING REGULATIONS
- STREET TREE REQUIREMENT
    - 1 TREE/50 LF OF FRONTAGE OR PORTION OVER 25 LF
    - 75.67 LF ALONG BAY STREET
    - 75.67 LF/50 = 1.51 TREES - 2 TREES
    - 2 TREES PROVIDED**
  - PERIMETER PARKING REQUIREMENTS
    - 10' LANDSCAPE PERIMETER FOR MULTI-FAMILY PARKING
    - 10' PROVIDED FOR PARKING LOT - PRESERVING EXISTING MATURE TREES**

**LANDSCAPE NOTES:**

- ALL PLANT MATERIALS USED SHALL BE NURSERY STOCK AND SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF INSTALLATION. ANY MATERIAL WHICH DOES OR DOES NOT SHOW HEALTHY APPEARANCE WITHIN THIS TIME SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE, WITH SAME WARRANTY REQUIREMENTS AS THE ORIGINAL. WARRANTIES TYPICALLY DO NOT COVER LOSS DUE TO INSECT INFESTATION OR MECHANICAL DAMAGE (I.E. SNOW STORAGE).
- A TOPSOIL MIXTURE SHALL BE USED TO BACKFILL THE HOLE AS FOLLOWS; ORGANIC TOPSOIL, AMENDED WITH 10% WOOD ASH, 10% MANURE, 30% PEATMOSS AND A GRANULAR HYDROGEL TO ABSORB AND RETAIN WATER.
- UNSUITABLE MATERIAL ENCOUNTERED IN PLANTING AREAS SHALL BE REMOVED AND REPLACED WITH TOPSOIL MIXTURE NOTED ABOVE. THE AREA OF REMOVAL SHALL BE TWICE THE DIAMETER OF THE ROOT BALL FOR THE SPECIFIED PLANT MATERIAL.
- ALL TREES CALIPERS SHALL BE MEASURED FROM A HEIGHT OF 6" ABOVE THE GROUND.
- ANY PROPOSED PLANT SUBSTITUTIONS SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT OR DESIGNER AND APPROVED BY THE LOCAL JURISDICTION PRIOR TO PLANTING.

**TURF ESTABLISHMENT SCHEDULE:**

**SEED BED PREPARATION:**

- PLACE 4-INCH (MINIMUM) COMPACTED THICKNESS OF CLEAN SUITABLE LOAM.
- RAKE OUT LOAM TO FREE SOIL OF DEBRIS AND STONES GREATER THAN 1-INCH IN DIAMETER.
- FINE GRADE SURFACE AND SUPPLEMENT WITH LOAM WHERE NEEDED TO CREATE A UNIFORM SURFACE.
- APPLY AGRICULTURAL LIMESTONE AT A RATE OF 11-POUNDS PER 1,000 S.F.

**SEEDING SPECIFICATIONS:**

- SEED SHALL BE SPREAD UNIFORMLY BY BROADCASTING, DRILLING OR HYDROSEEDING. IF HYDROSEEDING, USE 4-TIMES THE RECOMMENDED RATE OF INOCULANT.
- SEEDING FOR PERMANENT COVER SHALL OCCUR BETWEEN APRIL 15 AND OCTOBER 1. WHEN SEEDING BETWEEN MAY 15 AND SEPTEMBER 1, ALL AREAS SEEDED SHALL BE MULCHED WITH HAY, STRAW OR OTHER ACCEPTABLE MATERIAL AT A RATE OF 2-TONS PER ACRE.
- SEED MIXTURE FOR LAWN AREAS SHALL CONTAIN 45% TALL FESCUE, 45% CREEPING RED FESCUE, AND 10% REDTOP APPLIED AT A RATE OF 4.5-POUNDS PER 1,000 S.F..
- ALL STEEP SLOPE AREAS (1:1 OR STEEPER) SHALL BE HYDROSEEDED WITH A SEED MIXTURE CONTAINING 25% PERENNIAL RYEGRASS, 50% CROWN VETCH AND 25% WILDFLOWER MIX APPLIED AT A RATE OF 4.5 POUNDS PER 1,000 S.F.

**SNOW REMOVAL NOTE:**

- EXCESS SNOW SHALL BE LEGALLY DISPOSED OF OFFSITE.

**PROPOSED PLANTING SCHEDULE**

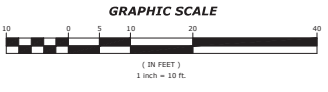
TREES						
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENT	SPACING
Sr	2	SYRINGA RETICULATA 'SNOWCAP'	SNOWCAP JAPANESE LILAC TREE	2.5" CAL. (MIN) B&B		AS SHOWN

SHRUBS						
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENT	SPACING
To	16	THUJA OCCIDENTALIS 'TECHNY'	MISSION ARBORVITAE	4-5" HGT	B&B	AS SHOWN
Bm	8	BUXUS MICROPHYLLA 'SPRINTER'	SPRINTER BOXWOOD	#7	CONTAINER	AS SHOWN
Hmb	2	HYDRANGEA MACROPHYLLA 'BLUE JANGLES'	BLUE JANGLES HYDRANGEA	#3	CONTAINER	AS SHOWN

PERRENIALS						
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENT	SPACING
Hm	2	HYDRANGEA MACROPHYLLA	ENDLESS SUMMER HYDRANGEA	#1 POT	CONTAINER	AS SHOWN



**LANDSCAPE PLAN**

PREPARED FOR:

**BAY STREET APARTMENTS**  
 17-19 BAY STREET - TAX MAP 450 LOT 13-43  
 LACONIA, NEW HAMPSHIRE

APPLICANT: LAKES REGION COMMUNITY DEVELOPERS  
 193 COURT STREET  
 LACONIA, NH 03246

OWNER: S & R REHAB A LLC.  
 P.O. BOX 745  
 WINNISQUAM, NH 03289



REVISIONS:

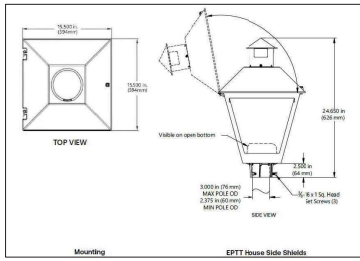
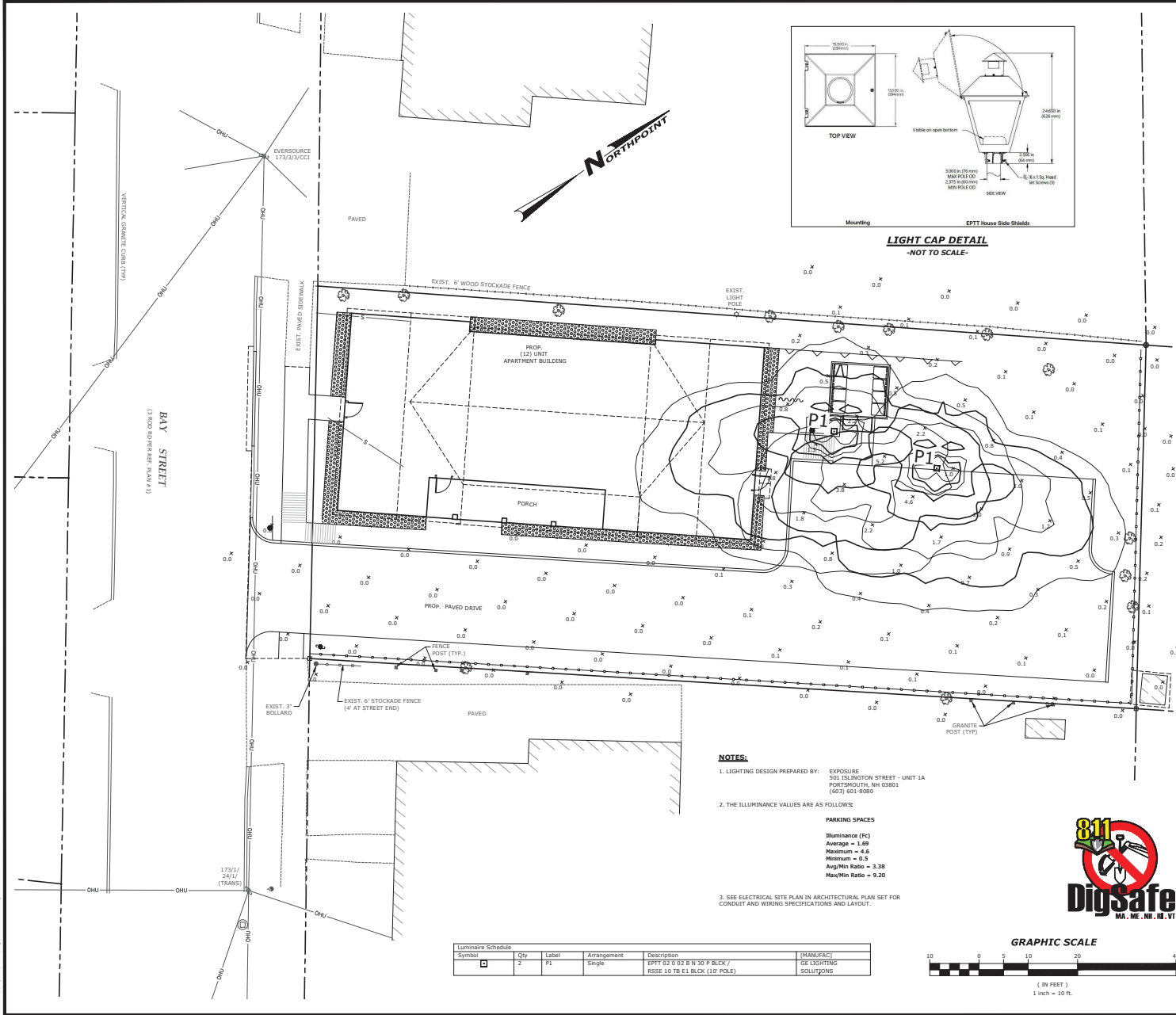
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**NORTHPOINT ENGINEERING, LLC**  
 Civil Engineering / Land Planning / Construction Services

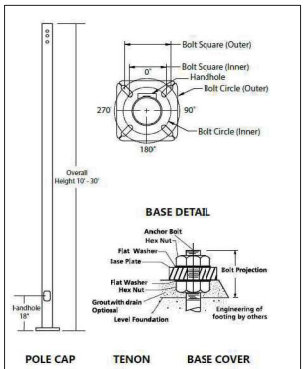
119 Storrs St, Ste 201  
 Concord, NH 03301  
 Tel 603-226-1166  
 Fax 603-226-1160  
 www.northpointeng.com

DATE: JUNE 2023  
 PROJ.: 23010  
 SCALE: 1"=10'  
 SHEET: 5 OF 14

FILED IN: 17-19 BAY STREET APARTMENTS LANDSCAPE PLAN 17-19 BAY STREET - TAX MAP 450 LOT 13-43 LACONIA, NH 03246

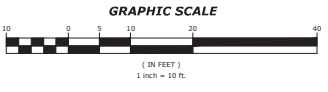


**LIGHT CAP DETAIL**  
-NOT TO SCALE-



**LIGHT POLE DETAIL**  
-NOT TO SCALE-

- NOTES:**
1. LIGHTING DESIGN PREPARED BY: EXPOSURE  
501 ISLINGTON STREET - UNIT 1A  
PORTSMOUTH, NH 03801  
(603) 601-8080
  2. THE ILLUMINANCE VALUES ARE AS FOLLOWS:  
**PARKING SPACES**  
Illuminance (Fc)  
Average = 1.69  
Maximum = 4.6  
Minimum = 0.5  
Avg/Min Ratio = 3.38  
Max/Min Ratio = 9.20
  3. SEE ELECTRICAL SITE PLAN IN ARCHITECTURAL PLAN SET FOR CONDUIT AND WIRING SPECIFICATIONS AND LAYOUT.



Symbol	Qty	Label	Arrangement	Description	(MANUFACT)
□	2	P1	Single	EPIT 02 0 03 8 W 30 F BLACK / RSSE 10 TB E1 BLACK (L/P POLE)	GE LIGHTING SOLUTIONS

**LIGHTING PLAN**  
PREPARED FOR:  
**BAY STREET APARTMENTS**  
17-19 BAY STREET - TAX MAP 450 LOT 13-43  
LACONIA, NEW HAMPSHIRE

APPLICANT: LAKES REGION COMMUNITY DEVELOPERS  
193 COURT STREET  
LACONIA, NH 03246

OWNER: S & R RESAB A LLC.  
P.O. BOX 745  
WINNISQUAM, NH 03289

REVISIONS:

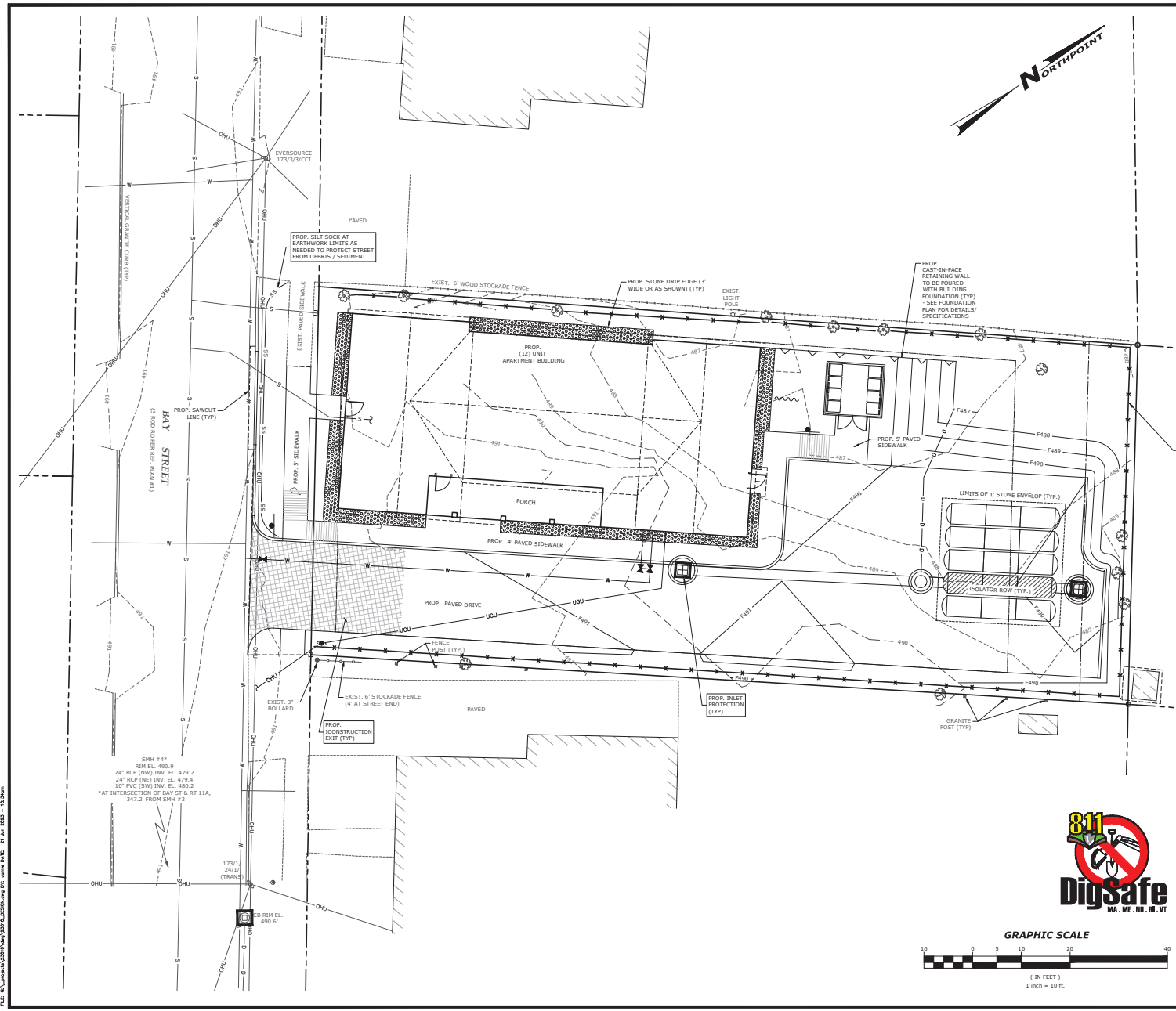
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**NORTHPOINT ENGINEERING, LLC**  
Civil Engineering Land Planning Construction Services

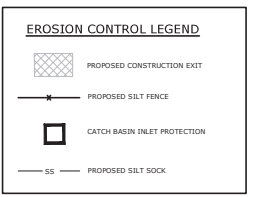
119 Storrs St, Ste 201  
Concord, NH 03301  
Tel 603-226-1166  
Fax 603-226-1160  
www.northpointeng.com

DATE: JUNE 2023  
PROJ.: 23010  
SCALE: 1"=10'  
SHEET: 6 OF 14

FILED IN: 23010-06-20-23  
 PROJECT: 23010-06-20-23  
 SHEET: 6 OF 14



- CONSTRUCTION NOTES**
1. DIG SAFE SHALL BE CONTACTED 72 HOURS PRIOR TO CONSTRUCTION COMMENCING (1-888-344-7233).
  2. TEMPORARY EROSION CONTROL MEASURES, INCLUDING SILT FENCE WHERE SHOWN, SHALL BE IN PLACE PRIOR TO THE START OF ANY CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL SITE IS STABILIZED.
  3. INLET FILTER BASKETS SHALL BE INSTALLED AT ALL EXISTING AND PROPOSED CATCH BASINS THAT WILL RECEIVE RUNOFF DURING CONSTRUCTION.
  4. ALL TEMPORARY EROSION CONTROL MATS/BLANKETS USED ON THIS SITE SHALL BE CURLEX NET FREE EROSION CONTROL BLANKETS MANUFACTURED BY AMERICAN EXCESSOR COMPANY, OR APPROVED EQUAL. WELDED PLASTIC OR RIDGEGRADABLE PLASTIC NETTING OR THREAD IN MATTING IS SPECIFICALLY NOT ALLOWED ON THIS SITE.
  5. SEDIMENT TRAPS AND/OR BASINS SHOULD BE USED AS NECESSARY TO CONTAIN RUNOFF UNTIL BASINS/PONDS ARE STABILIZED.



**EROSION CONTROL PLAN**

PREPARED FOR:

**BAY STREET APARTMENTS**  
**17-19 BAY STREET - TAX MAP 450 LOT 13-43**  
**LACONIA, NEW HAMPSHIRE**

APPLICANT: LAKES REGION COMMUNITY DEVELOPERS  
 193 COURT STREET  
 LACONIA, NH 03246

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 P.O. BOX 745  
 WINNISQUAM, NH 03289

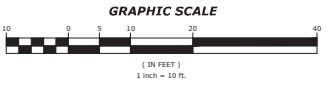
REVISIONS:

NO.	DATE	DESCRIPTION
1	06/20/23	TRC COMMENTS

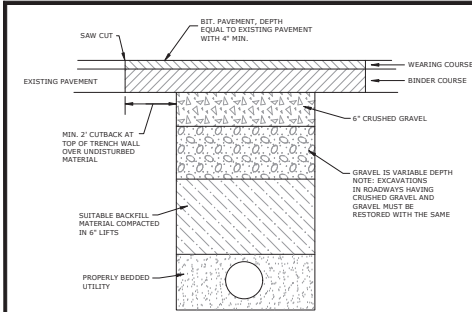
**NORTHPOINT ENGINEERING, LLC**  
 Civil Engineering / Land Planning / Construction Services

119 Storrs St., Ste 201  
 Concord, NH 03301  
 Tel 603-226-1166  
 Fax 603-226-1160  
 www.northpointeng.com

DATE: JUNE 2023  
 PROJ.: 23010  
 SCALE: 1"=10'  
 SHEET: 7 OF 14

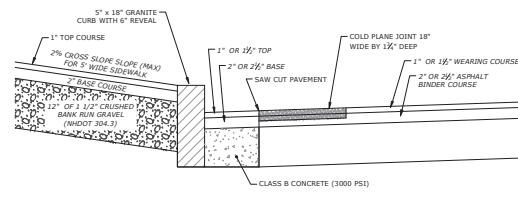


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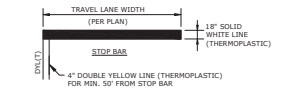
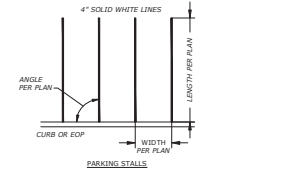
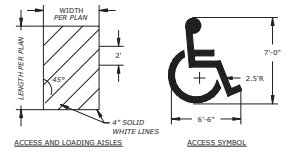
**AN APPROVED METHOD FOR PATCHING A TYPICAL PAVEMENT TRENCH**

1. ALL BACK FILL MATERIAL PLACED IN TRENCHES SHALL BE COMPACTED IN LAYERS NOT EXCEEDING 6" (SIX INCHES) IN COMPACTED THICKNESS AT NEAR OPTIMUM MOISTURE CONTENT USING PNEUMATIC TAMPERS, VIBRATORY COMPACTORS OR OTHER APPROVED MEANS. THE MATERIAL SHALL BE COMPACTED TO NO LESS THAN 95% OF THE AMERICAN SOCIETY OF STATE HIGHWAY OFFICIALS, METHOD OF TEST T99, METHOD C. WATER SHALL BE UNIFORMLY APPLIED DURING COMPACTON IN THE AMOUNT NECESSARY FOR PROPER CONSOLIDATION, BUT PUDDLING WILL NOT BE ALLOWED.
- 1A. WITHIN PAVED AREAS, CLASS A CRUSHED GRAVEL (AS DESCRIBED IN NH STANDARD SPECIFICATIONS), EQUAL TO THE EXISTING GRAVEL COURSE, SHALL BE PLACED IN LAYERS NOT EXCEEDING 7" (SEVEN INCHES) LOOSE DEPTH AND THOROUGHLY COMPACTED. AN APPROVED BITUMINOUS PLANT MIX MATERIAL SHALL BE PLACED AND CAREFULLY GRADED AND ROLLED TO THE ADJACENT PAVEMENT GRADE AS A TEMPORARY PATCH, JUST BEFORE COMPLETION OF THE PROJECT AND AFTER SUITABLE EXPOSURE OF THE TEMPORARY PATCHES TO TRAFFIC. THE PAVEMENT SHALL BE SAWN ON EITHER SIDE OF THE TRENCH TO PROVIDE A TWO FOOT MINIMUM OVERLAP OF THE FINAL PATCH. IN THE CASE OF TRANSVERSE OR DIAGONAL TRENCHING, THE PAVEMENT SHALL BE SAWN TO PROVIDE A FLAT DIAMOND SHAPED PATCH WITH A TWO FOOT MINIMUM OVERLAP ON UNDISTURBED MATERIAL THAT WILL PERMIT ONLY ONE WHEEL OF A VEHICLE AT A TIME TO STRIKE THE PATCH AREA. WITHIN THE SAWN LIMITS OF THE FINAL PATCH, THE EXISTING PAVEMENT AND TEMPORARY PATCH MATERIAL SHALL BE REMOVED AND REPLACED WITH AN EQUAL DEPTH OF TYPE 1 HOT ASPHALTIC CONCRETE, LAYED AND COMPACTED TO MEET THE EXISTING PAVEMENT EDGE EXACTLY. SAW CUTS FOR FINAL PATCHING SHALL BE AS DIRECTED BY THE DISTRICT ENGINEER.
2. SHOULDERS, OTHER THAN PAVED, DISTURBED DURING CONSTRUCTION, SHALL BE RESTORED BY EXCAVATING TO A DEPTH SUFFICIENT TO RECEIVE 3" CRUSHED GRAVEL, WHICH SHALL BE GRADED AND COMPACTED ON A SLOPE OF 5/8" PER FOOT AWAY FROM THE PAVEMENT OR AS ORDERED BY THE DISTRICT ENGINEER.
- 2A. OTHER HIGHWAY SLOPES AND SHOULDERS DISTURBED SHALL BE REPLACED PER THE RESPECTIVE SUBDIVISIONS OF THIS PERMIT OR INSTRUCTIONS ISSUED BY THE DISTRICT ENGINEER.
3. IN OTHER AREAS, THE PRESENT SURFACE TYPE SHALL BE RESTORED BY PLACING SIMILAR MATERIALS INTO THE TRENCH TO A DEPTH EQUAL TO THAT BEFORE EXCAVATION. ANY EXISTING GRASS LAND ADDITIONALLY SHALL BE FERTILIZED AND RESEED. ANY ASPHALT OR CONCRETE SIDEWALKS SHALL HAVE SURFACES OF EQUAL DEPTH, KIND AND QUALITY PLACED.
4. TRAFFIC SHALL BE MAINTAINED, CONTROLLED AND PROTECTED BY SUITABLE WARNING AND / OR CHANNELIZING DEVICES, ADVANCE WARNING SIGNS AND FLAGS DURING THE PERFORMANCE OF THE WORK AS SHOWN ON THE ATTACHED "WARNING AND SIGN PACKAGE". THE CONTRACTOR SHALL MARK ALL HAZARDOUS WITHIN THE LIMITS OF THE PROJECT AND CONNECTING ROADS. THESE DEVICES SHALL BE MOVED, SUPPLEMENTED, CHANGED OR REMOVED THROUGH THE PROGRESS OF THE CONSTRUCTION. UNIFORMED TRAFFIC CONTROL OFFICERS SHALL BE PROVIDED FOR THE PROTECTION OF THE PUBLIC WHENEVER TWO WAY TRAFFIC CANNOT BE MAINTAINED AND/OR AT THE REQUEST OF THE DISTRICT ENGINEER.
5. THIS TYPICAL IS TO BE USED IN CONJUNCTION WITH THE STANDARD TRENCH PERMIT. ALL SAW CUTS FOR THE FINAL PATCH SHALL BE AS DIRECTED BY THE DISTRICT ENGINEER.
6. IN ALL CASES, TRENCH IS TO BE FLUSH WITH EXISTING PAVEMENT AT THE END OF THE WORK DAY.



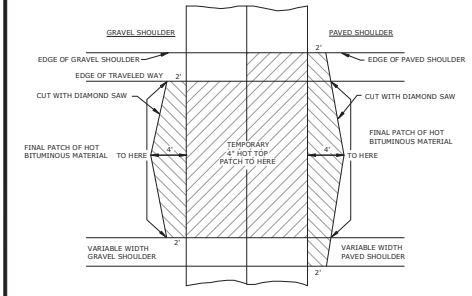
**GRANITE CURB INSTALLATION ON EXISTING ROAD  
CITY OF LACONIA DPW DETAIL D20  
-NOT TO SCALE-**

- NOTES:**
1. TRANSITION FROM LANDING TO ADJACENT SURFACE SHALL BE FLUSH AND FREE OF ABRUPT CHANGES.
  2. ALL SLOPES AND MATERIALS MUST MEET CURRENT AMERICANS WITH DISABILITIES ACT (ADA) CODES.
  3. FLUSH CURB ONLY REQUIRED WITH VERTICAL GRANITE CURBING.

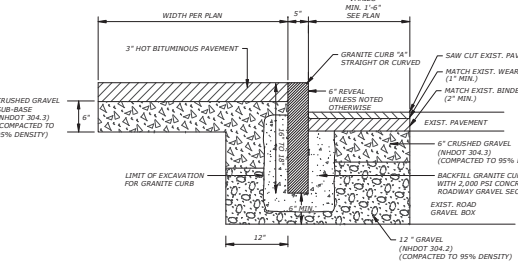


- NOTES:**
1. ALL PAVEMENT AND CURB MARKINGS SHALL CONFORM TO THE MUTCD.

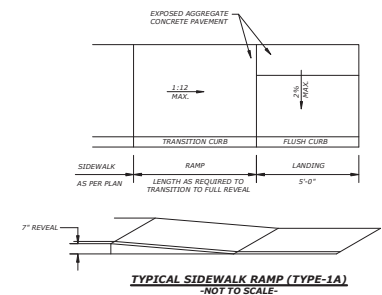
**TYPICAL PAVEMENT MARKINGS DETAIL  
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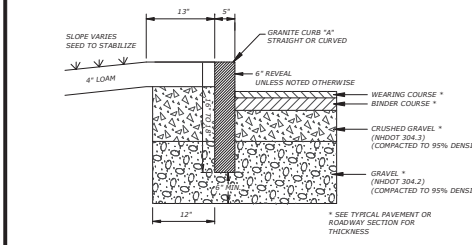
**TYPICAL PERMANENT PAVEMENT REPAIR  
-NOT TO SCALE-**



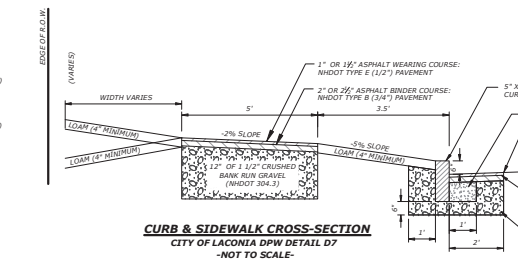
**BITUMINOUS SIDEWALK W/ VERTICAL GRANITE CURB  
-NOT TO SCALE-**



**TYPICAL SIDEWALK RAMP (TYPE-1A)  
-NOT TO SCALE-**



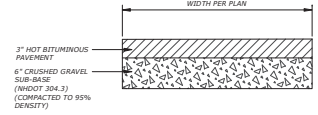
**VERTICAL GRANITE CURB  
-NOT TO SCALE-**



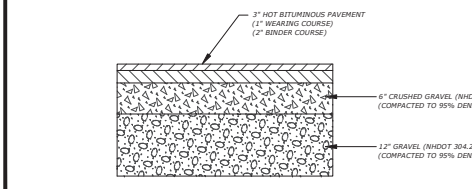
**CURB & SIDEWALK CROSS-SECTION  
CITY OF LACONIA DPW DETAIL D7  
-NOT TO SCALE-**

**PROCEDURES FOR REPAIRS OF TRENCH CUTS ON OLDER CITY ROADS IN GOOD CONDITION  
(6+ YEARS)**

1. PAVEMENT SHALL BE SAW CUT ALONG THE DITCH LINE. ANY UNDERMINED AREAS THAT INADVERTENTLY DEVELOP SHALL HAVE THE PROJECTING PAVEMENT SAW CUT AND REMOVED.
2. TRENCH BACKFILL SHALL BE COMPACTED IN 1 FOOT LIFTS ACCORDING TO CONDITIONS 5-7 OF THE TRENCH/DIGGING PERMIT.
3. A TEMPORARY 3 INCH DEPTH - 1/2" TYPE B HOT BITUMINOUS PATCH SHALL BE LAID PER NH DOT 401 SPECIFICATIONS.
4. THE PATCH SHALL BE ALLOWED TO SETTLE FOR A MINIMUM OF 60 DAYS.
5. AFTER SUITABLE EXPOSURE TO TRAFFIC COMPACTON AS DETERMINED BY THE DIRECTOR OF PUBLIC WORKS, THE PAVEMENT SHALL BE MILED TO A DEPTH OF 1 1/2" PROVIDING A MINIMUM 1 FOOT OVERLAP ONTO EXISTING UNDISTURBED PAVEMENT. THIS SHALL BE DONE IN SUCH A WAY AS TO PROVIDE A DIAMOND SHAPE THAT WILL PERMIT ONLY ONE WHEEL OF A VEHICLE AT A TIME TO STRIKE THE NEW/OLD PAVEMENT TRANSITION EDGE.
6. PAVEMENT JOINT TARE (OR EQUIVALENT) 18 INCHES WIDE SHALL BE PLACED OVER THE TRENCH JOINT. CARE MUST BE TAKEN TO IDENTIFY AND OFFSET THE JOINT BEFORE COLD PLANNING.
7. THE MILED AREA SHALL BE PAVED WITH 1/2" TYPE B HOT BITUMINOUS PAVEMENT MEETING NH DOT 401 PAVEMENT SPECIFICATIONS.



**BITUMINOUS SIDEWALK DETAIL  
-NOT TO SCALE-**



**TYPICAL PAVEMENT SECTION  
-NOT TO SCALE-**

**CONSTRUCTION DETAILS**

PREPARED FOR:  
**BAY STREET APARTMENTS**  
17-19 BAY STREET - TAX MAP 450 LOT 13-43  
LACONIA, NEW HAMPSHIRE

APPLICANT: LAKES REGION COMMUNITY DEVELOPERS  
193 COURT STREET  
LACONIA, NH 03246

OWNER: S & K REHAB A LLC  
P.O. BOX 745  
WINNSQUAM, NH 03289

REVISIONS:

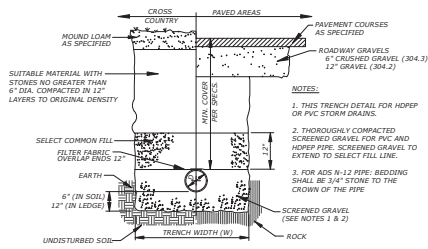
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**NORTHPOINT ENGINEERING, LLC**  
Civil Engineering Land Planning Construction Services

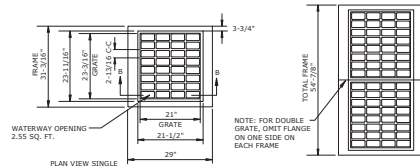
119 Stors St, Ste 201  
Concord, NH 03301  
Tel 603-226-1156  
Fax 603-226-1150  
www.northpointeng.com

DATE: JUNE 2023  
PROJ.: 23010  
SCALE: AS SHOWN  
SHEET: 8 OF 14

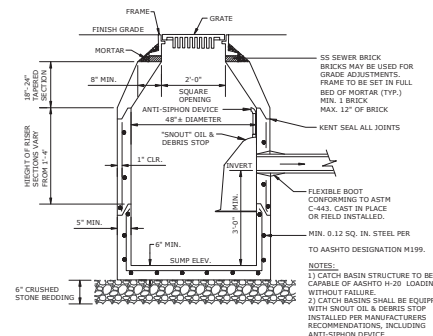
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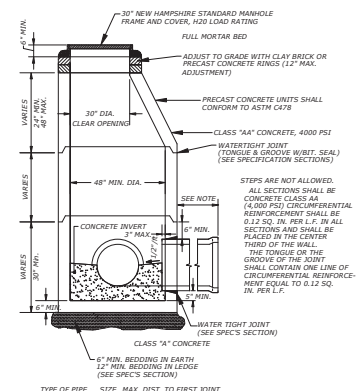
**STORM DRAINAGE TRENCH DETAIL - HDPEP/PVC**  
-NOT TO SCALE-



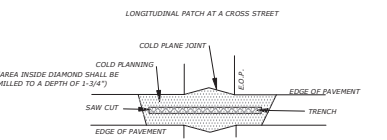
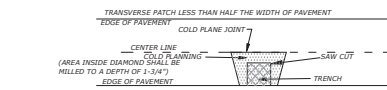
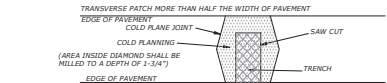
**FRAME AND GRATE - TYPE B**  
-NOT TO SCALE-



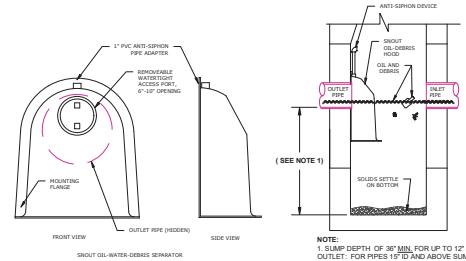
**TYPICAL PRECAST CONCRETE CATCH BASIN WITH SNOOT**  
-NOT TO SCALE-



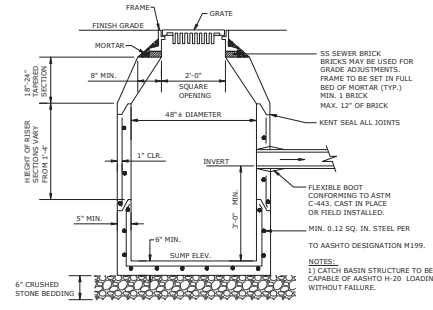
**TYPICAL DRAIN MANHOLE DETAIL**  
-NOT TO SCALE-



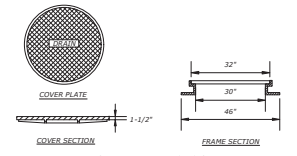
**PAVEMENT RESTORATION DETAIL**  
CITY OF LACONIA DPW DETAIL D-17  
-NOT TO SCALE-



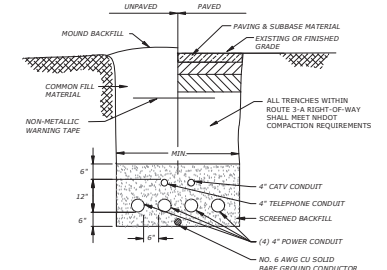
**TYPICAL SNOOT DETAIL**  
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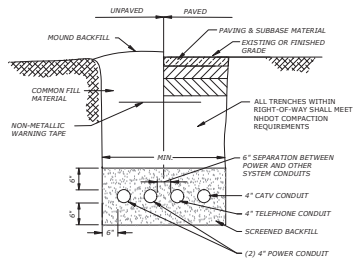
**TYPICAL PRECAST CONCRETE CATCH BASIN**  
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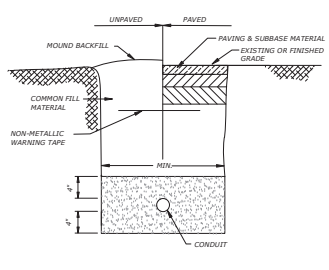
**DRAIN MANHOLE FRAME & COVER DETAIL**  
-NOT TO SCALE-



**PRIMARY CONDUIT TRENCH DETAIL**  
-NOT TO SCALE-



**SECONDARY CONDUIT TRENCH DETAIL**  
-NOT TO SCALE-



**SITE LIGHTING TRENCH SECTION TYP.**  
-NOT TO SCALE-

**CONSTRUCTION DETAILS**

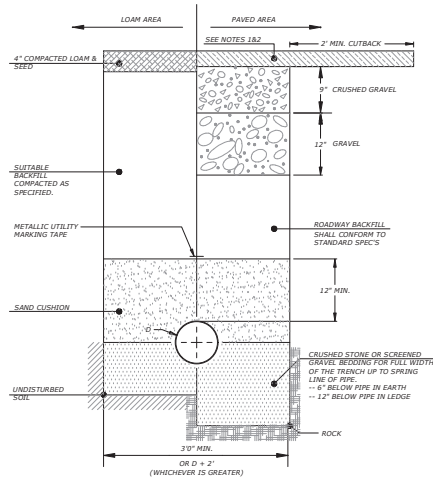
PREPARED FOR:  
**BAY STREET APARTMENTS**  
17-19 BAY STREET - TAX MAP 450 LOT 13-43  
LACONIA, NEW HAMPSHIRE

APPLICANT: LAKES REGION COMMUNITY DEVELOPERS 193 COURT STREET LACONIA, NH 03246	OWNER: S & K RENAS A LLC P.O. BOX 745 WINNSQUAM, NH 03289
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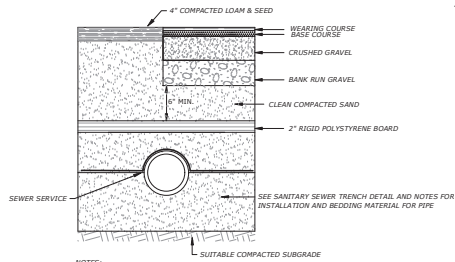
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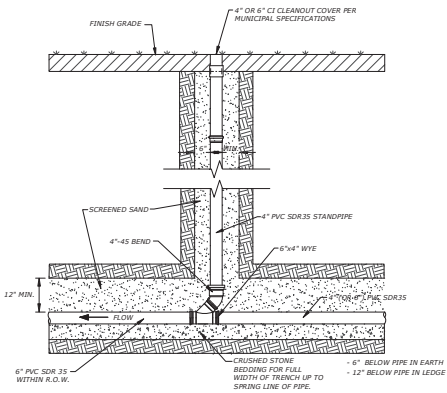


- NOTE:**
1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS. DEPTH FOR BITUMINOUS PAVEMENT, SHALL BE EQUAL TO EXISTING PAVEMENT WITH 3" MIN. (1" WEARING, 2" BASE).
  2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPECIFICATIONS.
  3. IN LIEU OF THE 12" GRAVEL COURSE AND 9" OF CRUSHED GRAVEL, 18" OF CRUSHED GRAVEL OR RECLAIMED STABILIZED BASE MAY BE USED AS A BASE FOR THE PAVEMENT REPAIR.
  4. MATERIAL SHALL BE REPLACED IN KIND WHENEVER POSSIBLE.
  5. A MINIMUM 2" CUTBACK IS REQUIRED AT THE TOP OF THE TRENCH WALL OVER UNDISTURBED MATERIAL.

**TYPICAL SEWER TRENCH DETAIL**  
-NOT TO SCALE-



**SANITARY SEWER SERVICE DETAIL**  
-NOT TO SCALE-

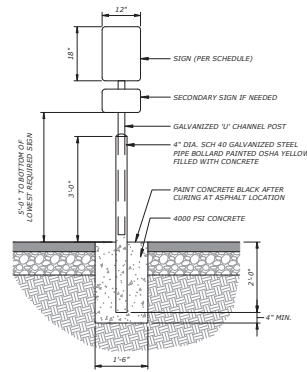


**TYPICAL SEWER CLEANOUT DETAIL**  
NOT TO SCALE



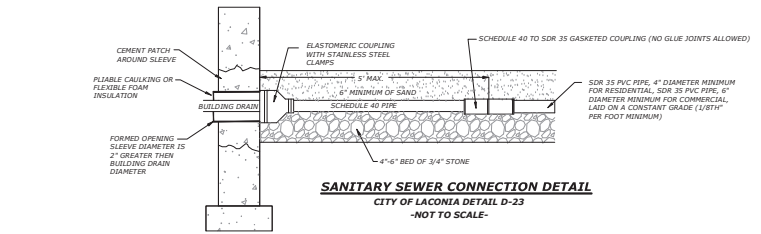
- TRAFFIC SIGNS**
1. ALL TRAFFIC SIGN FACES AND SHAPES SHALL CONFORM WITH THE CURRENT MUTCD.
  2. ALL SIGN POST MOUNTS SHALL CONFORM WITH THE AASHTO AND NHDOT SPECIFICATIONS

**TYPICAL SIGN DETAIL**  
-NOT TO SCALE-

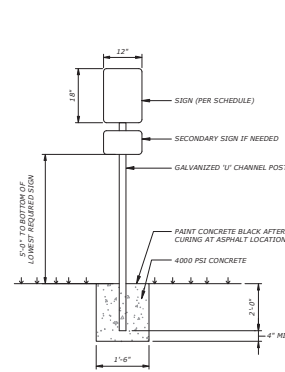


- NOTES:**
1. ONE AT EACH HANDICAP SPACE.
  2. WHERE HANDICAP SPACES FACE EACH OTHER WITHOUT WALKWAY, THERE SHALL BE ONE POST WITH SIGNS MOUNTED BOTH SIDES.

**TYPICAL SIGN POST - IN PAVEMENT**  
-NOT TO SCALE-



**SANITARY SEWER CONNECTION DETAIL**  
CITY OF LACONIA DETAIL D-23  
-NOT TO SCALE-



- NOTES:**
1. ONE AT EACH HANDICAP SPACE.
  2. WHERE HANDICAP SPACES FACE EACH OTHER WITHOUT WALKWAY, THERE SHALL BE ONE POST WITH SIGNS MOUNTED BOTH SIDES.

**TYPICAL SIGN POST - IN SOIL**  
-NOT TO SCALE-

**NOTES:**

1. MINIMUM SIZE PIPE FOR HOUSE SERVICE SHALL BE FOUR INCHES MINIMUM SIZE FOR STREET SEWER LINES SHALL BE 8 INCHES.
2. PIPE AND JOINT MATERIALS
  - A. PVC SEWER PIPE AND FITTINGS USED FOR GRAVITY SYSTEMS SHALL CONFORM TO ASTM D-3034 OR ASTM F4279 (SDR 35 MINIMUM). JOINTS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-3212. TYPE SHALL BE RUSHON, BELL AND SPROUT.
  - PVC PIPE USED FOR SEWER FORCE MAINS SHALL CONFORM TO ASTM D2241 OR D1784. FORCE MAINS SHALL BE DESIGNED TO WITHSTAND HYDROSTATIC PRESSURES OF AT LEAST 2 1/2 TIMES THE DESIGN TOTAL DYNAMIC HEAD.
  - B. PIPE AND JOINT MATERIALS
    1. DUCTILE IRON PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE UNITED STATES OF AMERICA STANDARDS INSTITUTE:
      - A21.50 THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A-536 DUCTILE IRON CASTINGS.
      - A21.51 DUCTILE IRON PIPE, CENTRIFUGAL CAST IN METAL MOLDS OR SAND MOLDS FOR WATER OR OTHER LIQUIDS.
    2. JOINTS SHALL BE OF MECHANICAL TYPE. JOINTS AND GASKETS SHALL CONFORM TO A21.11 RUBBER GASKET JOINTS FOR CAST IRON PRESSURE PIPE FITTINGS.
3. DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.
4. JOINTS SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERIC GASKET FOR WATER TIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER WYE OR AT THE FOUNDATION WALL, APPROPRIATE MANUFACTURED ADAPTERS SHALL BE USED.
5. WHERE WYE IS NOT AVAILABLE IN THE EXISTING STREET SEWER, AN APPROPRIATE CONNECTION SHALL BE MADE, FOLLOWING MANUFACTURERS INSTRUCTIONS USING A BOLTED, CLAMPED, OR EPoxy-CEMENTED SADDLE TAPPED INTO A SMOOTHLY DRILLED OR SWAIN OPENING IN THE SEWER. THE PRACTICE OF BREAKING AN OPENING WITH A SLEDGE HAMMER, STUFFING CLOTH OR OTHER SUCH MATERIAL AROUND THE JOINT, OR APPLYING MORTAR TO HOLD THE CONNECTION, AND ANY OTHER SIMILAR CRUDE PRACTICES OR DEPT OR HASTY IMPROVISATIONS WILL NOT BE PERMITTED. THE CONNECTION SHALL BE CONCRETE ENCASED AS SHOWN IN THE DETAIL.
6. PIPE INSTALLATION: THE PIPE SHALL BE HANDLED, PLACED, AND JOINTED IN ACCORDANCE WITH INSTALLATION GUIDES OF THE APPROPRIATE MANUFACTURER. IT SHALL BE CAREFULLY BEDDED ON A 4 INCH LAYER OF CRUSHED STONE AND/OR GRAVEL AS SPECIFIED IN NOTE 10. BEDDING AND RE-FILL FOR A DEPTH OF 12 INCHES ABOVE THE TOP OF THE PIPE SHALL BE CAREFULLY AND THOROUGHLY TAMPED BY HAND OR WITH THE APPROPRIATE MECHANICAL DEVICES.

7. TESTING: THE COMPLETED HOUSE SEWER SHALL BE SUBJECTED TO A LEAKAGE TEST IN ANY OF THE FOLLOWING MANNERS: (PRIOR TO BACKFILLING)
  - A. AN OBSERVATION TEE SHALL BE INSTALLED AS SHOWN AND, WHEN READY FOR TESTING, AN INFLATABLE BLADDER OR PLUG SHALL BE INSERTED JUST UPSTREAM FROM THE OPENING IN THE TEE. AFTER INFLATION, WATER SHALL BE INTRODUCED INTO THE SYSTEM ABOVE THE PLUG TO A HEIGHT OF 5 FEET ABOVE THE LEVEL OF THE PLUG.
  - B. THE PIPE SHALL BE LEFT EXPOSED AND LIBERALLY HOSED WITH WATER TO SIMULATE, AS NEARLY AS POSSIBLE, WET TRENCH CONDITIONS OR, IF THE TRENCH IS WET, THE GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. INSPECTIONS FOR LEAKS SHALL BE MADE THROUGH THE CLEAN OUT WITH A FLASHLIGHT.
  - C. DRY FLUORESCENCE DYE SHALL BE SPRINKLED INTO THE TRENCH OVER THE PIPE. IF THE TRENCH IS DRY, THE PIPE SHALL BE LIBERALLY HOSED WITH WATER, OR IF THE TRENCH IS WET, GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. OBSERVATION FOR LEAKS SHALL BE MADE IN THE FIRST DOWNSTREAM MANHOLE.
- LEAKAGE OBSERVED IN ANY OF THE ABOVE TESTS SHALL BE CAUSE FOR NON-ACCEPTANCE AND THE PIPE SHALL BE DUG-UP IF NECESSARY AND RE-LAID SO AS TO ASSURE WATER TIGHTNESS.
8. ILLEGAL CONNECTION: NOTHING BUT SANITARY WASTE FLOW FROM TOILETS, SINKS, LAUNDRY ETC. SHALL BE PERMITTED. ROOF LEADERS, FOOTING DRAINS OR SLUMP PUMPS OR ANY OTHER SIMILAR CONNECTION CARRYING RAIN WATER, DRAINAGE, OR GROUND WATER, SHALL NOT BE PERMITTED.
9. WATER SERVICE SHOULD NOT BE LAID IN SAME TRENCH AS SEWER SERVICE, BUT WHEN NECESSARY, SHALL BE PLACED ABOVE AND TO ONE SIDE OF THE SEWER AS SHOWN.
10. LOCATION: THE LOCATION OF THE WYE SHALL BE RECORDED AND FILED IN THE MUNICIPAL RECORDS. IN ADDITION, A FERROUS MATERIAL ROD OR PIPE SHALL BE PLACED OVER THE WYE TO AID IN LOCATING THE BURIED PIPE WITH A COP WEDGE OR PIPEFINDER.
11. CHIMNEYS: NOT PERMITTED
12. UNLESS OTHERWISE NOTED ALL GRANULAR MATERIAL SHALL BE PLACED IN 12" LIFTS AND COMPACTED TO 92% OF THE MODIFIED PROCTOR TEST.

**CONSTRUCTION DETAILS**

PREPARED FOR:

**BAY STREET APARTMENTS**  
17-19 BAY STREET - TAX MAP 450 LOT 13-43  
LACONIA, NEW HAMPSHIRE

APPLICANT: LAKES REGION COMMUNITY DEVELOPERS  
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P.O. BOX 745  
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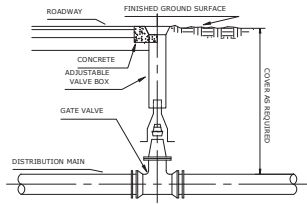
NO.	DATE	DESCRIPTION
1	06/20/23	TRC COMMENTS

SEAL: KEYN LEONARD NO. 10055 LICENSED PROFESSIONAL ENGINEER

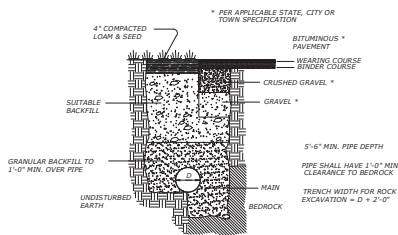
**NORTHPOINT ENGINEERING, LLC**  
Civil Engineering Land Planning Construction Services

119 Storms St, Ste 201  
Concord, NH 03301  
Tel 603-226-1156  
Fax 603-226-1160  
www.northpointeng.com

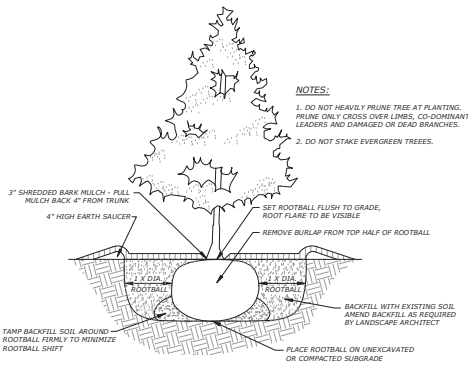
DATE: JUNE 2023  
PROJ.: 23010  
SCALE: AS SHOWN  
SHEET: 10 OF 14



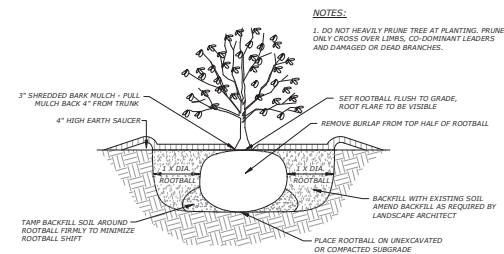
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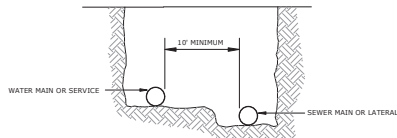
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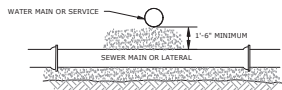
**EVERGREEN TREE PLANTING**  
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**SHRUB PLANTING DETAIL**  
NOT TO SCALE

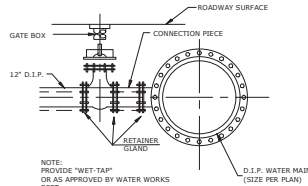


**PARALLEL INSTALLATION**

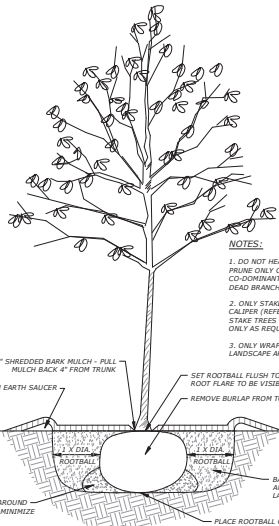


**MAIN CROSSINGS**

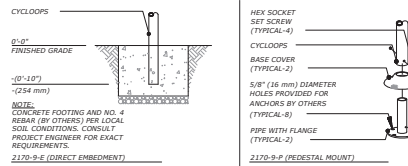
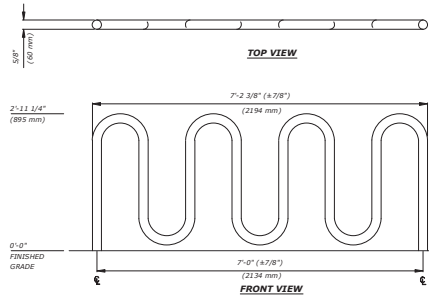
**WATER MAIN/SEWER MAIN SEPARATION**  
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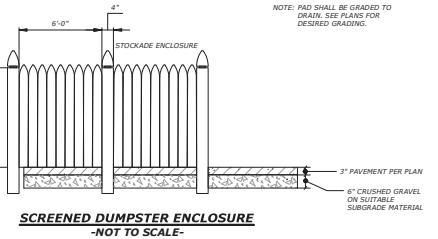
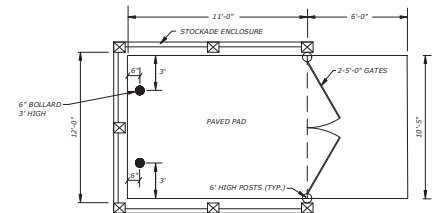
**TYPICAL WATER MAIN CONNECTION**  
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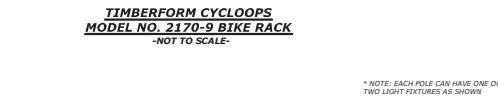
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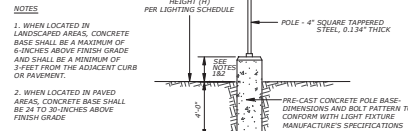
**TIMBERFORM CYCLOOPS**  
**MODEL NO. 2170-9 BIKE RACK**  
NOT TO SCALE



**SCREENED DUMPSTER ENCLOSURE**  
NOT TO SCALE



**POLE-MOUNTED LIGHT FIXTURE**  
NOT TO SCALE



**STONE DRIP EDGE DETAIL**  
NOT TO SCALE

**CONSTRUCTION DETAILS**

PREPARED FOR:

**BAY STREET APARTMENTS**

17-19 BAY STREET - TAX MAP 450 LOT 13-43  
LACONIA, NEW HAMPSHIRE

APPLICANT: LAKES REGION COMMUNITY DEVELOPERS  
193 COURT STREET  
LACONIA, NH 03246

OWNER: S & R REHAS A LLC  
P.O. BOX 745  
WINNISQUAM, NH 03289

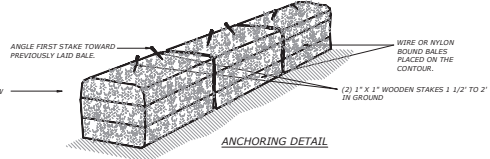


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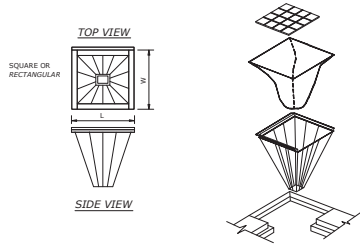
DATE: JUNE 2023  
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**CONSTRUCTION SPECIFICATIONS**

1. BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY BUTTING THE ADJACENT BALES.
2. EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4".
3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY STAKES DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARD PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
4. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
5. BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPIDE STORM FLOW OR DRAINAGE.

**HAY BALE BARRIER**  
-NOT TO SCALE-



**NOTES:**

1. INLET BASKETS SHALL BE USED AS APPLICABLE OR AS DIRECTED.
2. FILTER FABRIC SHALL BE PUSHED DOWN AND FORMED TO THE SHAPE OF THE BASKET. THE SHEET OF FABRIC SHALL BE LARGE ENOUGH TO BE SUPPORTED BY THE BASKET FRAME WHEN HOLDING SEDIMENT AND EXTEND AT LEAST 6 INCHES PAST THE FRAME. THE INLET GRATE SHALL BE PLACED OVER THE BASKET FRAME AND WILL SERVE AS THE FABRIC ANCHOR.
3. THE FILTER FABRIC SHALL BE A GEO-TEXTILE FABRIC: POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE OR POLYVINYLIDENE CHLORIDE MEETING THE FOLLOWING SPECIFICATIONS:  
GRAB STRENGTH: 45 lb. MINIMUM IN ANY PRINCIPAL DIRECTION (ASTM D1682).  
MULLEN BURST STRENGTH: MINIMUM 60 psi (ASTM D774).
4. THE FABRIC SHALL HAVE AN OPENING NO GREATER THAN A NUMBER 20 U.S. STANDARD SIEVE AND MINIMUM PERMEABILITY OF 120 gpm/ft<sup>2</sup>.
5. THE INLET BASKET SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM ENTERING THE DRAINAGE PIPING SYSTEM AND/OR CAUSING SURFACE FLOODING.
6. INLET BASKET SHALL BE MAINTAINED IN PLACE UNTIL ALL MAINTENANCE IS COMPLETED AND ALL UNPAVED AREAS HAVE BEEN STABILIZED WITH VEGETATION.

**INLET FILTER BASKET**  
-NOT TO SCALE-

**SITE PREPARATION**

1. GRAZE AND SHAPE AREA OF INSTALLATION.
2. REMOVE ALL ROCKS, CLOUDS, AND VEGETATIVE OR OTHER OBSTRUCTIONS SO THAT THE INSTALLED BLANKETS OR MATS WILL HAVE DIRECT CONTACT WITH THE SOIL.
3. PREPARE SEEDBED BY LOOSENING 2-3 INCHES OF TOPSOIL ABOVE FINAL GRADE, AND INCORPORATE AMENDMENTS, SUCH AS LIME AND FERTILIZER, INTO SOIL ACCORDING TO SOIL TEST AND THE SEEDING PLAN.
4. SEED AREA BEFORE BLANKET INSTALLATION FOR EROSION CONTROL AND RE-VEGETATION. SEEDING LETTER MAT INSTALLATION IS OFTEN SPECIFIED FOR TURF REINFORCEMENT APPLICATION.

**ANCHORING**

1. WHEN APPLICABLE, ANCHORING SHOULD BE DONE PER MANUFACTURER'S RECOMMENDATION.
2. U-SHAPED WIRE STAPLES, METAL GEOTEXTILE STAKE PINS, OR TRIANGULAR WOODEN STAKES CAN BE USED TO ANCHOR MATS TO THE GROUND SURFACE. WIRE STAPLES SHOULD BE A MINIMUM OF 11 INCHES LONG. WIRE STAPLES SHOULD BE 3/16-INCH DIAMETER STEEL WITH A 1/8-INCH STEEL WASHER AT THE HEAD OF THE PIN. WIRE STAPLES AND METAL STAPLES SHOULD BE DRIVEN FLUSH TO THE SOIL SURFACE. ALL ANCHORS SHOULD BE 6 INCHES LONG AND HAVE SUFFICIENT GROUND PENETRATION TO RESIST PULLOUT. LONGER ANCHORS MAY BE REQUIRED FOR LOOSE SOILS.

**INSTALLATION ON SLOPES**

1. BEGIN AT THE TOP OF THE SLOPE AND ANCHOR ITS BLANKET IN A 6-INCH DEEP X 6-INCH WIDE TRENCH. BACKFILL TRENCH AND TAMP EARTH FIRMLY.
2. UNROLL BLANKET DOWN SLOPE IN THE DIRECTION OF THE WATER FLOW. THE EDGES OF ADJACENT PARALLEL ROLLS MUST BE OVERLAPPED 4 INCHES AND BE STAPLED EVERY 3 FEET.
3. WHEN BLANKETS MUST BE SPLICED, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH 6-INCH OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12 INCHES APART.
4. LAY BLANKETS LOOSELY AND MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
5. BLANKETS SHALL BE STAPLED SUFFICIENTLY TO ANCHOR BLANKET AND MAINTAIN CONTACT WITH THE SOIL. STAPLES SHALL BE PLACED DOWN THE CENTER AND STAGGERED WITH THE STAPLES PLACED ALONG THE EDGES. STEEP SLOPES (1:1 TO 2:1) REQUIRE 2 STAPLES PER SQUARE YARD. MODERATE SLOPES (2:1 TO 3:1) REQUIRE 1-2 STAPLES PER SQUARE YARD (1 STAPLE 3' O/C). GENTLE SLOPES REQUIRE 1 STAPLE PER SQUARE YARD.

**INSTALLATION IN CHANNELS**

1. USE INITIAL ANCHOR TRENCH 12 INCHES DEEP AND 6 INCHES WIDE ACROSS THE CHANNEL AT THE END OF THE PROJECT AREA.
2. EXCAVATE INTERMITTENT CHECK SLOTS, 6 INCHES DEEP AND 6 INCHES WIDE ACROSS THE CHANNEL AT 25-30 FOOT INTERVALS ALONG THE CHANNEL.
3. CUT LONGITUDINAL CHANNEL ANCHOR SLOTS 4 INCHES DEEP AND 4 INCHES WIDE ALONG EACH SIDE OF THE INSTALLATION TO PERMIT CHECKS OF MATTING. WHENEVER POSSIBLE EXTEND MATTING 2-3 INCHES ABOVE THE CREST OF CHANNEL SIDE SLOPES.
4. BEGINNING AT THE DOWNSTREAM END AND IN THE CENTER OF THE CHANNEL, PLACE THE INITIAL END OF THE FIRST ROLL IN THE ANCHOR TRENCH AND SECURE WITH FASTENING DEVICES AT 1-FOOT INTERVALS. NOTES: MATTING WILL INITIALLY BE UPSIDE DOWN IN ANCHOR TRENCH.
5. IN THE SAME MANNER, POSITION ADJACENT ROLLS IN ANCHOR TRENCH, OVERLAPPING THE PRECEDING ROLL A MINIMUM OF 6 INCHES. SECURE THESE ENDS OF MATS WITH ANCHORS AT 1-FOOT INTERVALS, BACKFILL AND COMPACT SOIL.
6. UNROLL CENTER STRIP OF MATTING UPSTREAM. STOP AT NEXT CHECK SLOT OR TERMINAL ANCHOR TRENCH. UNROLL ADJACENT MATS UPSTREAM IN SIMILAR FASHION, MAINTAINING A 3-INCH OVERLAP.
7. FOLD AND SECURE ALL ROLLS OF MATTING SNUGLY INTO ALL TRANSVERSE CHECK SLOTS. LAY MAT IN THE BOTTOM OF THE SLOT THEN TOLL BACK AGAINST STEEL. ANCHOR THROUGH BOTH LAYERS OF MAT AT 12-INCH INTERVALS, THEN BACKFILL AND COMPACT SOIL. CONTINUE ROLLING ALL MAT WIDTHS UPSTREAM TO THE NEXT CHECK SLOT OR TERMINAL ANCHOR TRENCH.

**INSPECTION AND MAINTENANCE**

1. ALL BLANKET AND MATS SHOULD BE INSPECTED PERIODICALLY FOLLOWING INSTALLATION.
2. INSPECT INSTALLATION AFTER SIGNIFICANT RAINSTORMS TO CHECK FOR EROSION AND UNDERMINING. ANY FAILURE SHOULD BE REPAIRED IMMEDIATELY.
3. IF WASHOUT OR BREAKAGE OCCURS, RE-INSTALL THE MATERIAL AFTER REPAIRING THE DAMAGE TO THE SLOPE OR DRAINAGE WAY.

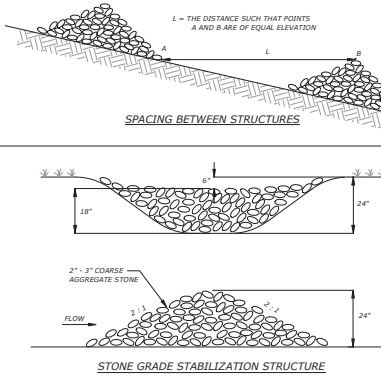
**CONSTRUCTION SPECIFICATIONS**

1. CHECK DAMS SHOULD BE INSTALLED BEFORE RUNOFF IS DIRECTED TO THE SWALE OR DITCH.
2. CAREFUL PLACEMENT WILL BE NECESSARY TO ACHIEVE COMPLETE COVERAGE OF THE DITCH OR SWALE AND TO ENSURE THAT THE CENTER OF THE STRUCTURE IS LOWER THAN THE EDGES.
3. THE MAXIMUM HEIGHT OF THE STRUCTURE SHOULD BE 2 FEET AND THE CENTER OF THE STRUCTURE SHOULD BE AT LEAST 6 INCHES LOWER THAN THE OUTER EDGES.
4. THE MAXIMUM SPACING BETWEEN THE STRUCTURES SHOULD BE SUCH THAT THE TOE OF THE UPSTREAM STRUCTURE IS AT THE SAME ELEVATION AS THE TOP OF DOWNSTREAM STRUCTURE.
5. STRUCTURES SHALL BE REMOVED FROM THE CHANNEL WHEN THEIR USEFUL LIFE HAS EXPIRED.

**MAINTENANCE & INSPECTION**

1. CHECK DAMS SHOULD BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED STORMS, AND ANY NECESSARY REPAIRS SHOULD BE MADE IMMEDIATELY.
2. PARTICULAR ATTENTION SHOULD BE GIVEN TO EROSION AND FLOODING AT THE DOWNSTREAM TOE OF THE STRUCTURE, AND TO ENSURE THAT THE CENTER OF THE DAM IS LOWER THAN THE EDGES.
3. SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURES WHEN IT HAS ACCUMULATED TO ONE HALF OF THE ORIGINAL HEIGHT OF THE STRUCTURE.
4. WHEN THE STRUCTURES ARE REMOVED, THE DISTURBED PORTION SHOULD BE BROUGHT TO THE EXISTING CHANNEL GRADE AND THE AREAS PREPARED, SEEDING, AND MULCHED IMMEDIATELY.

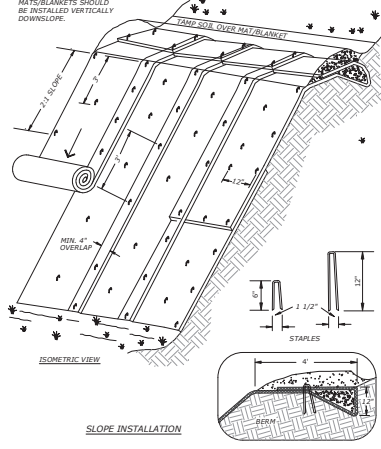
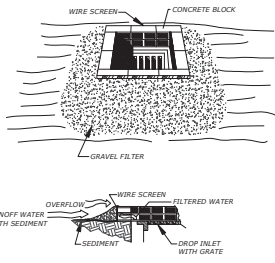
**STONE CHECK DAM**  
-NOT TO SCALE-



**NOTES:**

1. CONCRETE BLOCKS SHOULD BE PLACED LENGTHWISE ON THEIR SIDES IN A SINGLE ROW AROUND THE PERIMETER OF THE INLET. THE ENDS OF EACH BLOCK SHOULD BE BUTTING. THE HEIGHT OF THE BARRIER CAN BE VARIED DEPENDING ON THE DESIGN BY STACKING VARIOUS COMBINATIONS OF DIFFERENT SIZED BLOCKS. THE BARRIER SHOULD BE A MINIMUM OF 12-INCHES HIGH AND A MAXIMUM OF 24 INCHES HIGH.
2. HARDWARE CLOTH OR WIRE MESH SHOULD BE PLACED OVER OPENINGS OF THE CONCRETE BLOCKS AND EXTENDED AT LEAST 12-INCHES AROUND THE OPENINGS TO PREVENT AGGREGATE FROM BEING TRANSPORTED THROUGH THE OPENINGS IN THE BLOCK.
3. 3/4\"/>

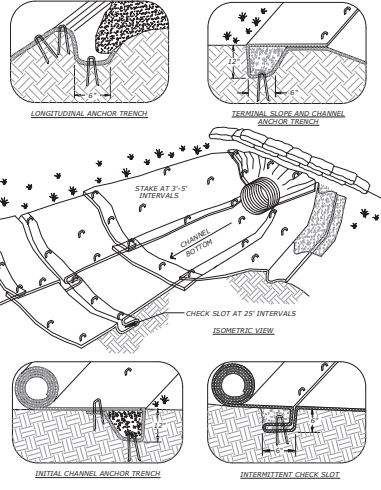
**BLOCK & GRAVEL DROP INLET SEDIMENT FILTER**  
-NOT TO SCALE-



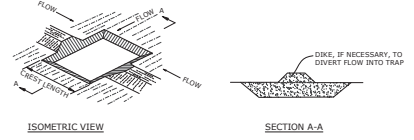
**SPECIFICATION**

ALL TEMPORARY EROSION CONTROL MATS/BLANKETS USED ON THIS SITE SHALL BE CURLEE RIF FREE EROSION CONTROL BLANKETS MANUFACTURED BY AMERICAN EXCESSIDER COMPANY, OR APPROVED EQUAL. WELDED PLASTIC OR IRREDUCIBLE PLASTIC NETTING OR THREAD IN MATTING IS SPECIFICALLY NOT ALLOWED ON THIS SITE.

**EROSION CONTROL MATS**  
-NOT TO SCALE-



**CHANNEL INSTALLATION**



**NOTES:**

1. THE SEDIMENT TRAP SHALL BE INSTALLED AS CLOSE TO THE DISTURBED AREA OR SOURCE SEDIMENT AS POSSIBLE.
2. THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE TRAP SHALL BE LESS THAN 3 ACRES.
3. THE MINIMUM VOLUME OF THE TRAP SHALL BE 3,000-CF OF STORAGE FOR EACH ACRE OF DRAINAGE.
4. THE SIDE SLOPES OF THE TRAP SHALL BE 3:1 OR FLATTER AND SHALL BE STABILIZED IMMEDIATELY AFTER THEIR CONSTRUCTION.
5. THE OUTLET OF THE TRAP SHALL BE A MINIMUM OF ONE FOOT BELOW THE CREST OF THE TRAP AND SHALL DISCHARGE TO A STABILIZED AREA.
6. THE TRAP SHALL BE CLEANED WHEN 50% OF THE ORIGINAL VOLUME IS FILLED.
7. THE MATERIALS REMOVED FROM THE TRAP SHALL BE PROPERLY DISPOSED OF AND STABILIZED.
8. THE TRAP SHOULD BE CHECKED PERIODICALLY AND AFTER EVERY MAJOR STORM TO INSURE THAT IT IS WORKING PROPERLY AND IS NOT DAMAGED. DAMAGE TO THE TRAP SHOULD BE REPAIRED IMMEDIATELY.
9. WHEN THE DRAINAGE AREA FLOWING INTO THE BASIN HAS BEEN FULLY STABILIZED, THE SEDIMENT TRAP SHOULD BE REMOVED AND THE AREA REGRADED USING APPROPRIATE MEASURES WITHIN 72 HOURS OF THE REMOVAL OF THE BASIN.

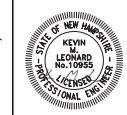
**EXCAVATED EARTH OUTLET SEDIMENT TRAP**  
-NOT TO SCALE-

**CONSTRUCTION DETAILS**

PREPARED FOR:  
**BAY STREET APARTMENTS**  
17-19 BAY STREET - TAX MAP 450 LOT 13-43  
LACONIA, NEW HAMPSHIRE

APPLICANT: LAKES REGION COMMUNITY DEVELOPERS  
193 COURT STREET  
LACONIA, NH 03246

OWNER: S & K REHAB A L.L.C.  
P.O. BOX 745  
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