

Arrington

CODE OF DEVELOPMENT





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DESCRIPTION OF THE PROJECT

Arrington is a development that organizes the design of homes, public spaces and environmental areas in a manner that complements and respects the traditional time-honored planning models of Warrenton and Fauquier County. Arrington embraces Traditional Neighborhood Design (TND) in a way that exemplifies the goals and objectives of the Planned Residential Development zoning district. Arrington is designed as a small, eclectic neighborhood that features the very best aspects of neo-traditional planning with an appreciation for the qualities that best represent Warrenton and Fauquier County. The community reflects the aesthetic form and warmth of older, established residential areas of Warrenton. Arrington comprises a combination of residential blocks, small pocket parks and internal open spaces served by a system of interconnected streets, sidewalks and trails. Arrington is envisioned and designed as a walkable community. The residences will be varied in architecture, size, character and type and will be located within walking distance of schools, shopping, recreation and services provided along the edge of town.

Each block will have a mix of lot sizes, yards, building heights and architectural styles that reflects the Warrenton community's planning goals and objectives.



ARRINGTON FARM POND



ARRINGTON LOCATION MAP

Arrington consists of two-hundred seventeen (217) residential lots under the Base Zoning plan. The base density at Arrington is 0.93 dwelling units per acre. Two alternative development plans are proposed which depend on the availability of public water and sewer service and the availability of off-site right-of-way for Alwington Boulevard.

Development Alternative A consists of three hundred and fifteen (315) residential lots with a density of 1.35 dwelling units per acre. This alternative is subject to the availability of public water and sewer service.

Development Alternative B consists of three hundred and seventy-seven (377) residential lots, of which 62 are to be affordable housing units. Proposed density of this plan is 1.61 dwelling units per acre. This alternative is subject to annexation into the Town of Warrenton, the availability of public water and sewer service, as well as availability of off-site right-of-way for Alwington Boulevard.

Arrington contains a traditional, substantially rectilinear pattern of blocks and interconnecting streets and alleys that are oriented to the pedestrian rather than the automobile. Informal Parking is provided on both sides of public streets creating a streetscape consistent with the character of Warrenton. Single-family houses have garage access via alleys in certain blocks. Where residential units are front loaded with driveway access to the public street, the architectural standards require the garage to be set back from the front of the house or be located in the rear of the lot, ensuring that the garages are not a prominent feature of the streetscape. Street trees are required on both sides of public streets at a density of one tree per each 40 feet of block frontage with spacing to be adjusted based on site design constraints. In addition, the same species must be located on both sides of each street, although a different complimentary species is allowed at intersections.

Located throughout Arrington are various public spaces including large parks, pocket parks and other open spaces. They are interconnected by sidewalks and are easily accessible to the public. These spaces contain passive recreation uses. Many of the natural and environmentally sensitive areas such as wetlands have been preserved and protected. The key open space areas and their amenities are further defined in Part II.

Arrington requires a variety of lot sizes, shapes, setbacks and widths. Additionally, variety in architectural style is also required, as is variation in roof lines. Houses are required to greet the public domain with varying front setbacks which are a minimum of 25 feet from the lot line to the house (porches may encroach into the setback). Specific architectural standards and lot layout diagrams for each housing type are located in Part III the Code of Development, guaranteeing that Arrington will be a traditional neighborhood development that contains the variety inherent in neo-traditional towns and communities.





ARRINGTON ILLUSTRATIVE PLAN - BASE ZONING

ILLUSTRATIVE PLAN

The Base Zoning Development Plan consists of two-hundred seventeen (217) residential lots with a density of 0.93 dwelling units per acre. This is the same number of units that was approved under the original Arrington rezoning in 2015.



ARRINGTON ILLUSTRATIVE PLAN (ALTERNATIVE A)

The Alternative A Development Plan consists of three hundred and fifteen (315) residential lots with a density of 1.35 dwelling units per acre. This alternative is subject to the availability of Town public water and sewer service. With town sewer, there is no need for the discharge dispersal area located south of Turkey Run. The increase in developable ground allows for 71 single-family detached units with an inn and restaurant in this location. An additional 27 townhomes are proposed along Alwington Boulevard, located near Brumfield Elementary School and not far from Taylor Middle School.



ARRINGTON ILLUSTRATIVE PLAN (ALTERNATIVE B)

The Alternative B Development Plan consists of three hundred and seventy-seven (377) residential lots of which 62 are to be affordable housing units, with a density of 1.61 dwelling units per acre. This alternative is subject to annexation into the Town of Warrenton, the availability of Town public water and sewer service, as well as availability of off-site right-of-way for extension of Alwington Boulevard. The additional 62 townhomes are proposed at the northernmost portion of the site, located near Brumfield Elementary School and not far from Taylor Middle School.

PROCESS

In accordance with these Building and Lot Requirements (the “BLRs”) for the development of the Arrington community, all new construction shall conform to the building and lot requirements, and design and construction operation requirements, set forth below. The requirements set forth herein cover a broad scope of design elements including, but not limited to, lot layout of building and accessory structures (including garages and driveways), architectural design elements and requirements, as well as fencing, lighting and landscaping design and installation. The intention of these regulations is to ensure a consistent level of high quality design throughout the community.

All house grading and landscape plans, as well as the architectural design and details of each home to be constructed within the Arrington community, shall be submitted by the builder (“Builder”) and approved by the Arrington Conservancy Architectural Review Committee (“ARC”) before construction commences. ARC approval does not relieve the applicant of the responsibility of obtaining all other necessary approvals and permits required by Town of Warrenton, Fauquier County, the Commonwealth of Virginia, and/or other governmental agencies having jurisdiction over the construction of the same.

INITIAL ARCHITECTURAL REVIEW COMMITTEE:

MEMBERSHIP

The role of the ARC is the review and approval of use, site planning, appearance, architectural design, and aesthetics of lots and homes in the Arrington community.

The ARC shall consist of three members, two of whom shall be appointed by the Declarant, and the third of whom shall be appointed by the applicable

jurisdiction at its discretion. The ARC will select an architect to advise it as to conformance of applications with these BLRs. The Architect shall be licensed to practice architecture in the Commonwealth of Virginia, shall possess a minimum of ten years of experience in working with Architectural Review Boards for historic districts, and traditional neighborhood design developments, and shall have completed previous projects that incorporate historical and/or agrarian community architectural styles found in Warrenton, Fauquier County and the broader Virginia Piedmont. Each of the three members shall have an equal vote.

Following completion of construction (defined herein as the issuance of the final certificate of occupancy of the first home constructed on 95% of the residential lots subject to these BLRs), and/or in the event the jurisdiction surrenders in writing its right to select a member of the ARC, whichever first occurs, the Declarant shall thereafter appoint all three members of the ARC.

NON-LIABILITY

Neither the ARC nor its members, their successors, agents, consultants, representatives, employees, or attorneys, shall be liable for damages, or other relief of any kind whatsoever, to anyone submitting plans to it for approval, or to any applicant, by reason of mistake in judgment, negligence arising out of any action of the ARC with respect to any submission, for failure to follow these BLRs, or for the performance or non-performance of any duty or responsibility assigned hereunder.

ACCURACY OF INFORMATION

Any person submitting plans to the ARC shall be responsible for verification and accuracy of all components of such submission, including, without limitation, all site dimensions, grades, elevations, utility locations, and other pertinent features of the site or plans.

REGULATORY COMPLIANCE

It is the responsibility of any Builder to obtain all necessary permits and ensure compliance with all applicable governmental regulations and other requirements. Plans submitted for ARC review shall comply with all applicable building codes, zoning regulations, and the requirements of all governmental entities having jurisdiction over the building project or the property. Regulatory approvals do not preclude or supersede the authority and responsibility of the ARC, which is independent of any other agency or entity with jurisdiction and which is established by the BLRs. It is not the responsibility or function of the ARC to review submissions for compliance with applicable governmental regulations and it will decline to do so.

NEW CONSTRUCTION APPROVAL PROCEDURES

Builders constructing new homes, or any commonly owned community facilities, shall submit plans therefor for review and approval by the ARC.

- Applications for plan approval: A submittal package (referred to herein as the “Application”) shall include two copies of house plot plans including, among other things, driveway layout with lot grading, and landscaping plans (including detailed plant lists), architectural floor plans and elevations, material samples, color palette samples, light fixtures (diagram or photograph), and details of any proposed decking or fencing. The ARC may request additional materials that it deems necessary to complete a proper review of any building or other plans required hereby.
- ARC Review and Approval: The ARC will review the submission within fourteen (14) calendar days of receipt of a complete Application. The Applicant will within that time receive written approval (that may include conditions thereon), or written disapproval stating the bases for disapproval. Approval by the ARC does not relieve

the applicant of the responsibility of obtaining all other necessary approvals and permits required by the Town of Warrenton, Fauquier County, the Commonwealth of Virginia, and/or any other agency having jurisdiction over the project.

Notification of the ARC’s final approval constitutes a binding agreement and commitment between the Builder and the ARC, and deviation from approved plans is prohibited without formal modification thereof pursuant to the procedures established herein.

The Committee’s action on any Application shall be in its sole discretion and shall be final and unappealable.

SUBMISSION OF A CODE OF DEVELOPMENT SITE PLAN:

The County’s process under the PRD zoning for the submission of a Code of Development Site Plan shall be followed, including the submission of additional information as necessary to determine compliance with this Code of Development. A Code of Development Site Plan shall be submitted for administrative approval by the Zoning Administrator, with input from the Community Architect (defined below). A Code of Development Site Plan may include any combination of grading, infrastructure, lots or buildings for any portion of the development subject to phasing and proffers, provided it is consistent with the approved Concept Development Plan (CDP) referenced in this Code of Development.

COMMUNITY ARCHITECT:

The role and purpose of the Community Architect is to advise the Zoning Administrator on matters of design compliance with this Code of Development. This Code of Development will be administered by the Zoning Administrator, taking into account (but not necessarily being bound by) the advice of the Community Architect. The Community Architect will be retained by the jurisdiction and paid by the said jurisdiction from fees charged to the developer/applicant. The selection of the Community Architect will be a mutual decision requiring approval by both the jurisdiction and developer/applicant. The Community Architect shall preferably be licensed to practice architecture in the Commonwealth of Virginia, and shall preferably possess a minimum of ten years of experience in working with Architectural Review Boards for historic districts, and traditional neighborhood design developments, and shall preferably have completed previous projects that incorporate historical and/or agrarian community architectural styles found in Warrenton, Fauquier County and the broader Virginia Piedmont.

SUBMISSION OF BUILDING/ZONING PERMITS FOR INDIVIDUAL HOUSES OR OTHER STRUCTURES:

The established process for Building/Zoning Permits shall be followed, except that:

- A review by the Community Architect for compliance with the Code of Development shall occur. This requires the submission of architectural elevations and other details sufficient to determine compliance with the Code of Development, including compliance with the stylistic standards and variations set forth in Appendix A. The Community Architect’s review shall be completed prior to submittal for zoning review for Zoning/

Building Permits. A copy of the Community Architect’s approval letter shall be submitted with the building plans. Compliance with the Code of Development shall be required for issuance of a Zoning or Building Permit. Every structure, including all sheds (even those less than 150 square feet) and residential fences shall require a zoning permit.

DEVIATIONS FROM THE CODE OF DEVELOPMENT:

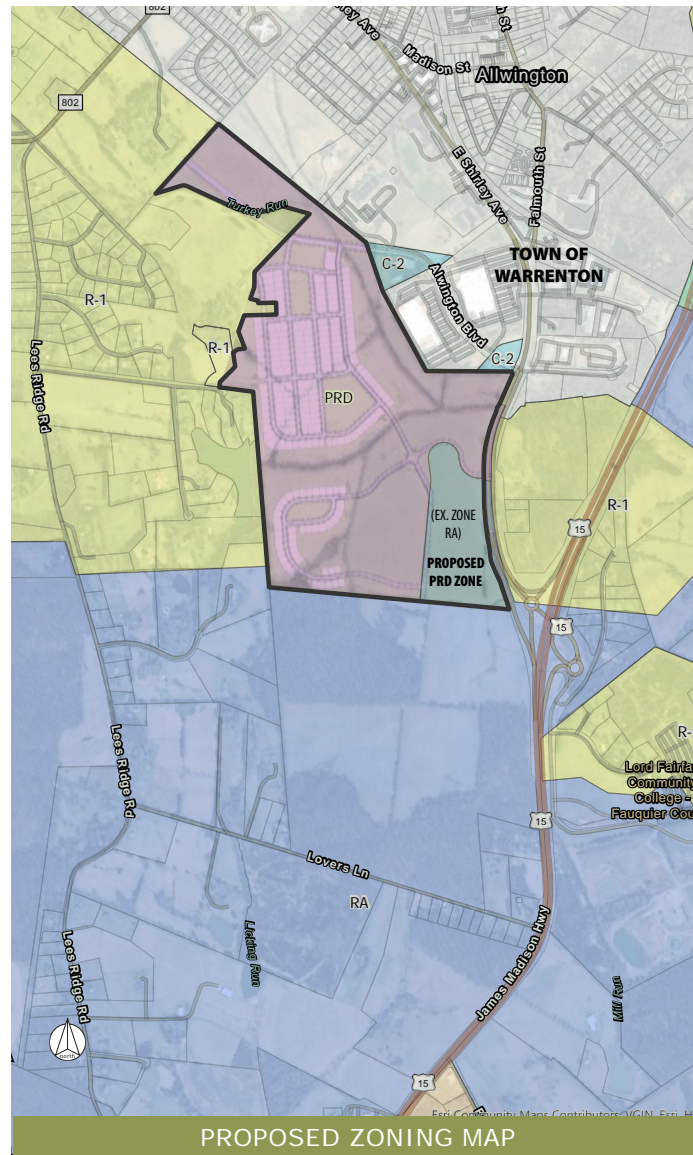
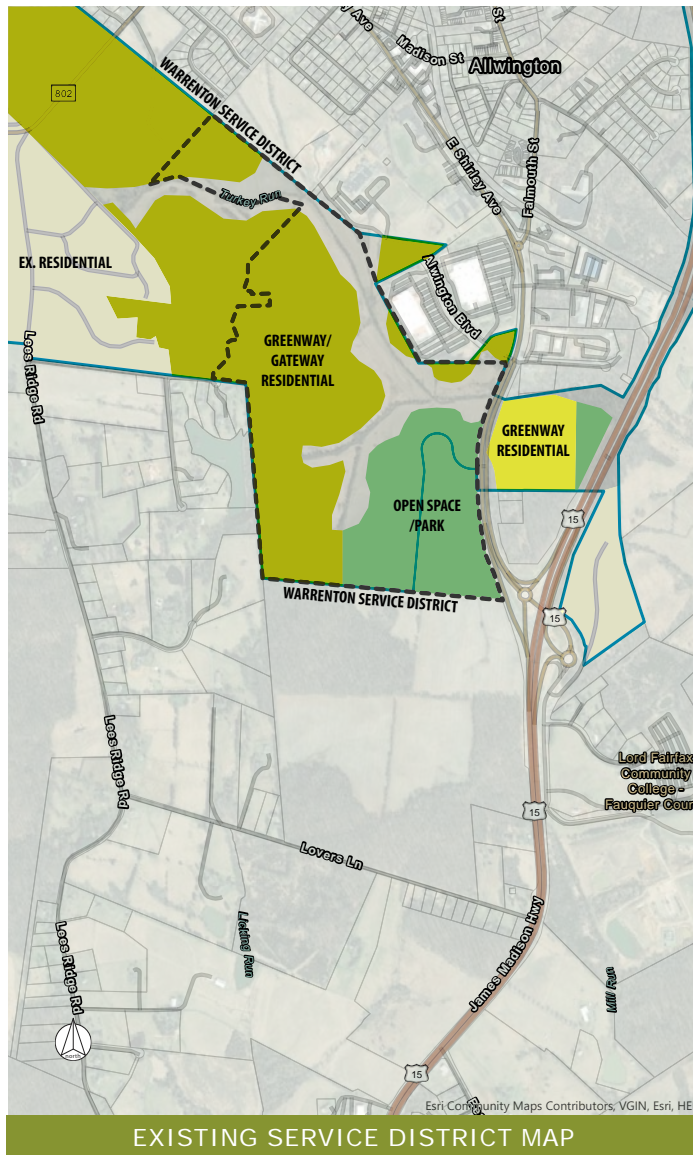
The developer/applicant shall comply with the provisions of this Code of Development, provided that the Zoning Administrator shall have the authority and discretion to approve certain deviations from the requirements within the parameters specifically set forth in this Code. Deviations beyond those authorized by the language of this Code or the Proffer Statement shall be considered an amendment to the Arrington rezoning and shall require a rezoning and/or proffer amendment application, as determined by the jurisdiction.

APPEALS:

An appeal of any Zoning Administrator decision related to the interpretation of this Code of Development shall be made to the governing authority, following the established procedures for appeals of proffer interpretations.

DEVIATIONS IN PROCESS:

Should the jurisdiction amend the Zoning or Building Permit approval process or the approval authority, Arrington shall be required to follow that amended process.



LAND USE

The Arrington development program include residential uses consisting of single family dwelling units with varying lot frontages in a village design. Approximately 27 acres within the service district has recently change land use designation from "Open Space or Park" use to "Greenway/Gateway Residential" use as designated on the Warrenton Service District Map. This will allow for proposed residential uses east of the floodplain as shown on the Proposed Service District Map to the left.

PROPOSED DEVELOPMENT PROGRAM (BASE ZONING)		
SFD REAR LOAD UNITS	234.1 AC.	33 UNITS (MIN.)
SFD FRONT LOAD UNITS		184 UNITS (MAX.)
TOTALS PROPOSED	234.1 AC.	217 UNITS (MAX.)

PROPOSED DEVELOPMENT PROGRAM (ALTERNATIVE A)		
SFD REAR LOAD UNITS	234.1 AC.	61 UNITS (MIN.)
SFD FRONT LOAD UNITS		227 UNITS (MAX.)
SFA REAR LOAD UNITS		27 UNITS (MIN.)
TOTALS PROPOSED	234.1 AC.	315 UNITS (MAX.)

PROPOSED DEVELOPMENT PROGRAM (ALTERNATIVE B)		
SFD REAR LOAD UNITS	234.1 AC.	61 UNITS (MIN.)
SFD FRONT LOAD UNITS		227 UNITS (MAX.)
SFA REAR LOAD UNITS		89 UNITS (MIN.)
TOTALS PROPOSED	234.1 AC.	377 UNITS (MAX.)

PERMITTED USES:PRINCIPAL USES PERMITTED (PER ZO 4-103)

- A. Detached, single family dwellings
- B. Attached, single family dwellings including duplex, townhouses, atrium houses, and patio houses
- C. Multi-family dwellings
- D. Live-work dwellings
- E. Urban cottages, if accessory to a detached, single family dwelling

SECONDARY USES PERMITTED (PER ZO 4-104)

- A. Parks, playgrounds, community centers and non-commercial recreational and cultural facilities such as tennis courts, swimming pools, game rooms, libraries and related facilities.
- B. Electric, gas, water, sewer, and communication facilities, including transformers, pipes, meters, pump stations and related facilities for distribution of local service.
- C. Intentionally Deleted
- D. Accessory uses and structures including home occupations, storage buildings, and efficiency apartments.
- E. Temporary buildings, the uses of which are incidental to construction during development being conducted on the same or adjoining tract or section which shall be removed upon completion or abandonment of such construction.
- F - H. Intentionally Deleted
- I. Eating establishments
- J. Drug stores
- K - R. Intentionally Deleted
- S. Farmer's market
- T. Intentionally Deleted
- U. Commercial/Office uses collocated with residential dwelling units

- V. Bed and breakfast, inn

GENERAL USE LIMITATIONS:

Unless otherwise specified under a specific provision of this Code of Development, all uses shall conform to the following use limitations and performance standards of the Fauquier County Zoning Ordinance:

1. Section 2-502: Limitations on the Occupancy of a Dwelling Unit
2. Section 2-508: Limitations on Junk and Inoperable Vehicles
3. Section 2-510: Sales from Vehicles
4. Section 2-512: Limitations on Keeping of Animals
5. Section 2-600: Common Open Space and Common Improvement Facilities
6. Article 5: Administrative Permits, Special Permits and Special Exceptions
7. Article 8: Signs
8. Article 9: Performance Standards
9. Article 11: Telecommunications Ordinance

ACCESSORY USES (PER ZO 6-102)

The following accessory uses shall be allowed within Arrington in conjunction with and incidental to, and on the same lot as the principal use, provided that all other requirements of this Code of Development are also met:

- 1-3. Intentionally Deleted
4. Child's play house not to exceed 100 SF & play equipment

- 5-7. Intentionally Deleted
8. Gardening
9. Intentionally Deleted
10. Parking and loading spaces, off-street, as regulated by Article 7.
- 11-17. Intentionally Deleted
18. Statues, arbors, trellises, barbecue stoves, flagpoles, fences, walls and hedges. Maximum height for fences is 6 feet located to the rear of the front façade of the house.
19. Intentionally Deleted
20. Storage structures incidental to a permitted use.
21. Swimming pool and bathhouses, private.
22. Tennis, basketball or volleyball court and other similar private outdoor recreation uses.
- 23a. Wayside stand (per ZO).
24. Intentionally Deleted
25. Yard/garage sales access to residential uses (per ZO).
- 26-29. Intentionally Deleted
30. A Family day home for four or fewer children.
31. The letting for hire of not more than two rooms to not more than two persons for periods no shorter than one month.
- 32-33. Intentionally Deleted



Arrington will develop as up to five hamlets, primarily separated by natural stream valleys and tree lines. Each hamlet will include a passive open space area and trails that connect to the other hamlets.

The configuration of Arrington’s hamlets implements clustered development that will protect the site’s natural beauty and views as shown on the exhibit on the left, with the number of units outlined in the provided table.

HAMLET TABULATIONS			
HAMLET NAME	No. OF UNITS	FRONT LOAD LOTS (MAX.)	REAR LOAD LOTS (MIN.)
CENTRAL SFD	174	141	33
CENTRAL SFA (ALTERNATIVE A)	27	0	27
SOUTHWEST	43	43	0
SOUTHEAST (ALTERNATIVE A)	71	43	28
NORTH (ALTERNATIVE B)	62	0	62
TOTAL UNITS PROPOSED	377	227	150

- Notes:
1. All PRD Hamlet unit totals are approximate and to be determined at final code of development site plan and may not vary by more than 15%.
 2. Totals may not exceed 217, 315, and 377 units for Base Zoning, Alternative A, and Alternative B respectively.
 3. The minimum number of rear load lots for any hamlet may not be reduced, notwithstanding Note #1 above.

GENERAL REQUIREMENTS

STREETS:

All streets, excluding alleys, shall be public streets. All public streets and alleys shall be designed in a manner consistent with the typical sections shown on the subsequent pages. Temporary turnarounds are required at all inter-parcel access points. Signage, as required in the applicable jurisdictional design standards and specifications shall be provided indicating future street extensions.

ON-STREET PARKING:

Informal on-street parking shall be provided along one or both sides of Hamlet streets and will not be striped. On-street parking is not permitted on streets outside of the hamlets (Section #4). On-street parking will be as approved within public ROW by the applicable jurisdiction.

UTILITIES AND EASEMENTS:

All underground utilities shall be located as set forth in this section, and attendant utility boxes or other installations shall be screened as set forth on page 48 subject to utility company approval.

Public sewer and water lines shall be within the public right-of-way where possible based on standard engineering practices.

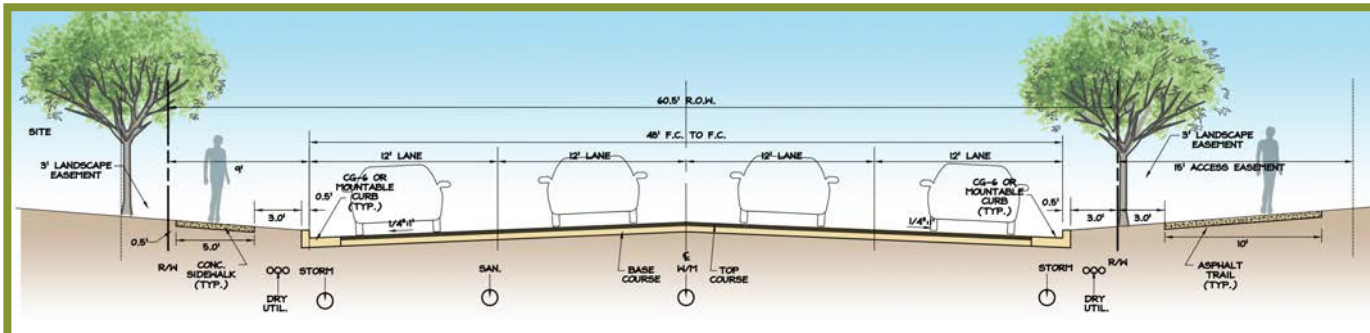
Dry utilities serving lots with alley access shall be placed within the alley subject to utility provider approval.

STREETSCAPE:

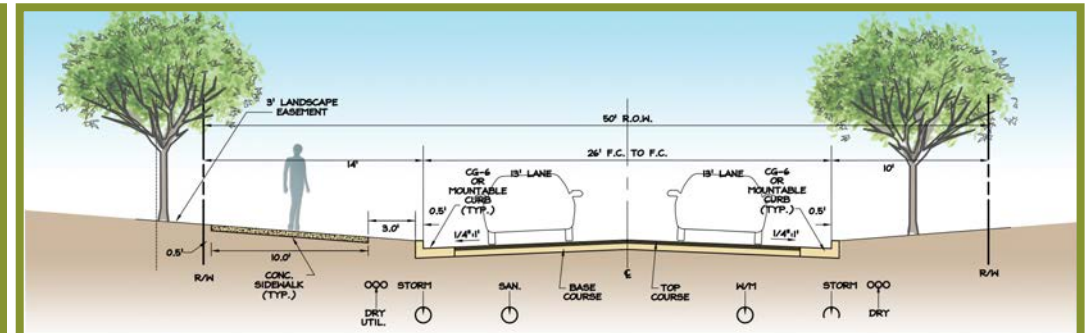
Streetscape elements including street trees, sidewalks, crosswalks and street lights shall be provided as set forth in this section.



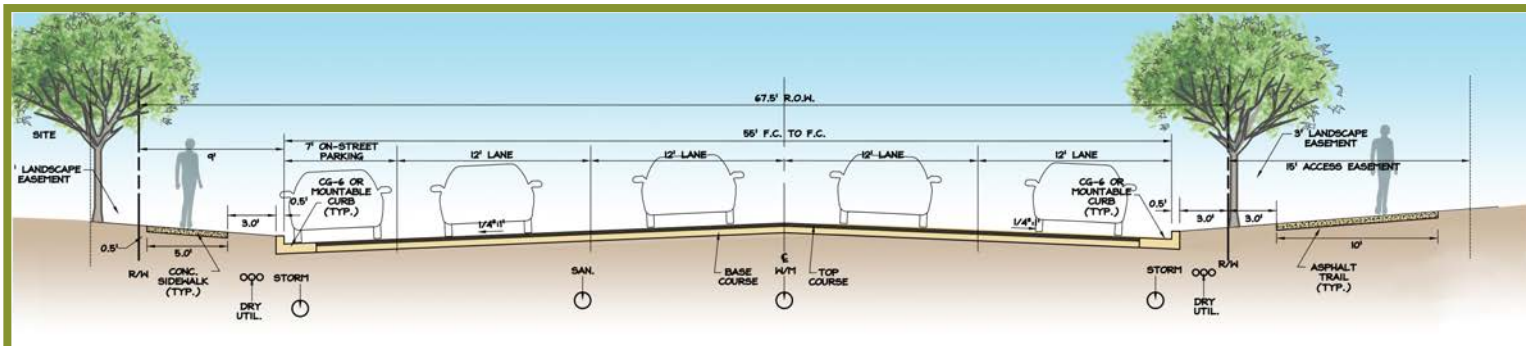
Typical Sections



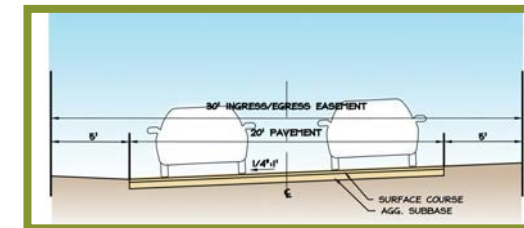
SECTION #1 - ALWINGTON BLVD, NO PARKING (W/10' TRAIL) (NOT TO SCALE)



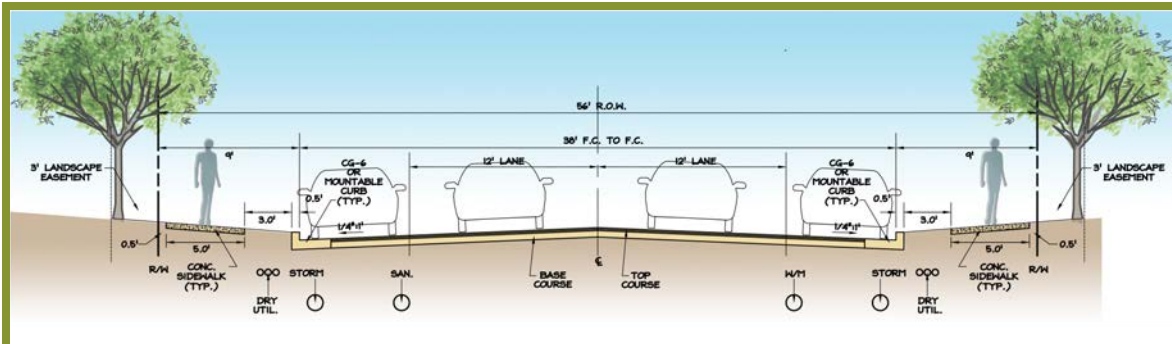
SECTION #4 - HAMLET CONNECTOR STREET, NO PARKING (NOT TO SCALE)



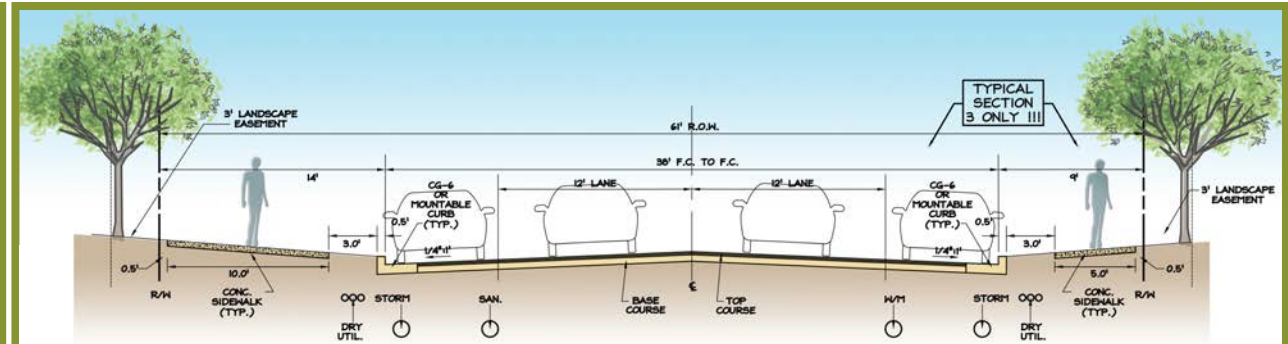
SECTION #1A - ALWINGTON BLVD, PARKING ONE SIDE (W/10' TRAIL) (NOT TO SCALE)



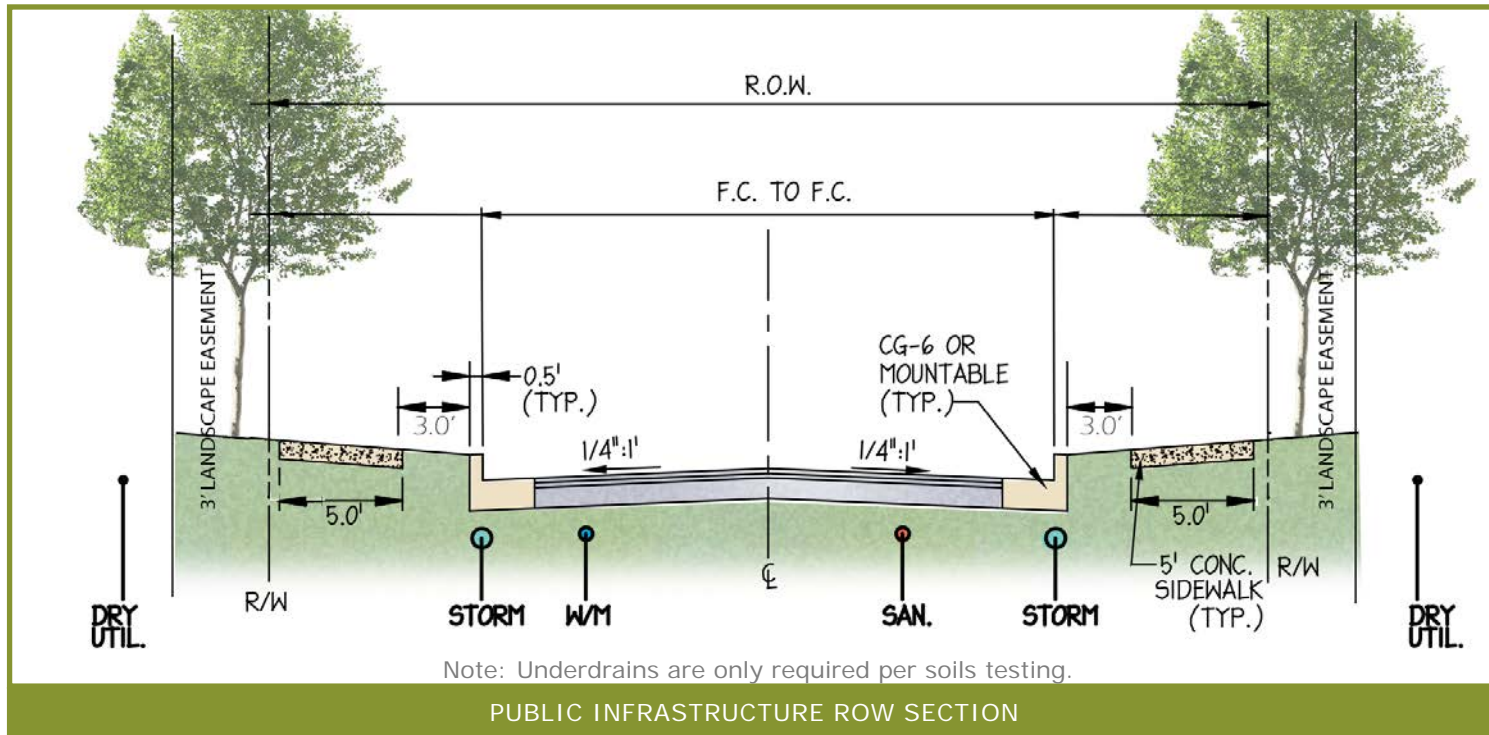
SECTION #5 - ALLEY (NOT TO SCALE)



SECTION #2 - HAMLET STREET, PARKING BOTH SIDES (NOT TO SCALE)



SECTION #3 & 3A - HAMLET STREET - PARKING BOTH SIDES & 10' SIDEWALK (NOT TO SCALE)



UTILITIES AND EASEMENTS

LOCATION:

All utilities and utility easements will be located in a manner that supports the goal of creating traditional character within Arrington. All new utility lines shall be placed underground. Wet utility lines/easements will be located within the ROW to the greatest extent possible. Dry utility lines/easements will be allowed to be placed within front yards to the extent such placement does not interfere with required landscaping or other required elements of the plan. A dry utility easement will be provided within the first ten feet of the lot, adjacent to the ROW. To the extent achievable, shared easements and easements of reduced width will be utilized as allowed by various utilities.

TRANSFORMERS & SIMILAR UTILITY STRUCTURES:

Transformers or other similar utility structures located in the front yard of lots shall be substantially screened from view of the street with landscaping subject to utility company approval.

FIRE HYDRANTS:

Placement of fire hydrants shall occur at locations that minimize disruption to on-street parking (such as street corners) subject to fire and rescue approval and in conformance with fire and rescue standards.



TRANSFORMERS/UTILITY BOXES



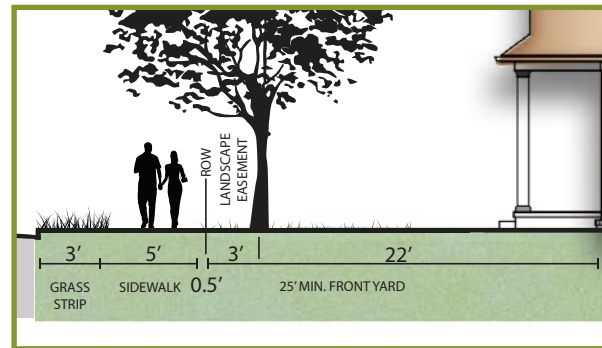
Streetscape

STREETSCAPE:

The streets within Arrington are designed to reflect the traditional neighborhood character of the development, as well as their carrying capacity. The goal is to provide narrow, traffic-calmed streets with on-street parallel parking in keeping with traditional forms of development. Every street is lined with sidewalks and canopy trees, helping to create an environment that accommodates cars, but also welcomes pedestrians to walk through the neighborhood. Streetscape features shall include pedestrian scale street lights. Standards for lighting are found on the following page.

STREET TREE REQUIREMENTS:

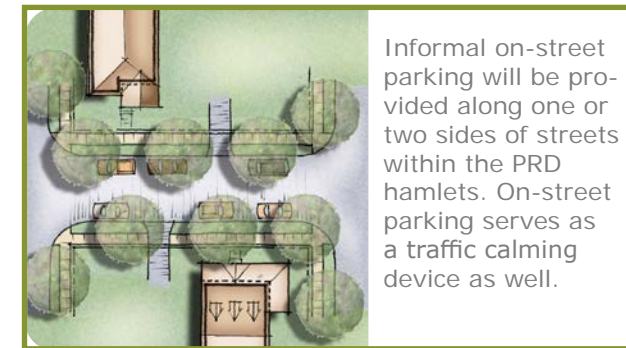
1. Every street shall have street trees planted on both sides of the street.
2. Street trees shall generally be located just outside the right-of-way between the sidewalk and house. Trees shall be planted at a density of one tree per 40 feet of block length along both sides of public streets. Spacing and location may be adjusted in order to create unique effects and to accommodate utility crossings and other site design constraints.
3. Street trees shall be selected from those listed in the table titled Appropriate Street Trees at Arrington in Appendix C. The list highlights specific cultivars of tree types specifically recommended for street tree use in Virginia by VDOT and the Virginia Tech Department of Forestry.
4. Street trees shall be planted in a manner that helps to create special character and identity for individual streets. This shall be accomplished by using the same tree type along both sides of the street, and varying that type from street to street.



TYPICAL STREETSCAPE

SIDEWALK NOTES:

1. Concrete sidewalks shall be provided as shown on the typical street section.
2. Score joints shall be provided to demark the limits of sidewalk through driveway aprons subject to jurisdictional approval.
3. Sidewalk shall be constructed so there is no change in grade at the driveway apron.



Informal on-street parking will be provided along one or two sides of streets within the PRD hamlets. On-street parking serves as a traffic calming device as well.

ON-STREET PARKING



PEDESTRIAN STREET LIGHTS:



DOMINION CUTOFF ACORN FIXTURE

Comparable HID Wattage	Finish Color	Initial Lamp Lumens	Lighting Pattern	Correlated Color Temperature (CCT)	Input Wattage
70	Black	3838	Type III	3000K	45
100	Black	5472	Type III	3000K	66
150	Black	8133	Type III	3000K	111

The illumination of streets will be provided in accordance with the following standards:

1. Street lights shall be provided along every street with a sidewalk.
2. Street lights shall be a maximum of 12 feet in height as required by Dominion or the applicable jurisdiction.
3. Lights shall be spaced at intervals of 200-240 feet, or as determined by final photometrics.
4. Lights shall be shielded.
5. Fixtures and poles shall have a dark finish and be generally of a traditional design, consistent in character and quality to those shown on this page subject to approval in the public ROW by Dominion and the applicable jurisdiction.

GUARDRAIL:

Guardrail and guardrail elements (as required) shall utilize wooden posts and blocks and be a brown or muted color subject to jurisdictional approval in the public ROW.



WOOD GUARDRAIL

MAIL BOXES

Mail boxes shall be simple, functional and in accordance with approved projects standards. Their design and location should minimize their visual impact; comply with all local codes, ADA and jurisdictional approvals having authority for review. Individual freestanding mailboxes shall be allowed, with a requirement for dark finishes for the mailboxes and posts. No separate newspaper delivery boxes shall be allowed. Grouped mailboxes shall be allowed for lots that do not front on a street and such mailboxes shall be in dark finishes. All of the aforesaid is subject to approval by the U.S. Postal Service.



DETACHED HOMES MAILBOX
BLACK IN COLOR

ATTACHED HOMES MAILBOX
BLACK IN COLOR



OWNERSHIP, MANAGEMENT AND ACCESS TO OPEN SPACE:

Arrington includes a system of open spaces placed throughout the development linked by sidewalks and trails. The spaces are strategically designed to provide green relief to the hardscape created by streets and sidewalks and also to provide passive opportunities for recreation. All of the open spaces located within the development will be owned and maintained by the Homeowners' Association (HOA) except as otherwise noted herein and/or within the proffers.

OPEN SPACE AREAS:

1. Entry Feature	0.1 Acres
2. Farm Pond	0.6 Acres
3. Wildflower Meadow	20.0 Acres
4. Berry Planting	0.2 Acres
5. Trails	3.4 Acres
6. Viewshed Conservation Area	27.8 Acres
7. Southeast Hamlet Formal Green (Alternative A/B)	2.6 Acres
8. Southwest Hamlet Formal Green	2.0 Acres
9. Central Hamlet Community Green	6.3 Acres
10. Central Hamlet Formal Green	2.6 Acres
11. North Hamlet Formal Green (Alternative B)	2.2 Acres
Total Programmed Open Space	65.6 Acres
Other Open Space	98.5 Acres



AMENITY 1
ENTRY FEATURE



1. ENTRY FEATURE:

Two natural fieldstone retaining walls framing a mini-roundabout just behind Arrington ridge will signify arrival to the community. One wall will hold a modest sign Black board farm fencing ubiquitous to Fauquier County will guide you into the community. The entrance will be accented with trees, shrubs, and perennial flowers to highlight its location along the expansive fence line.

AMENITY 2
FARM POND



2. FARM POND: (±0.6 ACRES)

The small farm pond will keep its current size and informal un-manicured appearance. Invasive vegetation will be removed and replaced with native wetland plantings. A proposed trail will provide access to its banks for fishing and sightseeing. Seating will be provided for an informal, tranquil retreat from everyday life.

AMENITY 3
WILDFLOWER MEADOW



3. WILDFLOWER MEADOW: (FLOODPLAIN ±20 ACRES)

This passive recreational area will provide native wildflower seeding to the stream valley ecosystem and help reestablish a natural meadow for passive recreational enjoyment of residents and visitors alike. Bird houses will also be provided within the meadow. It will be visible from James Madison Highway and be a major contribution to the southern gateway of Warrenton. Select areas within the floodplain will be seeded based on field conditions and increased visibility. Natural surface trails may be provided through the meadow.

AMENITY 4
BERRY PLANTINGS



4. BERRY PLANTINGS: (±0.2 ACRES; 1,200 LINEAR FT)

An informal thicket containing blueberries, blackberries, raspberries, and/or huckleberries will be planted for the enjoyment of people and wildlife alike. They are located along a proposed paved trail in sufficient amounts to graze or harvest. Seating will be provided.

OPEN SPACE TABULATION

Land Area:	234.09 Acres
Open Space Area: (Base Zoning)	165.04 Acres
Open Space Percentage:	70%

OPEN SPACE AMENITIES/FEATURES:

- Seating areas
- Benches
- Tot Lot
- Groomed Park
- Community greens
- Pedestrian bridges
- Community gardens
- Berry planting
- Wildflower meadows with bird houses
- Gazebo or covered structure
- Community Center
- Pool
- Patio
- Trails
- Stone walls
- Ornamental trees
- Fencing



AMENITY 5
TRAILS & TRAIL EASEMENTS



AMENITY 6
CONSERVATION AREA



AMENITY 6A
RESTAURANT, INN & FUTURE AGROBUSINESS



5. TURKEY RUN TRAIL:

The Turkey Run Trail (minimum ten feet (10') wide) will provide a continuous bicycle and pedestrian connection from the recently constructed roundabout at the intersection of James Madison Highway and the Eastern Bypass northward through the Arrington community to its northern boundary. A public access easement shall be provided for any portion of the Turkey Run Trail not located with a dedicated public street right-of-way. The easement shall be a minimum of fifteen feet (15') in width. The proposed trail system will connect sidewalks in and around Arrington to provide access and interconnectivity to each of the five (5) hamlets, the stream valley corridor, and all community amenities. The Turkey Run Trail will be privately owned and maintained but open to the public.

6. VIEWSHED AGRICULTURAL AREA(27.8 ACRES):

The Arrington ridge and its views framing the southern entrance to Warrenton will remain in agricultural use as it is today through approval of the Category 32 Special Exception. Various agricultural uses along the ridge and other areas of the site will preserve the county's farming tradition and scenic identity. The RA zoned non-common open space lot also holds picturesque views west to the mountains and could also provide the perfect setting for a single residence, farm, or agricultural tourism. Adjacent proposed restaurant and inn and future rural agrobusiness will create a unique agrotourism destination.

6A. RESTAURANT, INN & FUT. AGROBUSINESS

A special amenity of the site will be the proposed restaurant and inn bordering the RA area to the south. The RA area is planned as an agrobusiness that will be a unique rural destination at the edge of town. A winery is envisioned that could be the venue of weddings and special events which could be served by the adjacent inn and restaurant. Furthermore, this site is home to the historic Leeton Forest Plantation ruins which could be restored and displayed or restored and adaptively reused within the grounds of the agrobusiness.

FORMAL & COMMUNITY GREENS:

Each of the five PRD hamlets within Arrington will include a community park which will feature amenities such as a covered structure, plantings beds, passive recreation, benches and gardens. Manicured, formal lawns for gathering and unprogrammed events will also be provided.

The following page provides a description of each of these open spaces. In addition to these main community greens, Arrington will also feature smaller scale pocket parks. These are more intimate areas reserved for relaxing while not being the main green or focal point of each hamlet. They are to be quieter and may provide closer proximity to dwellings located off of the greens. They will contain some seating and are a great area for walking dogs.

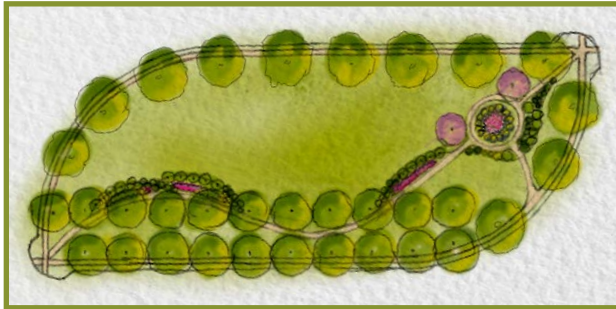
7. SOUTHEAST HAMLET FORMAL GREEN: (+2.6 ACRES)

This entry green will be visible when entering the site from Business Route 15/17/29. It will serve as an entrance to the Southeast Hamlet with a semi-formal design, much like the Southwest Hamlet green. It will incorporate perimeter trees and interior pathways and plantings. It will have a sloping topography so will be used for passive recreation such as dog walking, sight-seeing, picnicking and relaxing much like the other greens.



AMENITY 7
FORMAL GREEN

AMENITY 8
FORMAL GREEN



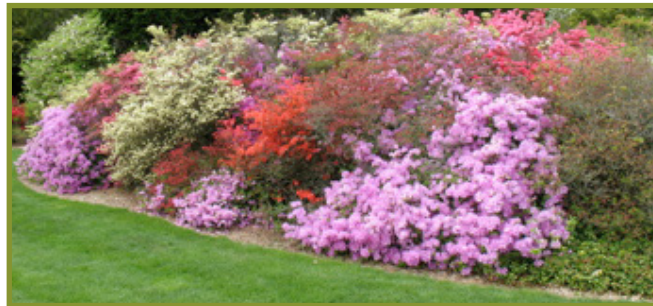
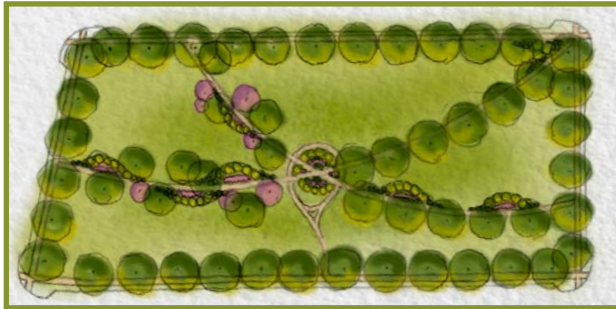
8. SOUTHWEST HAMLET FORMAL GREEN: (±2.0 ACRES)
The green will be the first of four greens at Arrington. Entering the site from Business Route 15/17/29 and traveling along the winding entrance road, this green will become visible after making your way through the first hedgerow. Atop the knoll, this green is a welcome point of semi-formal open space. Trees and sidewalks circle the perimeter while the interior holds a meandering path with seating throughout the proposed planting areas. This is the smallest of the four greens being located in the smallest hamlet.

AMENITY 9
FORMAL GREEN



9. CENTRAL HAMLET COMMUNITY GREEN: (±6.3 ACRES)
This is the largest green and will be the most active and heavily programmed. It will house the community center, pool and contain the largest area of open turf providing the opportunity for more active recreation. A gazebo or other covered structure is also proposed at its main entry point to allow escape from the sun and oversee activities. Plantings will circle the covered structure and its entrance from the street.

AMENITY 10
LINEAR PARK



10. CENTRAL HAMLET FORMAL GREEN: (±2.6 ACRES)
This central green will be a focal point and amenity serving the largest Central Hamlet. This semi-formal green will provide supplemental recreation amenities not provided by the more active community green in the Central Hamlet. Much like the Southwest green, it will incorporate perimeter trees and interior pathways and plantings. It will have a relatively flat topography so could be used from active play as well as passive recreation.

AMENITY 11
COMMUNITY GARDEN



11. NORTH HAMLET FORMAL GREEN: (±2.2 ACRES)
The community garden will be a place where residents can gather to socialize, share gardening skills and pick fresh herbs and vegetables for dinner. Benches and seating for potting and planting will be available as well as an area to keep tools. Raised beds will contain seasonal produce and make provide easy maintenance. The design of the beds and paths will be well organized and tastefully prepared to be the pride of the community. This area may be replaced by a community center and or pool, allowing the garden to be relocated elsewhere on site. A rain collection system may be provided for irrigation.



Note: See proffers for project phasing.

LOT TYPES:

The Arrington Lot Regulating Plan contains a wide array of lot sizes to accommodate a variety of house and unit types. The variation in lot sizes is vital to the creation of traditional neighborhood design at Arrington. Arrington divides the lot types into four (4) categories. These are:

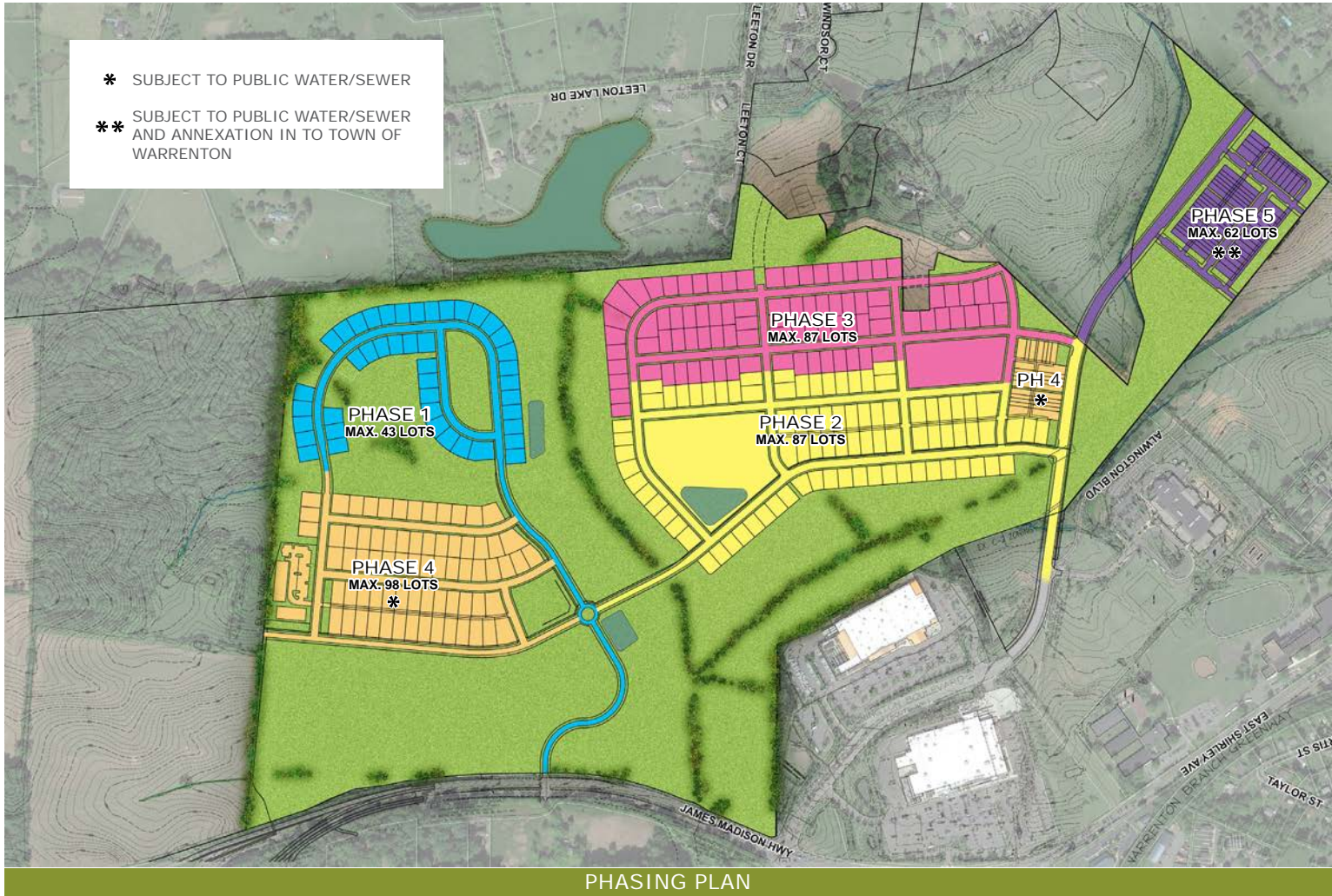
- Townhouse/Affordable Lot - 20' - 45' wide
- Cottage Lot - 65' - 80' wide
- Cottage Affordable Lot - 30' - 49' wide
- Village Lot - 66' - 81' wide
- Estate Lot - 75' - 90'+ wide

The width of each lot shall be measured at the front setback from the street.

All hamlets as defined on Page 11 of this Code and as found in the Concept Development Plan are required to have a variation of lot type, architectural styles, and setbacks (both front and side) all as approved by the Zoning Administrator with advice from the Community Architect.

Corner lots with generous front and side yards are important to the character of the development because they are highly visible and serve as key features within the community. Homes on corner lots should include architectural features for both the front and side elevations fronting street, including items like wrap-around porches, turrets, columns, balconies, or other unique items.





DEVELOPMENT PHASING

Arrington shall be developed in five (5) phases. Each phase is specifically delineated on the Phasing Plan. No phase has more than 100 Lots. Development of the phases may occur in any order.

All street and utility improvements, including sewer, water and stormwater management facilities shall be constructed as necessary to support individual houses. The Jurisdiction, in consultation with the applicable utility agency shall determine the extent of streets and utilities necessary to be shown on each Code of Development Site Plan submission in order to determine that such facilities will be designed correctly.

All hardscape features within each open space shall be constructed in conjunction with the phase containing such feature.

PHASING TABULATIONS		
PHASE NUMBER	HAMLET NAME	MAX. UNITS
1	SOUTHWEST HAMLET	43
2	CENTRAL SFD HAMLET SECTION 1	87
3	CENTRAL SFD HAMLET SECTION 2	87
4	CENTRAL SFA & SOUTHEAST HAMLET	98
5	NORTH HAMLET	62
TOTAL UNITS PROPOSED		377

Notes:

1. Phase 4 is subject to access to Town water and sewer service.
2. Phase 5 is subject to access to Town water and sewer service and annexation into the Town of Warrenton.

**LOT LAYOUT STANDARDS
(SINGLE-FAMILY DETACHED HOMES)**

**ACCESSORY STRUCTURES
(EXCLUDES DETACHED GARAGES):**

Accessory structures shall be located on the rear half of the lot and shall meet all side and rear yard setbacks as set forth in the Zoning Ordinance. The floor area of accessory structures shall be no larger than 150 square feet and the building height shall be limited to one story.

CURB-CUTS:

Driveway curb-cuts shall be no wider than the greater of 12 feet or the minimum width allowed by the applicable jurisdiction. Curb-cuts and driveways shall be designed to emphasize and facilitate the continuation of the sidewalk across the apron.



DRIVEWAYS:

Driveways serving front loaded garages shall not exceed the width of the garage for a distance of 20 feet in front of the garage (the "Front Required Parking Area"), and shall then transition (within next 10 feet) from the width of the garage to the width of the curb-cut referenced above and the remainder of the driveway from the transition to the curb-cut shall not exceed the curb cut. Driveways serving rear loaded garages from an alley shall not exceed the width of the garage for a distance of up to 20 feet between the alley and the garage (the "Rear Required Parking Area"). Driveways and the Required Parking Areas may be constructed of asphalt, brick or concrete pavers (to include open pavers), stamped concrete, or broom finished concrete.

GARAGES:

All front-loaded garages shall be sized for no more than two (2) vehicles, with a maximum width of 24 feet. Front



loaded garages shall be set back a minimum of 20 feet behind the "Front" of the house. Side loaded garages need not be set back where the side wall of the garage is the Front and may contain garage parking for up to three (3) vehicles.

Any rear loaded garage shall be sized for no more than two (2) cars. Rear loaded garages shall be sited to meet all side and rear yard setbacks as set forth in the Typical Lot Details below.

The "Front" of a house shall be defined as that element of the residential structure that is located closest to a street (e.g. the main mass, front addition, or greatest frontward projection of a bay or box window or front porch). Side and rear loaded garages are encouraged but not required except as shown on the approved Concept Development Plan for Arrington.

LOT LAYOUT VARIETY:

Each block shall incorporate a variety of architectural styles, and a variety of setbacks between the front lot line and the Front of each house with a minimum setback differential of two (2) feet between adjacent homes. Architectural front facades of the same style shall not be placed side to side or across the street from each other.

MECHANICAL AND ELECTRICAL EQUIPMENT :

All mechanical and electrical equipment for each house shall be located rear of the front of house and shall be screened from view from any public travel way by architectural treatment, landscaping, or both.

**LOT LAYOUT STANDARDS
(SINGLE-FAMILY ATTACHED HOMES)**

**ACCESSORY STRUCTURES
(EXCLUDES DETACHED GARAGES):**

Accessory structures shall be located on the rear half of the lot and shall meet all side and rear yard setbacks as set forth in the Zoning Ordinance. Accessory structures shall be no larger than 50 square feet and one-story in height.

CURB-CUTS:

Driveway curb-cuts along public ROW shall be prohibited. Access for garages shall only be off of a private alley.

DRIVEWAYS:

Driveways serving rear loaded garages from an alley shall not exceed the width of the garage for a distance of up to 20 feet between the alley and the garage (the "Rear Required Parking Area"). Driveways and the required parking areas may be constructed of asphalt, brick or concrete pavers (to include open pavers), stamped concrete, or broom finished concrete.

GARAGES:

Garages shall not be required, but if provided shall be rear loaded and sized for no more than two (2) cars. Garages shall be sited to meet all side and rear yard setbacks as set forth in the Zoning Ordinance.

LOT LAYOUT VARIETY:

No more than six (6) single-family attached (townhouse) units shall be located in any one building and no more than five (5) buildings shall be located in any block. Each building shall incorporate a variety of setbacks and front facades for the townhouse units consist of a minimum of two (2) units with ¾ porches within each building. Variation in architectural styles and building heights is recommended. The intent of these requirements is to create variation along each block. No two adjacent, diagonal, or opposite buildings may be of the same elevation or color scheme unless the intent of the architectural style of two adjoining townhomes is to create a massing and appearance of a single larger townhome.

MECHANICAL AND ELECTRICAL EQUIPMENT :

All mechanical and electrical equipment for each individual house shall be located rear of the front of house and shall be screened from view from any public travel way by architectural treatment or landscaping or both.

LOT STANDARDS				
LOT TYPE	YARD	SETBACK (Min/Max)	LOT WIDTH (Min-Max)	BUILDING HEIGHTS (Max)
SINGLE FAMILY DETACHED: FRONT LOADED				
ESTATE	FRONT SIDE REAR	25'/50' 10'/NA 25'/NA	75'-100'	35' (Max)
VILLAGE	FRONT SIDE REAR	25'/30' 10'/NA 25'/NA	66'-81'	35' (Max)
SINGLE FAMILY DETACHED: REAR LOADED				
COTTAGE & AFFORDABLE COTTAGE	FRONT SIDE REAR	25'/30' 10' (6' AFFORD.)/NA 25'/NA	65'-80'	35' (Max)
SINGLE FAMILY ATTACHED: REAR LOADED				
TOWNHOME & AFFORDABLE TOWNHOME	FRONT SIDE REAR	25'/NA 10'/NA (End) 25'/NA	20'-45'	35' (Max)

LIMITS OF CLEARING AND PROTECTION AND PRESERVATION OF TREES:

Particular care shall be devoted to preservation of trees and hedgerows that are found throughout the property. Grading and parking of equipment or vehicles, stockpiling of materials, or deposition of sediment, topsoil or fill, or dumping of any materials or liquids/chemical is prohibited within the drip line of trees designated to be saved on the ARC approved final construction plans. All existing trees to be saved, individually or in groups, shall be included in a tree conservation easement and protected during construction by fencing (minimum height of four feet above grade) placed at the outer perimeter of the spread of branches (drip line). The Tree Conservation Easement shall include a provision preventing the removal of any tree within the easement area which are greater than six inches (6") in diameter without the specific permission of the applicable governmental agency, except as necessary to accommodate forest management techniques performed by, or recommended by, a professional forester or certified arborist that are necessary to protect or enhance the viability of the canopy. Such management techniques may include, without limitation, pruning, and the removal of vines, invasive species, trees uprooted or damaged by extreme weather conditions, and trees or limbs that are diseased, insect-infested, dead, or considered a hazard to life or property. The Tree Conservation Easement prohibiting tree removal shall not be amended without written approval from the Town of Warrenton, Fauquier County, and/or other governmental agencies having jurisdiction over same. Each subdivision plat for Arrington as well as the Arrington Conservancy documents shall contain a note stating that the removal of trees within the Tree Conservation Area is prohibited except in accordance with the aforesaid provisions.

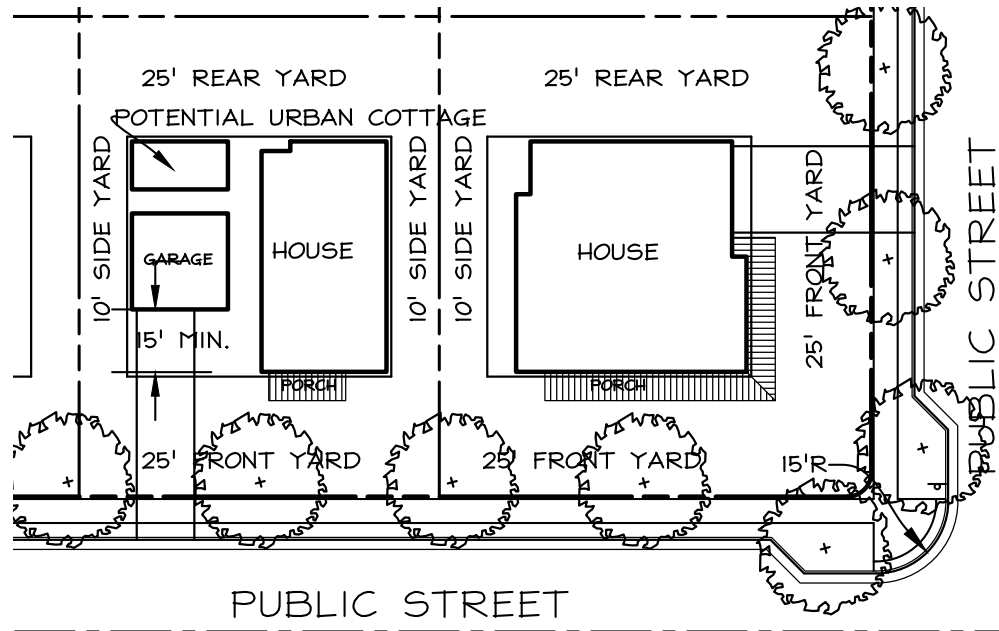
LIGHTING (SINGLE-FAMILY DETACHED AND ATTACHED) :

One or two building-mounted entry lights shall be provided on all homes. Building-mounted light fixtures shall be of a design and scale appropriate to complement the building architecture and shall not negatively impact neighboring properties.



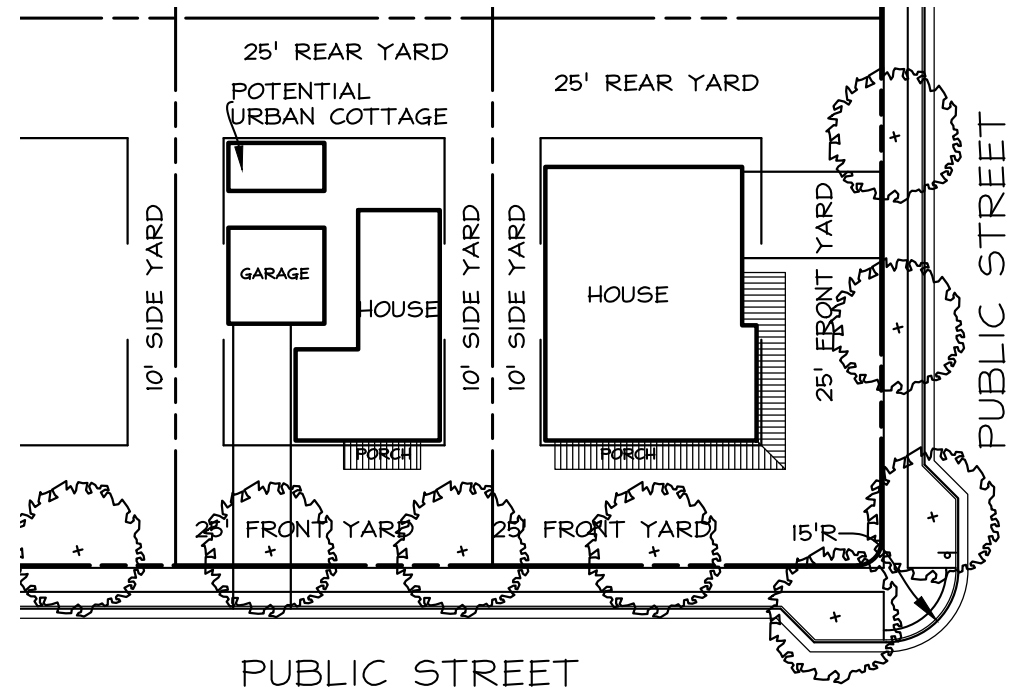
**ESTATE LOT LAYOUT STANDARDS
(FRONT-LOAD, SINGLE-FAMILY DETACHED)**

NOT TO SCALE



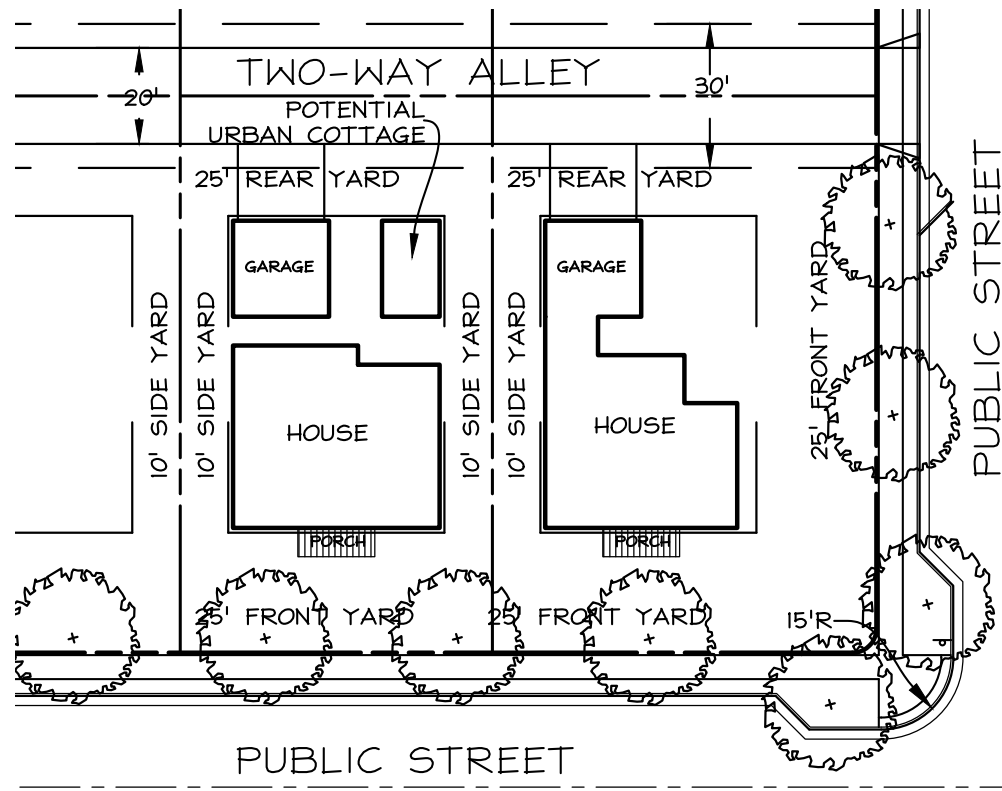
**VILLAGE LOT LAYOUT STANDARDS
(FRONT-LOAD, SINGLE-FAMILY DETACHED)**

NOT TO SCALE



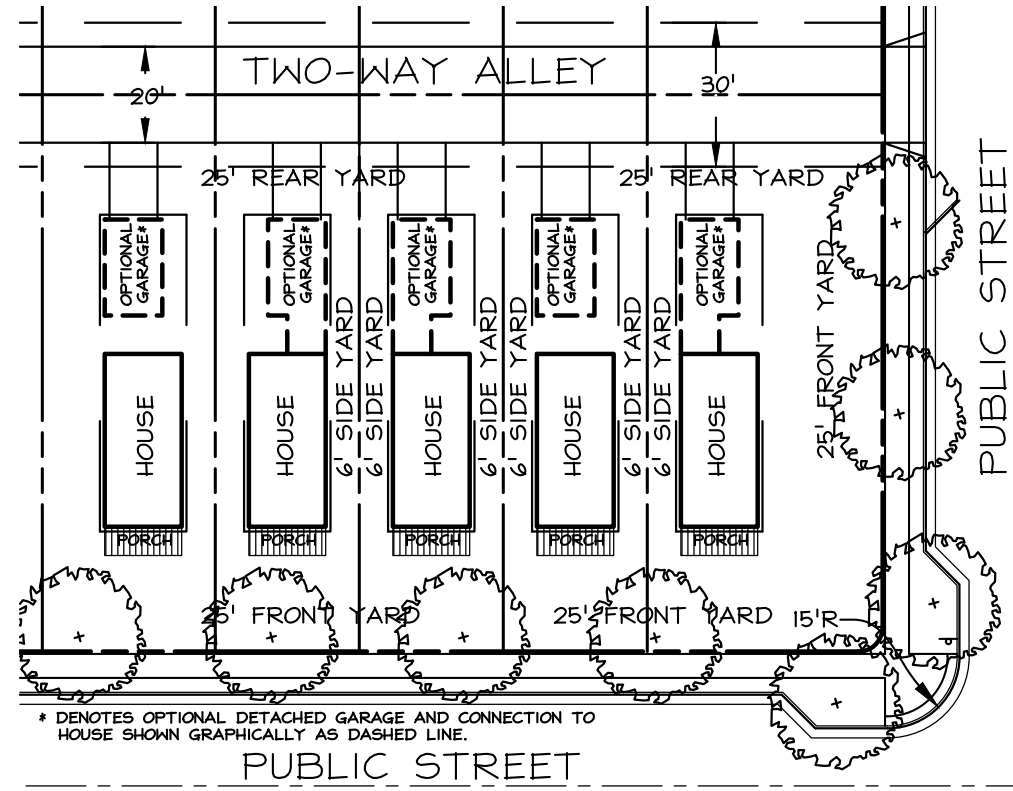
COTTAGE LOT LAYOUT STANDARDS (REAR-LOAD, SINGLE-FAMILY DETACHED)

NOT TO SCALE



AFFORDABLE COTTAGE LOT LAYOUT STANDARDS (REAR-LOAD, SINGLE-FAMILY ATTACHED)

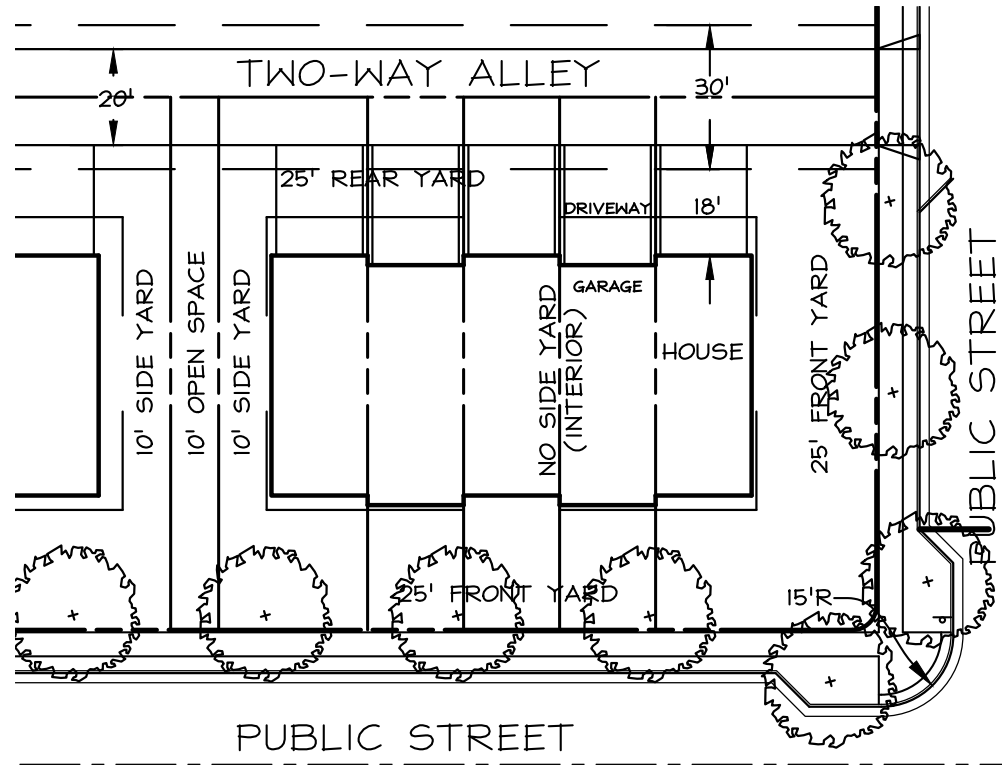
NOT TO SCALE



* DENOTES OPTIONAL DETACHED GARAGE AND CONNECTION TO HOUSE SHOWN GRAPHICALLY AS DASHED LINE.

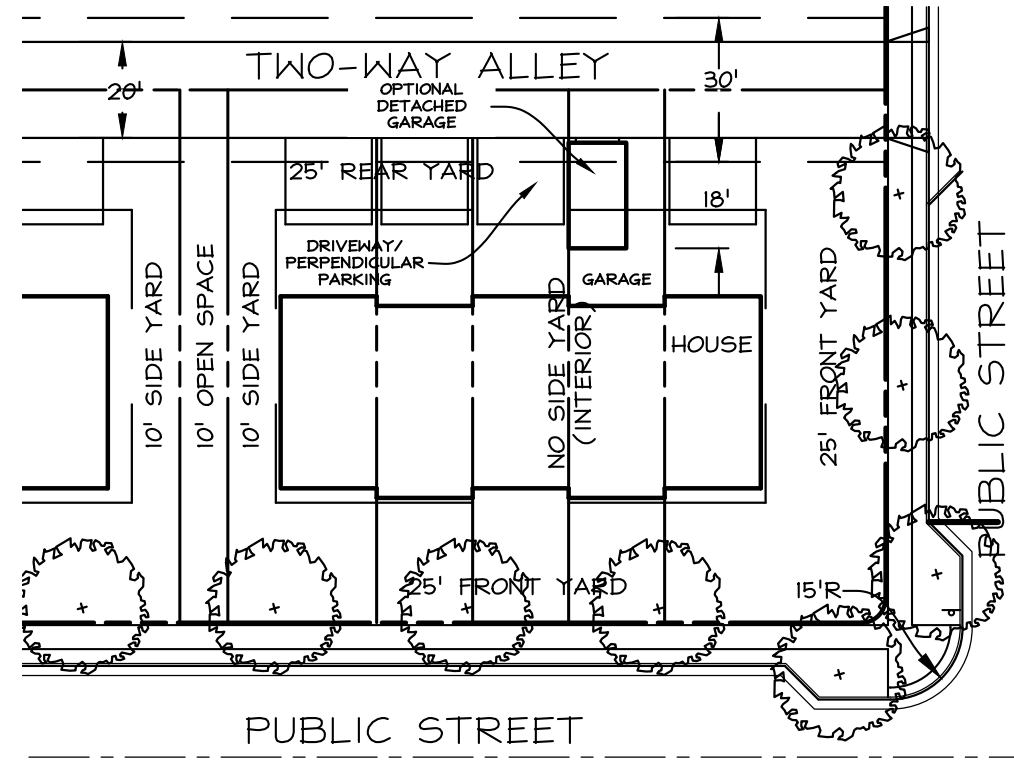
**TOWNHOUSE LOT LAYOUT STANDARDS
(REAR-LOAD, SINGLE-FAMILY DETACHED)**

NOT TO SCALE



**AFFORDABLE TOWNHOUSE LOT LAYOUT STANDARDS
(REAR-LOAD, SINGLE-FAMILY ATTACHED)**

NOT TO SCALE



ARCHITECTURAL STYLE

A variety of architectural styles is required, provided that all homes shall be in substantial conformance with Appendix A hereto, "Architectural Styles." Variation in architectural styles, heights, massing (including articulated bay or box windows and porch configurations), roof designs, and materials is essential along each block and no more than 50% of all of the single-family detached houses within a block shall be of all siding above the water table, or an elevation where siding is the predominant (more than 50%) material above the water table.

Corner lots throughout the property warrant special consideration due to the visibility of the home's side elevation. Homes on corner lots shall require additional architectural enhancements and/or articulations, wrap around porches, windows, window treatments (shutters), and/or landscaping as determined by the ARC.

ARCHITECTURAL STANDARDS:

ACCESSORY STRUCTURES (EXCLUDES DETACHED GARAGES)

Accessory structures such as pavilions or sheds shall be of similar architectural design and color scheme as the primary structure.



PLAY EQUIPMENT



PLAY EQUIPMENT



SHED



SHED

GARAGES

All attached garages shall be integrated into the architectural design of, and consist of the same quality of material and finish as, the principal structure. Attached garage foundation water tables must be of the same material as the main structure. Detached garages shall be of consistent architectural character as the principal structure.

BRICK DETAILING

A minimum return of two-feet around corners is required on all brick fascias unless there is an architectural element that precludes the two-foot return. Brick returns ending at architectural features (e.g., brick chimney) are encouraged.



DETACHED GARAGE

BUILDING HEIGHT

Building heights for single-family detached homes may range between 1 and 2.5 stories above the basement. Building heights for single-family attached homes may range between 2 and 4 stories above the basement. Building heights for detached garages may range from 1 to 2 stories, provided that no detached garage shall exceed the height of the main structure and provided further that no structure shall exceed the height permitted under the Zoning Ordinance.

BUILDING MATERIALS

Building materials shall be restricted to those listed under the Table of Building Material Requirements in Appendix B.

CHIMNEYS

Chimneys (interior and exterior) shall be integrated with the building and have a material and color compatible with the building architecture – brick or stone is preferred. Exterior chimneys on the ground level (including vented flueless fireplaces) must be constructed to grade and may not appear to be suspended in the air, while those on upper levels must have a substantial base returning to the building facade. Metal roof top flues should extend no higher than the minimum required by the building code. Flues should be of such construction that external support braces are not required. Flues should be painted flat black, or the roof color.

CONSISTENT DESIGN

Each home shall be designed so that every face of the building is consistent with the selected architectural style, with similar siding materials or veneers utilized on every building face, and similar window size and placement, and door trim elements, on all building elevations. This does not preclude the use of different materials on a building projection or foundation, or a change of materials at a chimney or other projection, where historically such a change in materials might be found.

FOUNDATION

Brick or stone water table is required on the front and sides of all residential structures constructed on corner and interior lots when the exposed basement wall masonry is greater than twelve inches (12") in height. This water table requirement for sides of homes shall be waived if the water table is not visible from a public street when screened by landscaping.

GUTTERS AND DOWNSPOUTS

Gutters and downspouts must be painted to match the color of the surface to which they are attached or painted the house trim color.

METAL FLASHING

Exposed metal flashing, vents, pipes, etc. shall be painted to blend with the surface to which they are attached.

PROJECTING EAVES

All homes shall have a roof overhang of no less than the typical dimension that is consistent with the architectural style of the main building mass, except where the building designer can demonstrate to the satisfaction of the ARC that the building adheres to a particular style that does not include eaves.



ROOFING

Roof pitch shall be consistent with the architectural style of the building. The roof pitch on any major roof is required to be not less than 6:12. A variety of roof styles (such as hip, gable, and gambrel) are recommended. Intermixing of gable roof homes and hipped roof homes is encouraged to promote a visually exciting and animated streetscape. Flat or low pitch roof designs may be appropriate for porches and breezeways but are not permitted for the main building mass unless there is historic architectural evidence of the use of same with a certain style.

SECURITY DEVICES

Security devices must be installed without detracting from the design integrity of the building. Security signage should be placed proximate to the front door.

SKYLIGHTS

Skylights must be well integrated into the overall building design, with a low profile and shall be flat or with a slight curve. Skylights shall be installed parallel with the roof ridge and edges, with frames painted to blend with the color of the roof. Skylights should be located only on the backside of the roof ridge. Skylights on the front elevation are strongly discouraged.

WINDOWS

Bay windows on the first floor should have a substantial base or extend to the ground. The extension of the bay window from the wall of the house and the pitch of the roof of the bay window should achieve maximum dramatic effect as it relates to the house.

PATIOS, DECKS & BALCONIES

Decks, patios, and balconies should generally be located in rear yards. Decks more than two feet above grade shall be finished with heavy trimmed latticework and plant materials to screen views to the underside. Decks, porches, and railings shall be painted, stained or left natural depending on the architectural style, color combinations and detailing of the home as well as visibility from any public street.

MAILBOXES

Single family detached house mailboxes shall be uniform block by block and should be located at the curb immediately adjacent to the driveway or lead walk. Any replacements shall comply with the mailbox design provided by initial builder.

Single family attached mailboxes shall be standard USPS designed "gang" boxes and installed at locations as mutually agreed upon by the Builder and the USPS.

CONSTRUCTION OPERATIONS

TEMPORARY FACILITIES

Sales offices, construction offices/trailers, storage sheds, trailer yards and temporary rest rooms are permitted during construction only and only in conformance with any applicable zoning requirements. These facilities and related debris must be removed promptly when construction is substantially complete as determined by the ARC. Site planning, architectural

and landscape guidelines for permanent structures shall apply to the location and design of temporary facilities as well.

TRASH AND CONSTRUCTION DEBRIS

Builders and Contractors shall be responsible for maintaining a neat environment. Dumpsters and recycling containers shall be emptied frequently, and shall not be overflowing. Contractors shall also clean up/wash muddy streets on a regular basis.

PRESALES STRUCTURES AND MODEL HOME SALES CENTERS

Temporary sales office(s)/trailer(s) shall be located so as to minimize traffic impacts. Site design, off street parking and accessibility shall be provided as required by the applicable governmental agencies having jurisdiction. All plans shall be submitted, reviewed, and approved by the ARC in the same manner as set forth in Section II above.

ENFORCEMENT

The Declarant shall have the right to enforce these BLRs, by proceeding at law or in equity. Failure by the Declarant to enforce any requirements or restrictions herein contained shall in no event be deemed a waiver of the right to do so thereafter. In the event that the Declarant consistently fails or refuses to enforce these BLRs, the jurisdiction shall have the right to enforce them, provided that said jurisdiction shall provide written notice to the Declarant of its intention to do so, and the Declarant may act to enforce any violation so noticed within 90 days following receipt of such notice. The jurisdiction may only undertake enforcement action if the Declarant has failed or refused to act within the aforesaid 90 days. Pursuant to Va. Code Ann. § 15.2-1404, disputes arising out of the provisions of the BLRs regarding asserted failures to enforce shall be subjected to binding arbitration pursuant to the Rules of the American Arbitration Association for Construction Disputes (Fast Track Method) and Va. Code Ann. § 15.2-1404.

RIGHT OF ENTRY

The Declarant, or any member of the ARC, shall have the right to enter onto any of the Arrington property subject hereto, at reasonable times, for the purpose of inspecting the property and assuring conformance with these BLRs.

DEVIATIONS FROM THE BUILDING AND LOT REQUIREMENTS:

The Zoning Administrator may approve deviations from both Lot Layout and Building Design Standards found on page 20 and Architectural Characteristics by Style found on page 21. This applies in select locations where uniformity is proposed to create a special character or identity for a place in a manner that does not detract from the overall goal of creating a traditional, pedestrian oriented community.

B. PARKING AND LOADING REQUIREMENTS:

Parking and loading design will meet applicable jurisdictional standards.

C. SCREENING & ON-LOT LANDSCAPE REQUIREMENTS:

See Appendix C for all landscaping related requirements.

EXAMPLES OF PIEDMONT VERNACULAR



ARCHITECTURAL STYLES:

This Code of Development requires that the elevations of every house be designed to be consistent with one or more historical architectural styles found in Warrenton, Fauquier County, or the broader Virginia Piedmont in order to create a sense of place for Carter’s Crossing with a scale and character that is sympathetic to the regional context.

The range of architectural styles allowed includes: Federal, Colonial Revival, Bungalow and American Foursquare. Other historical styles documented to be found repeatedly in the Town of Warrenton, Fauquier County or the greater Piedmont may also be included at the discretion of the Zoning Administrator taking into account the advice of the Community Architect. Contemporary housing design will only be allowed on a limited basis, with no more than one such house allowed on any block and only then if it is determined by the jurisdiction that the design complements rather than conflicts with surrounding buildings and does not undermine the broader principle of creating a community with a character reflective of a traditional Piedmont neighborhood. Examples of acceptable contemporary variation are included at the end of this Appendix A.

Elevations will generally adhere to the key defining features or styles identified to include massing, height, roof-line, windows, doors, porches and trim details. These principles are grounded in historic precedent. Contemporary interpretations of building elements, such as windows, shall be allowed provided the overall form and massing are consistent with the chosen style, and the house retains an overall architectural character derived from that style.

At the time of application for a building and/or zoning permit, the Community Architect shall review the proposed elevations and accompanying details as required sufficient to determine compliance with the Code of Development, including compliance with the stylistic and materials standards and variations set forth in this Appendix and in Appendix B. The community Architect review of the proposed elevations of each house shall be required prior to issuance of a zoning permit for said house by the Zoning Administrator.

DISCLOSURE:

The following sketches, details, dimensions and photographs are for illustrative purposes only and are not intended to be exact representations of the elevation required for each house. Alternative designs and details are permitted, provided they adhere to the general characteristics for the particular architectural style or styles identified for each house, and are approved by the Zoning Administrator, taking into account the advice of the Community Architect

FEDERAL STYLE:

Federal architecture is formal and balanced in design, with classically inspired detailing. Federal Style buildings generally are relatively plain and rectangular, oriented with side-gables, with their ridge lines parallel to the street. Windows aligned horizontally and vertically, are double-hung, with multi-pane sashes. In Federal Style buildings, cornices typically have a modest projection, and the principal ornamentation of the façade is lavished on the door surround, which often features pilasters, full classical entablature, and transom window. Federal houses were most typically built in brick in this area, although some frame examples can also be found.

KEY DEFINING FEATURES OF THE FEDERAL HOME:

- Formal symmetry, with three and five bay facades most common.
- Gable roof-line, with center or end chimneys.
- Central entrance on five-bay facades, but off center on three-bay facades.
- Modillion entrances with rectangular transoms or elliptical fanlight above doors; with or without sidelights.
- Double hung windows, usually with 6 to 9 panels per sash, narrow muntins; windows never paired.
- Modest cornice detailing.

GENERAL STANDARDS:

MASSING: Rectangular or block form oriented with the long side facing the street. Façade is symmetrical, with three and five bays most common. Chimney placement is usually at either end of the main block of the house. Shifting the chimneys out from the center towards the end walls permitted greater flexibility for interior room configurations. In some high-style houses it is not unusual to see a pair of chimneys at either end of the house.

ROOF:

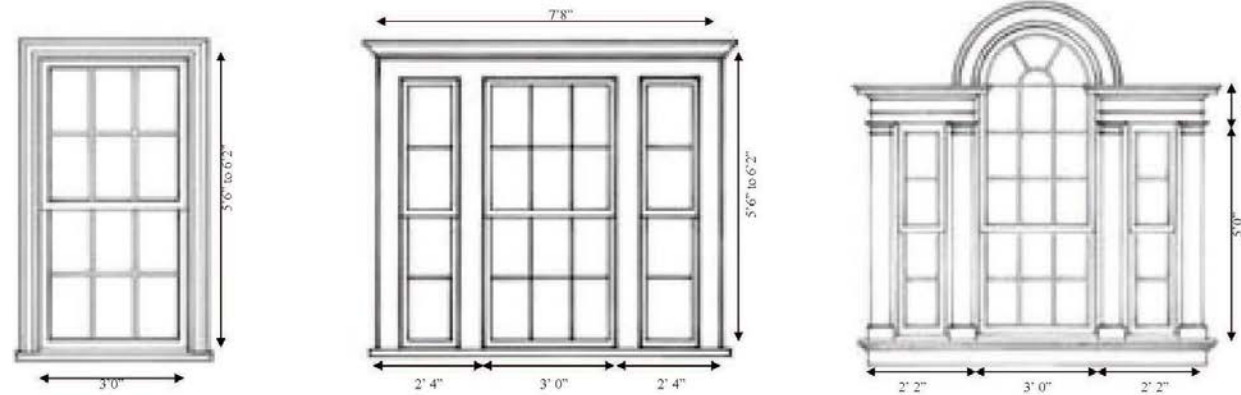
Typically a low pitched side gabled or shallow hipped roof. Dormers not typical, but sometimes found, particularly in larger formal homes. Sometimes parapet walls on gable end.

- Gable Roof
- Classical Cornice
- Typically Brick (But may vary)
- Symmetrical Facade
- Lintels Above Windows
- Small Classical Portico



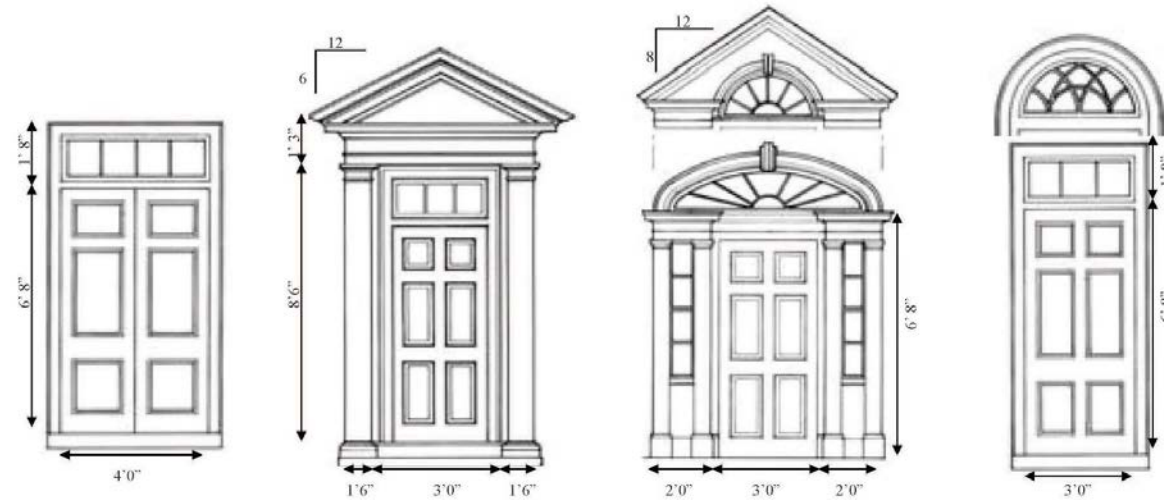
WINDOWS:

Windows, aligned vertically and horizontally, are double-hung, and were originally glazed with six-over-six panes. Many windows are simply flush with the wall without any decorative lintel, or when present, lintels are simple, usually constructed with a keystone or a segmental arch. Flatjack arch design elements, including swags, garlands, urns and geometric patterns. Double-hung windows have six panes per sash. In three story houses, window openings may get smaller as they go up the façade. For example, the first floor windows might be large paned six-over-six sashes and the top floor might be a three-over-three sash. This stylistic treatment was used to enhance the perception of a building's height. Several types of ornamental window forms were used as decorative elements in Federal houses including semi-circular windows; Palladian windows; and three-sectioned windows. The windows were originally all shuttered with solid shutters on the first floor and louvers on upper stories. Shutters should be sized and mounted to appear functional.



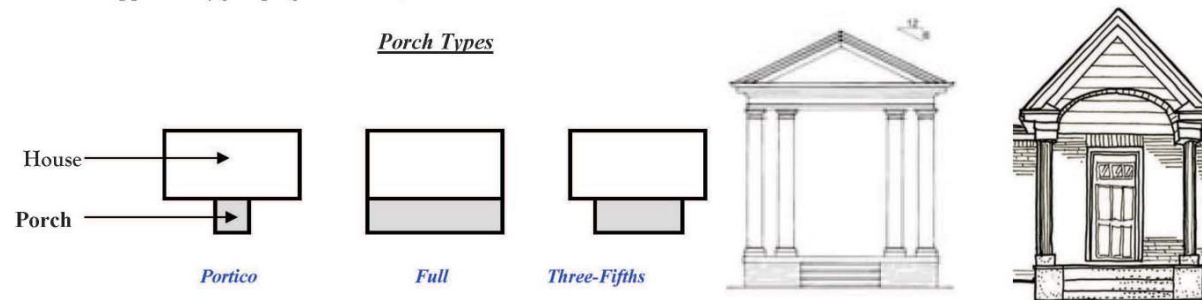
DOORS:

Doors are typically multi-paneled. The front door is usually centered on the primary façade with a semi-circular or elliptical fanlight window above it, or flanked by sidelights that typically have lead tracery.



PORCHES:

Federal homes rarely have full porches. The door is often accentuated with simple pilasters and a broken triangular pediment. In some houses, the entry pediment is carried forward to create an entrance portico. The portico may be rectangular or elliptical and is often supported by groupings of slender, Doric columns.



COLONIAL REVIVAL STYLE:

The Colonial Revival style encompasses a number of architectural traditions, such as English, Dutch, and Spanish colonial influences that were combined during the late nineteenth and early twentieth centuries to create buildings that celebrated Colonial America. Thus Cape Code cottages, gambrel roofed houses, large formal Georgians, Federal townhouses, columned southern mansions, in a wide variety of one, two and two and a half story houses can fall under the Colonial Revival heading, so long as entrances, cornices and windows are outfitted with classical details.

KEY DEFINING FEATURES OF THE COLONIAL REVIVAL HOME:

- Small to large scaled, simple massing.
- Symmetrical façade with orderly relationship between windows, doors and building mass.
- Classical details on doors, windows, roof lines and corners.
- Prominent front entry; door with decorative pediment supported by pilasters or portico supported by classical columns.
- Multi-pane windows.
- Steep side gable 7:12 or 12:12 main roof pitch

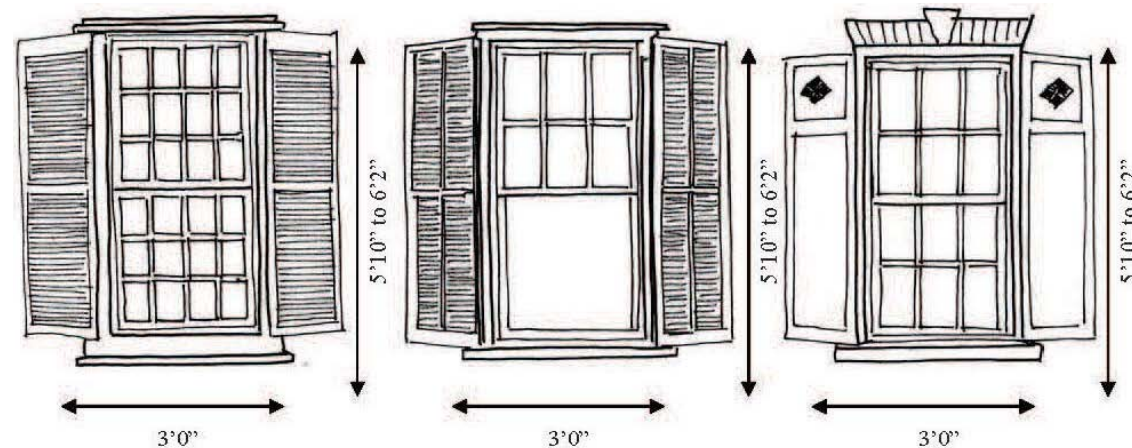


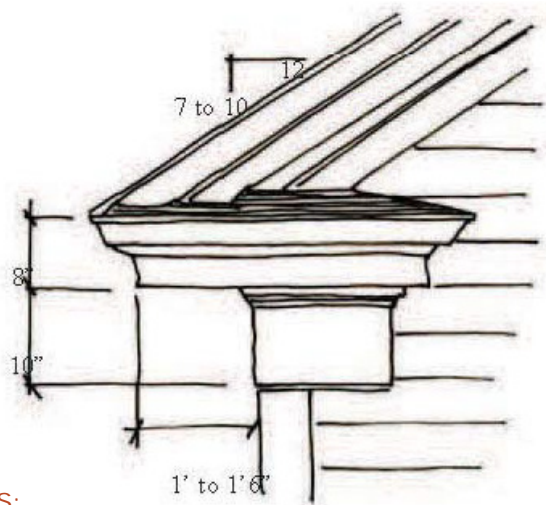
GENERAL STANDARDS:

MASSING: The Colonial Revival house is rectangular in form and one to 2.5 stories in height with a side-gabled roof. The façade will feature either three or five bays with a centered door and symmetrically balanced windows. Chimneys are often located at the gable end of the houses. Projections to Colonial Revival houses should be designed as secondary elements that respect the overall massing and scale of the main body of the house. A projection should never be larger or wider than the main mass of the residence.

WINDOWS

Colonial Revival windows are symmetrically placed, and frequently occur in pairs. Double-hung windows feature six-over-six, eight-over-eight, nine-over-nine, or twelve-over-twelve window sashes. Multipane upper sashes may also occur over a single-light lower sash. The muntins on Colonial Revival windows are typically a thicker (7/8" wide) traditional profile. Brick dwellings typically have a 2 inch brickmold and a soldier course at the head of the window while dwellings with siding have 6 inch fl at trim. Some brick homes will feature a jack arch over windows instead of a soldier course. Shutters are typically louvered or paneled, and should be sized and mounted to appear functional.



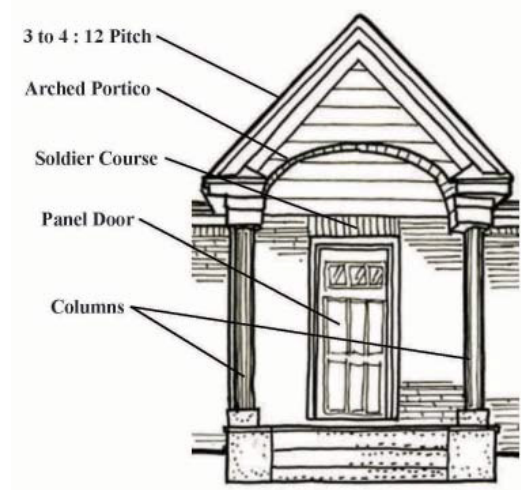
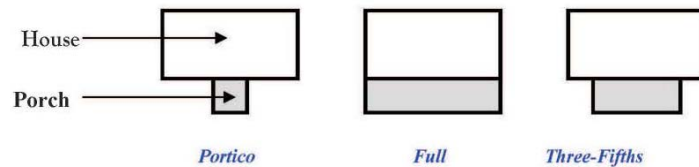


EAVES:

The Colonial Revival typically has an 18 inch boxed eave. Dentilled, modillioned, or bracketed cornices and other classical details are commonly found on roof eaves and gable ends.

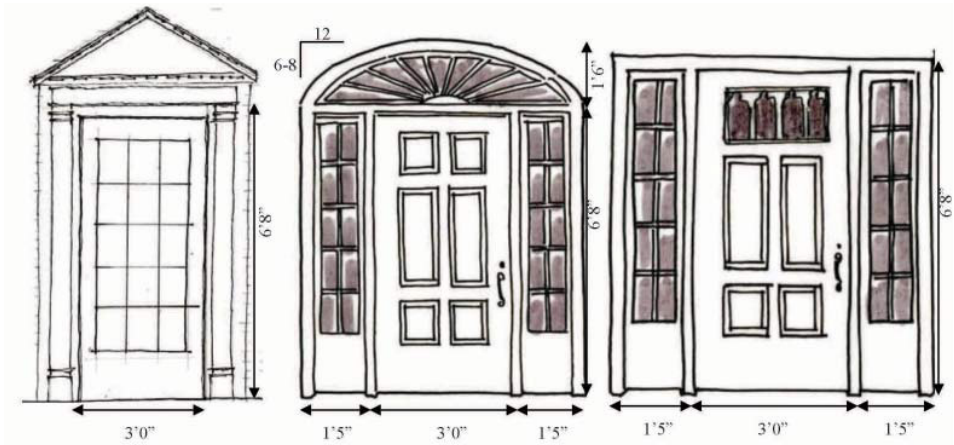
PORCHES

The Colonial Revival includes entry porticos, full width front porches and wrap around porches in key areas. Porticos consist of classical columns (10 to 12 inches wide and 9 to 10 feet tall), either smooth or fluted that supported an arch or an entablature over the front entry. Porticos can also be flattened against the house with a broken, segmental or triangular pediment or entablature supported by pilasters (flattened columns). If a railing is included, it is typically wrought iron or wooden square baluster spaced no more than 4 inches on center.



DOORS

Triangular, segmental and broken pediments over pilasters as well as fanlight and sidelights often flank a six-panel door, which is centered on the façade. When a pediment and pilasters are not used, brick dwellings have a 2 inch brickmold and a soldier course at the head of the door while dwellings with siding have 6 inch straight trim.

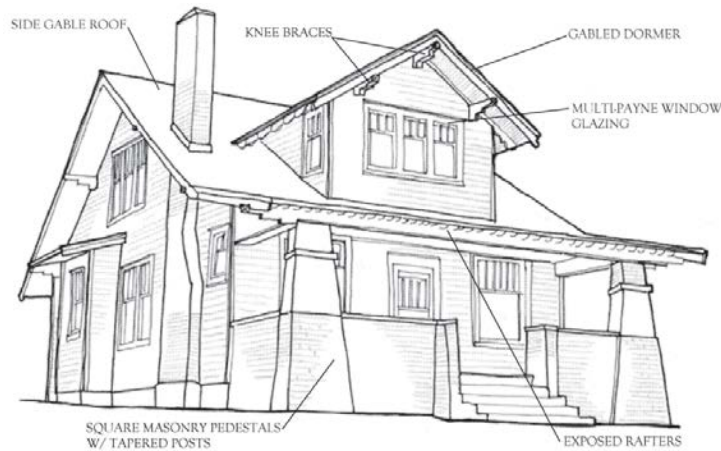


BUNGALOW STYLE:

One of the chief principles of Bungalow design was the importance of light and openness. The harmony between dwelling and nature takes the form of wide open porches, wood structural members and generous windows. The Bungalow’s roots in the Arts and Crafts movement accounts for the prevalence of windows as character defining features; as a result, Bungalows may feature an assortment of glass and casement windows, as well as double-hung windows.

KEY DEFINING FEATURES OF THE BUNGALOW HOME:

- One-and-a-half story; simple horizontal lines.
- Low pitched projecting roof rafters and triangular knee braces and a gabled or shed dormer.
- Prominent low, broad front porch supported by square masonry pedestals with straight or tapered wood posts; occasionally solid brick or stucco supports are found.
- Multi-paned windows and door glazing in a variety of geometric shapes.



GENERAL STANDARDS:

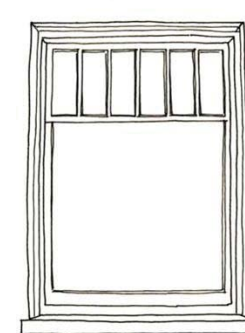
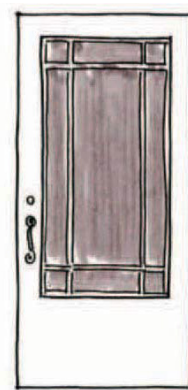
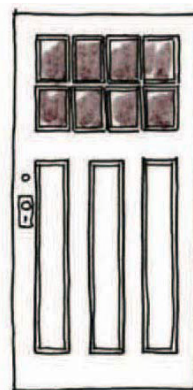
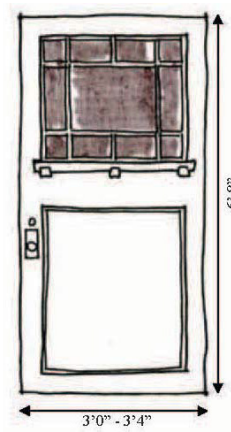
MASSING: A bungalow is a one or one-and-one-half story home, square or rectangular in plan with a gabled roof and prominent front porch. Projections to the main mass can be sensitively located to the rear of the building or as smaller side wings, and are typically a single story in height. Projections should never be larger or wider than the main mass of the house.

DOORS:

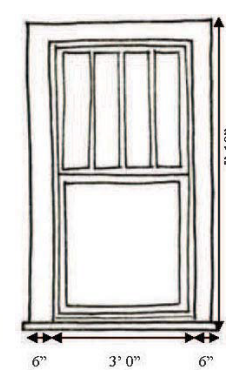
Bungalows feature a variety of doors that reflect both the Craftsman and Prairie styles. In most cases, wood panel doors with upper glazing are flanked by sidelights and a transom. Glazing is always divided by thick wood muntins into geographic motifs. Brick dwellings typically have a 2 inch brick mold and a soldier course at the head of the door while dwellings with siding have 6 inch straight trim.

WINDOWS:

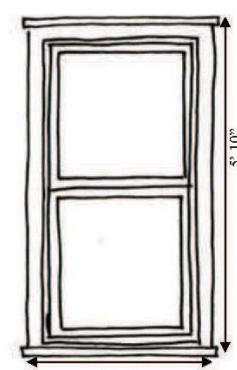
A variety of multi-light double hung and casement windows occur on bungalows, with three-over-one, four-over-one and five-over-one double hung windows are the most common window configurations. Sometimes casement windows that feature small panes divided into various patterns are used. Brick dwellings typically have a 2 inch brickmold and a soldier course at the head of the window while dwellings with siding have 6 inch straight trim. Shutters were not used on the Bungalow.



Feature Window



Four Over One



One Over One

ROOF:

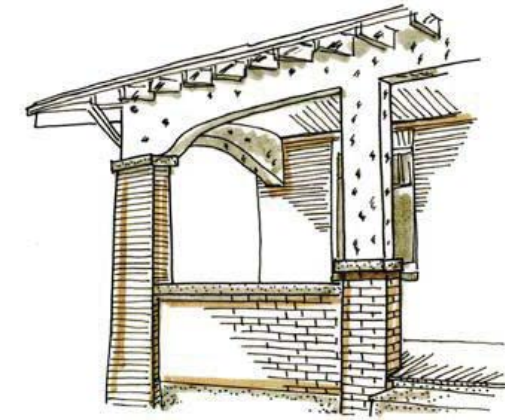
The Bungalow has a side or front gabled roof, with wide eaves. The pitch of the main roof typically ranges from 6:12 to 8:12 and dominates the bungalows horizontal silhouette. A large single dormer with a gabled or shed roof typically is located on the main roof. An exterior end chimney usually projects through the eaves. The porch roof is slightly shallower with a 3:12 to 5:12 pitch. This shape sometimes varies with two intersecting low-pitched front gables or a hipped or pyramidal roof. Projections should have lowpitched roofs that are subordinate to the primary roof line.



Side Gabled Roof with Gabled Dormer

PORCHES:

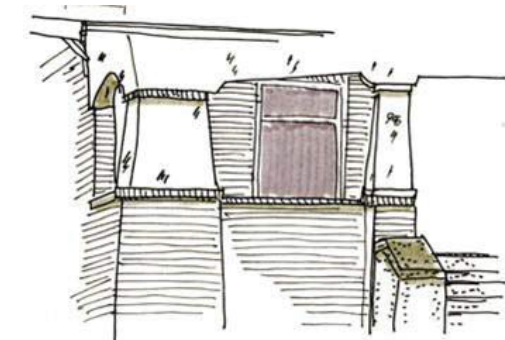
Bungalows typically have full-width front porches supported by a variety of porch supports that are unique to the Craftsman tradition. It is common to find massive brick pedestals with thick tapered wood columns; occasionally the columns will be paired on top of the pier. These piers and columns can also be constructed of brick, stone, concrete or a combination of materials, including stucco. Brick knee-walls capped with concrete coping usually span between the piers. Other variations will feature wood railings with 2 inch square balusters closely spaced together or a panel of shingles. Bungalow porches are typically accessed by concrete steps that match the foundation that sometimes feature flanking brick and concrete side...



Brick Pier and Stucco Post and Porch Entablature with Knee Wall Capped with Concrete



Brick Pier with Concrete Capping and panel railing



Brick Pedestal and Stucco Post with Brick Knee Wall

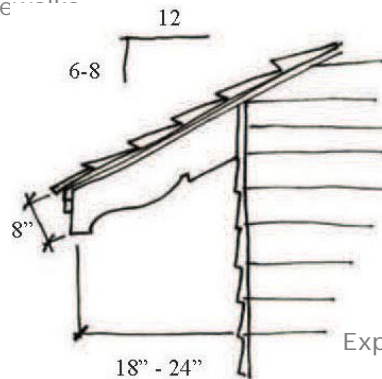


EXISTING WARRENTON HOME

Exposed Rafter Tails and Knee Braces

EAVES:

Triangular knee braces and deep overhanging eaves with exposed beam and rafter tails are Bungalow hallmarks. The predominate type of eave in the Bungalow style is the open eave with exposed rafters tails; eaves are almost never boxed or enclosed.



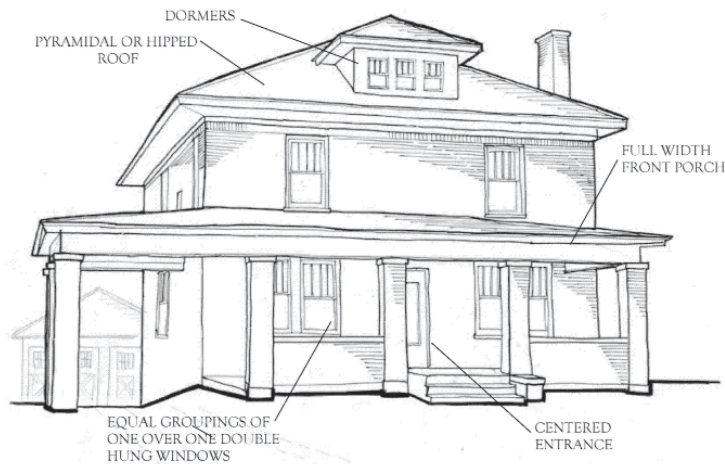
Exposed Rafter Tail

AMERICAN FOURSQUARE STYLE:

The American Four-Square began appearing on American Streets around the turn of the twentieth century. This new style promised affordable, utilitarian housing for middle-class families trying to gain the most from a modest lot. Simplistic and practical, American Foursquares are a common housing type in Warrenton and Fauquier County.

KEY DEFINING FEATURES OF THE FOURSQUARE HOME:

- Cubical-shaped, two-story house, square in plan and elevation.
- Hipped or pyramidal hipped roof with hipped, gabled or pedimented dormers on one or more sides of main roof.
- Deep, full-width or wrap-around porch, one story in height, with significant structural components.
- Centered front entrance with equal groupings of windows on either side of both stories or off-centered entrance with symmetrical upper story windows.
- Craftsman or Colonial Revival influence present on doors, windows, porches and eaves.



GENERAL STANDARDS:

MASSING: The American Foursquare is characterized by its simple box-like form and low-hipped roof, rather than its style. The standard American Foursquare truly is square in form often measuring 28' x 28'; 29' x 29' or 30' x 30'. The American Foursquare is always two-stories tall. A window and door composition on the front façade typically consists of two windows (sometimes paired) and a centered or off-centered door on the first floor, two windows (sometimes paired) on the second floor and a centered dormer in the roof. The American Foursquare typically has an exterior end chimney projecting through the eaves. Projections to the basic square mass should be designed as secondary elements or wings that are compatible with the overall massing and scale of the main square mass. A projection should never be larger or wider than the main mass. The most appropriate location for extending the main mass is to the rear of the property to minimize visibility from the street.



ROOF:

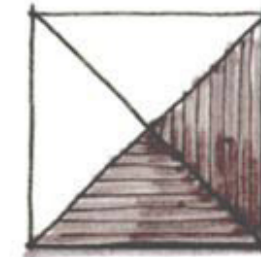
The American Foursquare roof is either hipped or pyramidal hipped with a hipped, gabled or pedimented dormer on one more sides with a pitch ranging from 6:12 to 8:12. The roof is typically accented with a wide eave.



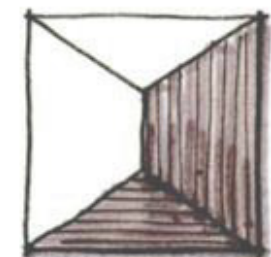
Gable Dormer



Hipped Dormer



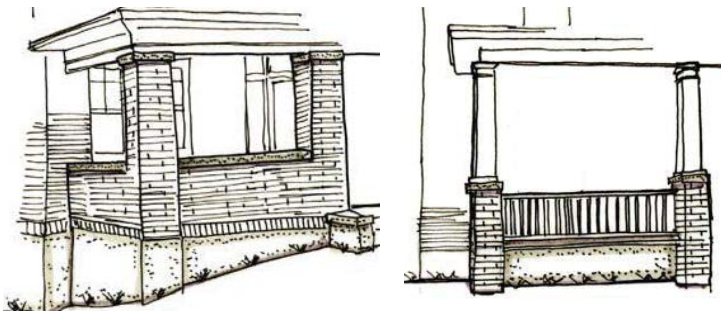
Pyrimidal Roof



Hipped Roof

PORCHES:

A full-length, one story front porch is a widespread element of the American Foursquare. The porch often extends to one side as either a wrap around porch or as a porte-cochere for parking vehicles. American Foursquare porches are typically accessed by concrete steps that match the foundation with flanking square brick posts. Because most American Foursquares are brick, most porch supports are 12 inch square brick posts of full height. Brick knee-walls capped with concrete coping usually span between the brick posts. Other variations will feature a brick pier with tapered wood posts (10 to 12 inches wide) and wood railings with 2 inch square balusters.



Brick Piers with Knee Wall Capped with Concrete Coping

Tapered Post on Brick Pedestal with Wood Railings



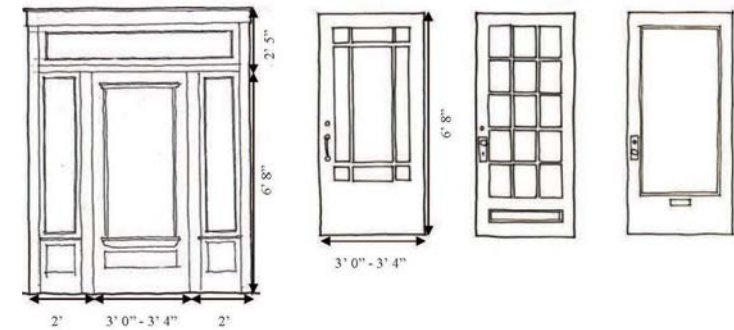
Brick Piers with Wood Railings

DOORS:

The American Foursquare door is similar to other front doors of the 1920s with rectangular shaped glass and raised wood panels. Sidelights and a transom often accent the front door while allowing more light into the living area. The design of the sidelights and transom will often match that of the door. Brick dwellings typically have a 2 inch brickmold and a soldier course at the head of the door while dwellings with siding have 6 inch straight trim.

WINDOWS:

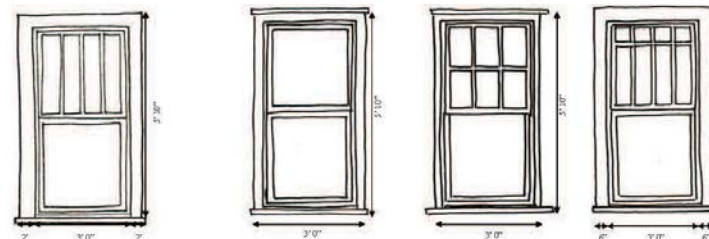
Paired, double-hung wood windows with four-over-one sashes typify the American Foursquare. Other common window sash types include a one-over-one or a six-over-one double-hung window. Sometimes decorative six or eight-over-one windows were used. A Brick dwellings typically have a 2 inch brickmold and a soldier course at the head of the window while dwellings with siding have 6 inch square trim. Shutters were rarely used on the American Foursquare. Window placement reflects the American Foursquare floor plan. For example, sets of double or triple windows, and in some instances a bay window, on a side elevation will denote the first floor living room/dining room or a second floor master bedroom. A small window between floors will light the staircase, while a small second floor window located between larger windows indicates a bathroom or closet.



STYLISTIC INFLUENCES:

The modest American foursquare design lent itself to changing architectural tastes effortlessly and inexpensively. Typical influences include the Colonial Revival or Craftsman styles as follows.

- Colonial Revival: Pedimented gable over a porch entry; Classical columns; Cornice with dentils or modillions; Dormer with a Palladian-style window.
- Craftsman: Low-pitched roof; Tapered posts.; Wide eaves with exposed rafter tails or knee braces; Large gabled or shed dormers with exposed rafter tails and braces.



CONTEMPORARY VARIATIONS IN STYLE:

These representative architect-designed homes exemplify innovative energy-efficient designs sensitive to both the natural and built context. In Carter's Crossing, the builder may elect to build 10% of new styles derived from both local architectural cues and energy efficiency and low impact development principals that determine massing, roofing, solar orientation, wind-power, materials, and building placement on the lot.

PHIL-MARAHAM ARCHITECTS "created a house with as little environmental impact as possible while maintaining a high level of design and detail." The building takes cues from the local rural context expressed in the simple forms of barns and farmhouses.

The building maximizes energy efficiency by its orientation and simple massing. It is an insulated passive solar house with an open plan that allows southern daylight to enter all living spaces.



BURR AND MACCULLUM'S design derives its inspiration from the nearby Shaker community in New England. The layout resembles the New England farmhouse layout with outbuildings all close to the main house, but this house is an altogether new arrangement of those forms and the types of window openings typically found on the original farmhouses



CHRISTINA BROWN, architect, completes work that represents a contemporary interpretation of local vernacular design. This building reflects an interest (and respect) for its context and place, but it also stands as an example of a building in its own place and time. The windows are energy efficient single pane or double panes. The building includes roof overhangs and the strategic placement of windows to maximize solar energy.



KAPLAN THOMPSON ARCHITECTS uses traditional, simple forms with thoughtfully placed windows and overhangs to take advantage of the views and to create a livable, open and modest plan. The home is constructed with double-thick walls, triple glazed windows, solar tubes on the roof and a well-insulated, radiant slab, including innovative detailing throughout.



BURR AND MACCULLUM pre-fabricated design derives its inspiration from a mill complex. The design represents how exciting new cost-effective forms and styles can be fostered with a broad interpretation of compatibility and of what defines historical precedent.



Permission to use these photos in a pattern book insert from these architectural firms was granted to Fauquier County Planning Staff in May and June 2011.

BUILDING MATERIALS STANDARDS:

BUILDING WALLS:

Building walls shall be limited to the following materials:

- Wood siding, including Board and Batten (and cedar shingles, where architecturally appropriate for style).
- Fiber cement siding (such as Hardie-Plank).
- Stucco (two or three coat over metal lathe on wood or masonry backing). The use of exterior polystyrene sheet board is not allowed. Stucco homes must have the stucco return back to window casing (brickmold is acceptable) unless substantial trim is applied as deemed appropriate by the Zoning Administrator. The window must appear inset into the thickened wall and not flush or proud of the stucco unless in a bay condition.
- Brick
- Natural or cultured stone. Concrete masonry units shall not be considered acceptable for exposed applications.
- Vinyl siding, limited to Premium Grade. Premium Grade is defined as beaded vinyl siding with no less than a 6.5" exposed lap and a nominal wall thickness of 0.004".

RETAINING WALLS:

Retaining walls shall have an exterior veneer limited to the following materials:

- Natural Stone or Brick
- Segmental retaining wall systems may be acceptable provided that they are designed and constructed to appear natural.

ROOFS:

- Primary roof masses shall be architectural grade asphalt shingles, slate, wood, cedar and faux slate materials, metal roofs, including standing seam. Secondary roof masses may be clad in galvanized steel, copper, anodized or ESP aluminum.
- Oversized hip and valley caps are prohibited.
- Gutters, down spouts, rain chains, when used, shall be made of galvanized steel, copper and anodized or ESP aluminum. Down spouts shall be placed at the corner of

the building least visible from nearby streets or integrated into the façade.

- No through roof penetrations for mechanical or electrical devices may be visible from the street, unless painted to match roof color.

WINDOWS:

- Wood, aluminum clad wood, or vinyl. True divided light or simulated divided light (SDL) sash with muntin profile as appropriate for particular architectural style.
- Window sills shall have a minimum 2" sill horn.
- Window sills in masonry construction shall project a minimum of 1 inch from the face of the building.
- Shutters, when used, must be sized to match the openings. Shutter designs shall be in accordance with specific architectural style of the home as shown on the architectural drawings.

DOORS:

- Painted or stained wood, fiberglass or steel with raised panel profiles.
- Transoms and sidelights shall have true divided lights or simulated divided lights with authentic muntins and mullions.
- Garage doors shall be wood, fiberglass or aluminum and shall be painted or stained. Garage doors on front or side loaded garages shall be a maximum of 10' in width. Rear loaded garages may have larger doors.

PORCHES, DECKS, AND BALCONIES:

- Porch railings shall be made of wood or composite materials; while porch floors may be wood, composite wood, or masonry; and posts and columns may be wood, composite wood, masonry, or fiberglass.
- Porches may not be less than 6 feet in depth.
- Glass or screened enclosures are not permitted on street facades. Porch ceilings may be enclosed with painted or stained wood or composite wood.
- Exposed joists shall be painted or stained.
- Stoops shall be made of wood, brick, stone, or concrete.

TRIM:

- Exterior architectural trim shall be suitable for retaining a painted finish or be prefinished.
- Stone or cast stone trim details may be used.
- Metal elements shall be natural colored galvanized steel, anodized or ESP aluminum, marine-grade aluminum, copper, cast iron, or wrought iron.
- All corner trim shall be a minimum width of 3 inches.

CHIMNEYS:

- Natural Stone or Brick

FENCES AND GARDEN WALLS:

- Fence material may be wood or painted wood
- Wall material may be natural stone or brick

DRIVEWAY, APRONS AND PARKING PADS

- Driveways and parking pads are to be concrete, asphalt, or brick
- Aprons to be concrete

COLORS:

- Building wall shall be one color per material used.
- Paints for masonry applications shall have a fl at finish.
- All exterior wood siding shall be painted or stained. Trim (balcony and porch posts, rails, window trim, raft er tails etc.) shall be painted to compliment the main color of the building. An accent color, for items such as the front door, balusters, trim, and shutters, may be used. Garden walls and fences shall be in a range of colors approved for their respective material and similar to the main house.

DEVIATIONS FROM BUILDING MATERIAL STANDARDS:

The Zoning Administrator may approve deviations from these building materials standards. This applies in select locations where uniformity is not necessary or visible to adjacent properties. Deviations may be made in a manner that does not detract from the goal of traditional design and architecture.

GENERAL LANDSCAPE STANDARDS:

As with Site Planning and Architecture, overall Landscape Design is an integral part of the image and character of the community. It is important that the community possess a well-landscaped appearance and high quality environment.

TREE PRESERVATION:

The preservation of existing trees is important and shall be a fundamental part of any Landscape Plan. The purpose is the preservation of structurally sound, healthy and functional trees and forested areas. Site development shall occur in a manner that limits the extent of land disturbance to the minimum area needed to construct the proposed use. Tree preservation standards shall also minimize the retention of high-risk tree conditions that have the potential to cause personal injury or property damage. The intent of Arrington is to preserve all trees not necessary for construction of infrastructure associated with the development. Clear cutting of trees in the open space is prohibited and shall be limited to those areas needed for construction of stormwater management facilities and trails and other amenities shown on this plan.

STREET TREE & STREET LIGHT REQUIREMENTS:

Street trees must be planted along both sides of all proposed public streets within the community at an interval of 1 tree per 40 linear feet of street (excluding intersections). Street trees will be planted within Street Tree Planting Easements located adjacent to and outside of the public right-of-way along street frontages with adjacent lots (see Typical Lot Details). Variations in spacing shall be permitted when necessary to accommodate other improvements such as utility lines, intersection sight distance, fire hydrants, driveways, etc. as long as the total number of required trees are installed along each street. All street trees shall be deciduous with a minimum of 2.5" to 3.5" caliper and shall be the same species along both sides of each street. Species may change at each intersection.

Street lights shall be of a decorative acorn design (or such other decorative design as may be requested by the Developer and approved by the ARC).

YARD PLANTINGS:

A variety of landscaping is required for all individual lots, between the front of the house and the sidewalk. The character of this landscaping shall vary, depending on the space available, but must predominantly be comprised of flowering shrubs and annual and perennial planter beds. Landscaping should consist of a limited variety of trees, shrubs, and groundcovers to create an attractive, well-designed, cohesive landscape. Shrubs and ground covers should be planted in masses of a single species or cultivars in sufficient numbers to create beds or drifts of plants. Shade trees and ornamental trees will also be provided at select locations where space allows.

The species of trees, shrubs, grasses and other vegetative cover shall be representative of indigenous species of existing plant communities in the Town of Warrenton, Fauquier County and the Virginia Piedmont. All landscape materials shall conform to the American Standard for Nursery Stock as published by the American Association of Nurserymen with the following minimum size or height standards as of the installation date:

Deciduous Street and Canopy Trees	2.5" caliper
Ornamental and Understory Trees	6' height
Coniferous Trees	6' height
Evergreen and Deciduous Shrubs	18" spread or height

FENCES & WALLS

Proper fencing can have a unifying effect upon a neighborhood. Fencing on a lot may not be located closer to any street than the Front of the house located on such lot. Fences must be constructed of natural wood, 3 or 4 rail split, wrought iron, composite material, or PVC (of simulated wood appearance). Fences made of wood must be of natural color, constructed with the 'finished' side facing out, and properly maintained. Wood privacy fences must have horizontal (level, non-sloping) tops that step to accommodate any change in slope. The design of the fence installation may include brick, stone, or stucco piers at corners and significant changes in direction.



The bottom of installed fences may either step with or be parallel to the ground in case of steep slopes. The bottom of the boards must be 4" from the ground to allow for drainage. The height of all fencing must be a minimum of 48 inches but not greater than 72 inches. Chain link fences will not be approved under any circumstances. Wrought iron/aluminum fencing around pools must be black and properly maintained.

Garden walls not exceeding 2 feet in height (unless otherwise approved by the ARC) may be incorporated into front yard landscape designs. Garden walls shall have an exterior veneer of natural stone or brick. Segmental wall systems may be acceptable provided that they are designed and constructed to appear natural.



WOOD FENCE



STONE COLUMN & WALL

RECOMMENDED TREE SPECIES

RECOMMENDED STREET TREES

- | | |
|----------------------------|-------------------|
| • Acer rubrum – | Red Maple |
| • Fraxinus pennsylvanica – | Green Ash |
| • Fraxinus americana – | White Ash |
| • Platanus acerifolia – | London Plane Tree |
| • Quercus phellos – | Willow Oak |
| • Ulmus parvifolia – | Lacebark Elm |
| • Zelkova serrata – | Zelkova |

RECOMMENDED CANOPY TREES

- | | |
|-----------------------------|--------------|
| • Acer saccharum – | Sugar Maple |
| • Liquidambar styraciflua – | Sweetgum |
| • Liriodendron tulipifera – | Tulip Poplar |
| • Nyssa sylvatica – | Black Gum |
| • Platanus occidentalis – | Sycamore |
| • Quercus palustris – | Pin Oak |
| • Quercus acutissima – | Sawtooth Oak |



FENCING & MONUMENT PLAN

RECOMMENDED ORNAMENTAL/FLOWERING TREES

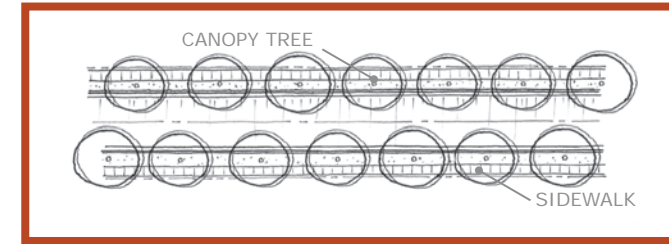
- *Aesculus parvifolia* – Bottlebrush Buckeye
- *Amelanchier canadensis* – Serviceberry
- *Betula nigra* – River Birch
- *Cercis canadensis* – Eastern Redbud
- *Cornus florida* – Flowering Dogwood
- *Chionanthus virginicus* – White Fringetree

RECOMMENDED EVERGREEN TREES

- *Cedrus deodora* – Deodar Cedar
- *Ilex opaca* – American Holly
- *Juniperus virginiana* – Eastern Red Cedar
- *Magnolia grandiflora* – Southern Magnolia
- *Magnolia virginiana* – Sweet Bay Magnolia
- *Pinus virginiana* – Virginia Pine
- *Thuja occidentalis* – Eastern Arborvitae

DEVIATIONS FROM GENERAL LANDSCAPE REQUIREMENTS:

The Zoning Administrator may approve deviations from the Landscape Requirements and Plant List set forth in this section upon a finding that deviations do not change the overall character, quality and purpose of the landscaping but rather enhance these elements. Deviations from these elements should be outlined in the Code of Development Site Plan.



STREET TREE PLANTING DIAGRAM

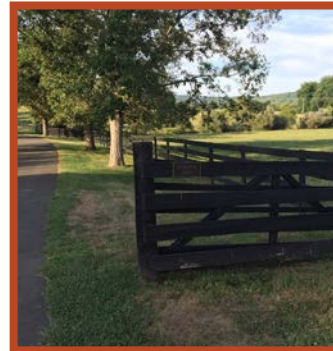
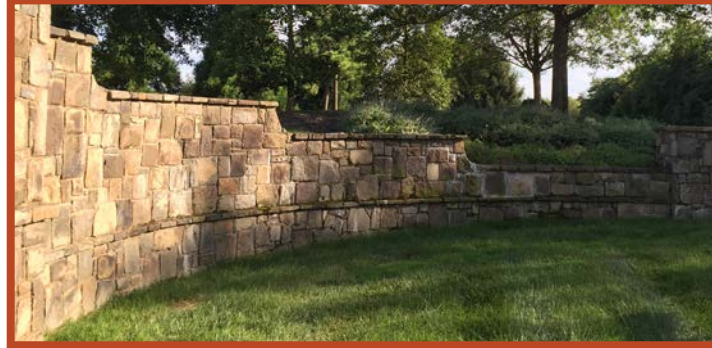
- Single canopy species (per street)
- Formal canopy spacing at 40 feet on center

Note: See street tree requirements in Part II for additional planting requirements and design flexibility.



SIGNAGE:

A Comprehensive Sign Package will be submitted to the Board of Supervisors as an amendment to this Code of Development prior to issuance of the first residential building permit for the project. Said Package will ensure that signage within Arrington incorporates a unified design theme, and will outline permitted sign types, materials, and corresponding dimensional standards.



Arrington

CODE OF DEVELOPMENT

