IN-N-OUT BURGER MAJOR MODIFICATION A PORTION OF LOT 1-B, BLOCK 1, ARVADA MARKETPLACE FILING NO. 1 – SECOND AMENDMENT MINOR SUBDIVISION SITUATED IN THE NW 1/4 OF THE SW 1/4 OF SECTION 14, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE 6TH P.M.

PROJECT CONTACTS

PROPERTY OWNER/ DEVELOPER

IN-N-OUT BURGERS 13502 HAMBURGER LANE BALDWIN PARK, CA 91706 TEL: (626) 813-8279 CONTACT: KATIE SANCHEZ EMAIL: KSanchez@innout.com ARCHITECT

GHA ARCHITECTS 14901 QUORUM DR, SUITE 300 DALLAS, TX 75254 TEL: (972) 239-8884 EMAIL: RGriffin@gha-architects.com CONTACT: RONNIE GRIFFIN

CIVIL ENGINEER

GALLOWAY & COMPANY, INC. 6162 S. WILLOW DRIVE, SUITE 320 GREENWOOD VILLAGE, CO 80111 TEL: (303) 770-8884 EMAIL: PhilDalrymple@gallowayus.com CONTACT: PHIL D'ALRYMPLE, PE

LANDSCAPE ARCHITECT GALLOWAY & COMPANY, INC. 6162 S. WILLOW DRIVE, SUITE 320 GREENWOOD VILLAGE, CO 80111 TEL: (303) 770-8884 EMAIL: JonahWeiss@gallowayus.com CONTACT: JONAH WEISS

SURVEYOR

GALLOWAY & COMPANY, INC. 1155 KELLY JOHNSON BLVD., SUITE 305 COLORADO SPRINGS, CO 80920 TEL: (719) 900-7220 EMAIL: BrianDennis@gallowayus.com CONTACT: BRIAN J. DENNIS, PLS

TRAFFIC ENGINEER GALLOWAY & COMPANY, INC. 6162 S. WILLOW DRIVE, SUITE 320 GREENWOOD VILLAGE, CO 80111 TEL: (303) 770-8884 EMAIL: BrianHoran@gallowayus.com CONTACT: BRIAN HORAN, PE

ENTITLEMENTS

GALLOWAY & COMPANY. INC. 6162 S. WILLOW DRIVE, SUITE 320 GREENWOOD VILLAGE, CO 80111 TEL: (303) 770-8884 EMAIL: ZellCantrell@gallowayus.com CONTACT: ZELL CANTRELL, PE

CITY CONTACTS

PLANNING

CITY OF ARVADA 8101 RALSTON ROAD ARVADA, CO 80003 TEL: (720) 898–7440 CONTACT: ROB SMETANA

TRAFFIC CITY OF ARVADA

8101 RALSTON ROAD ARVADA, CO 80005 TEL: (720) 898-7649 CONTÀCT: JERI PULKINEN

STORM, WATER & SANITARY

CITY OF ARVADA 8101 RALSTON ROAD ARVADA, CO 80003 TEL: (720) 898–7676 CONTACT: ÉMILY YOSHIHARA

FIRE PROTECTION

ARVADA FIRE RESCUE DISTRICT 7903 ALLISON WAY ARVADA, CO 80005 TEL: (303) 403–0477 CONTACT: KEVIN KIRBY

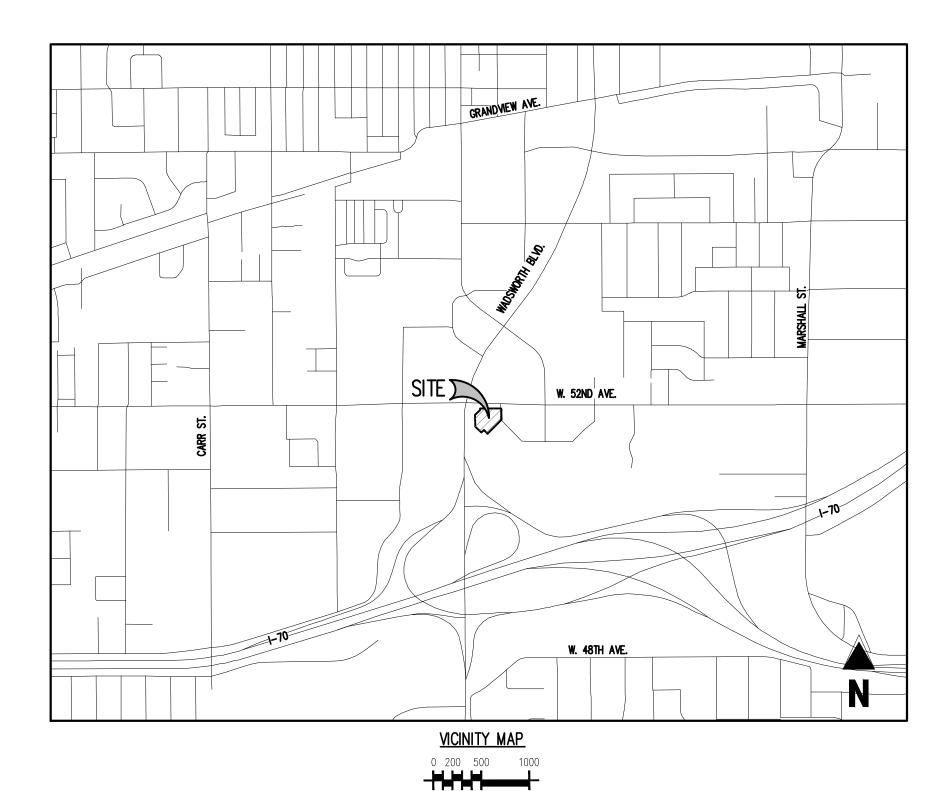
ENGINEERING ADMINISTRATION CITY OF ARVADA 8101 RALSTON ROAD ARVADA, CO 80003 TEL: (720) 898-7612

PLANNING LANDSCAPE CITY OF ARVADA 8101 RALSTON ROAD ARVADA, CO 80003 TEL: (720) 898–7441 CONTACT: SHANE GREENBURG

CONTACT: DON MCPHERSON

LIST OF ABBREVIATIONS SHT - SHEET Δ – Deflection angle LENGTH r – Radius CB - CHORD BEARING C – CHORD LENGTH N - NORTH/NORTHING W - WEST e – east/easting s — south DET – DETAIL EX – EXISTING W/— WITH PC - POINT OF CURVATURE/PORTLAND CEMENT WWF – WELDED WIRE FABRIC VERT – VERTICAL OC - ON CENTER FDC - FIRE DEPARTMENT CONNECTION CT – COURT DR – DRIVE TYP – TYPICAL REC - RECEPTION NUMBER ø, DIA – DIAMETER PT - POINT OF TANGENCY MIN — MINIMUM MAX – MAXIMUM HDPE - HIGH DENSITY POLYETHYLENE

CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO



	SHEET IND
SHEET NUMBER	SH
1	COV
2	CONCEPT
3	SIT
4	CONCEPTUAL
5	EXTERIO
6	EXTERIO
7	DUMPST
8	CONCEPTU

	SITE DATA TABLE		
SITE DEVELOPMENT INFORMATION			
ZONE DISTRICT	MX-T ·	– MIXED–USE, TRANSI	Т
TOTAL PROJECT AREA		52,581 SF	
DEVELOPMENT STANDARDS	SITE	STANDARD	% MODIFIED
LOT AREA (MIN)	52,581 SF	N/A	
LOT WIDTH (MIN)	158 FT	N/A	
LOT WIDTH, CORNER (MIN)	N/A	N/A	
LOT COVERAGE (MAX)	7.4%	35%	
BUILDING AND PARKING SITING STANDARDS			
FRONTAGE ZONE (MIN/MAX)	0' - 20'	0' – 20'	
FACADE IN FRONTAGE ZONE (MIN)	32.5%	60%	27.5%
FRONT SETBACK (MIN)	0 FT	0 FT	
FRONT PARKING SETBACK (MIN)	42 FT	20 FT	
SIDE SETBACK, STREET (MIN)	64 FT	0 FT	
SIDE SETBACK, INTERIOR (MIN)	2.5 FT	O FT	
REAR SETBACK (MIN)	112 FT	0 FT	
BUILDING STANDARDS			
HEIGHT (FT/STORIES)	23 FT/ 1 STORY	45 FT MAX	
HEIGHT TRANSITION ZONE DEPTH (MIN)	N/A	N/A	
SITE STANDARDS			
LANDSCAPE SURFACE AREA (MIN)	22%	10%	
IMPERMEABLE SURFACE AREA (MAX)	78%	90%	
SMALL URBAN PARK	1495 SF (ONSITE) 5462 SF (PROVIDED OFFSITE)	3000 SF	50% (ONSITE)
PARKING STANDARDS			1
STANDARD SPACES	51	23	
ACCESSIBLE SPACES	2	1	
TOTAL	53	24	
BICYCLE SPACES	5	3	
PROPOSED USE(S) WITH GROSS FLOOR AREA	· · · · ·		
USE 1	RESTAURANT, FAST FOOD AND DRIVE-THRU	N/A	
BUILDING GFA	3,879 SF	N/A	

DEX

HEET TITLE OVER SHEET PTUAL SITE PLAN SITE DETAILS AL LANDSCAPE PLAN RIOR ELEVATIONS RIOR ELEVATIONS

STER ENCLOSURE

CONCEPTUAL GRADING PLAN

LEGAL DESCRIPTION A PORTION OF LOT 1-B, BLOCK 1, ARVADA MARKETPLACE FILING NO. 1 -SECOND AMENDMENT

MINOR SUBDIVISION SITUATED IN THE NW/4 OF THE SW/4 OF SECTION 14, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE 6TH P.M.

BASIS OF BEARING

BASIS OF BEARINGS: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICA DATUM 1983. THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 3 SOUTH, RANGE 69 WEST BEARS N89'50'16"E, MONUMENTED BY THE CENTER QUARTER CORNER OF SAID SECTION 14, BEING A 3-1/4" ALUMINUM CAP STAMPED "LS 23047" IN RANGE BOX, AS SHOWN HEREON.

BENCHMARK

ELEVATIONS ARE BASED ON ARVADA BENCHMARK 681, BEING CHISELED SQUARE IN SIDEWALK A THE NORTHWEST CORNER OF THE INTERSECTION OF WADSWORTH BLVD. AND W. 52ND AVE. ARVADA DATUM ELEVATION: 5308.28

NOTE: ARVADA BENCHMARKS ARE BASED ON A LOCALIZED DATUM AND ARE NOT NAVD88 OR NGVD29

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.



2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

GENERAL NOTES

- ANY PROPOSED FENCES, WALLS, SIGNS AND ACCESSORY STRUCTURES SHOWN ON THIS PLAN ARE ILLUSTRATIVE ONLY AND SUBJECT TO SEPARATE REVIEWS AND PERMITS. P. FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED WITH AN APPROVED ALL-WEATHER SURFACE (CONCRETE OR ASPHALT) AND SHALL BE CAPABLE OF SUPPORTING AN IMPOSED
- LOAD OF 85,000 POUNDS. 3. THE APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE AFPD. THE FIRE APPARATUS
- ACCESS ROADS SHALL CONSIST OF THE FIRST LIFT OF ASPHALT OR CONCRETE AND SHALL BE PROVIDED PRIOR TO COMMENCING VERTICAL CONSTRUCTION. ALTERNATIVE TEMPORARY FIRE APPARATUS ACCESS ROAD MATERIALS AND/OR DESIGNS SHALL BE APPROVED AND PERMITTED BY THE AFPD. THE PRIVATE ROADS THROUGH THE SITE SHALL BE DEDICATED ON THE FINAL PLAT AS "FIRE APPARATUS ACCESS ROADS" OR OTHER SIMILAR LANGUAGE AS REQUIRED BY THE CITY OF ARVADA.
- 4. A 3'-0" CLEAR SPACE SHALL BE MAINTAINED AROUND ALL FIRE HYDRANTS AND NOT OBSTRUCTED.
- 5. FIRE HYDRANTS SHALL BE INSTALLED AND OPERATIONAL TO PROVIDE THE MINIMUM REQUIRED FIRE FLOW PRIOR TO COMMENCING VERTICAL CONSTRUCTION.
- 6. DURING THE CONSTRUCTION AND UPON COMPLETION THERE SHALL BE BUILDING SIGNAGE PROVIDED, A MINIMUM OF 0'-4" HIGH WITH A 0.5" STROKE AND VISIBLE FROM THE STREET OR ROAD FRONTING THAT BUILDING

NARRATIVE SUMMARY

THE LEASED AREA SHOWN WITHIN THE BOUNDARY OF THIS PROJECT IS CURRENTLY UTILIZED AS PARKING FOR THE SURROUNDING COMMERCIAL DEVELOPMENT. IMPROVEMENTS TO THIS PORTION OF LOT 1-B PROPOSED IN THIS SITE PLAN INCLUDE THE DEMOLITION OF THE EXISTING PARKING LOT AND REDEVELOPMENT OF THE SITE TO CONSTRUCT A NEW IN-N-OUT RESTAURANT, DRIVE THRU LANE. TRASH ENCLOSURE. OUTDOOR PATIO DINING AREA, PARKING LOT AND SITE LANDSCAPING. MODIFICATIONS ARE PROPOSED TO THE EXISTING SITE DRAINAGE AND GRADING BUT SHALL FOLLOW SIMILAR HISTORICAL PATTERNS. AS PART OF THIS PROJECT, WATER QUALITY AND DETENTION SHALL BE PROVIDED VIA AN UNDERGROUND SYSTEM WITHIN THE PARKING AREA. UTILITY SERVICE ROUTING THROUGH THE SITE SHALL BE MODIFIED TO SERVICE THE NEW RESTAURANT, ALONG WITH NEW PROPOSED SITE LANDSCAPING AND PROPOSED ELEVATIONS FOR THE RESTAURANT WHICH ARE INCLUDED WITH THIS PLAN SET.



Greenwood Village, CO 80111 303.770.8884 GallowayUS.com

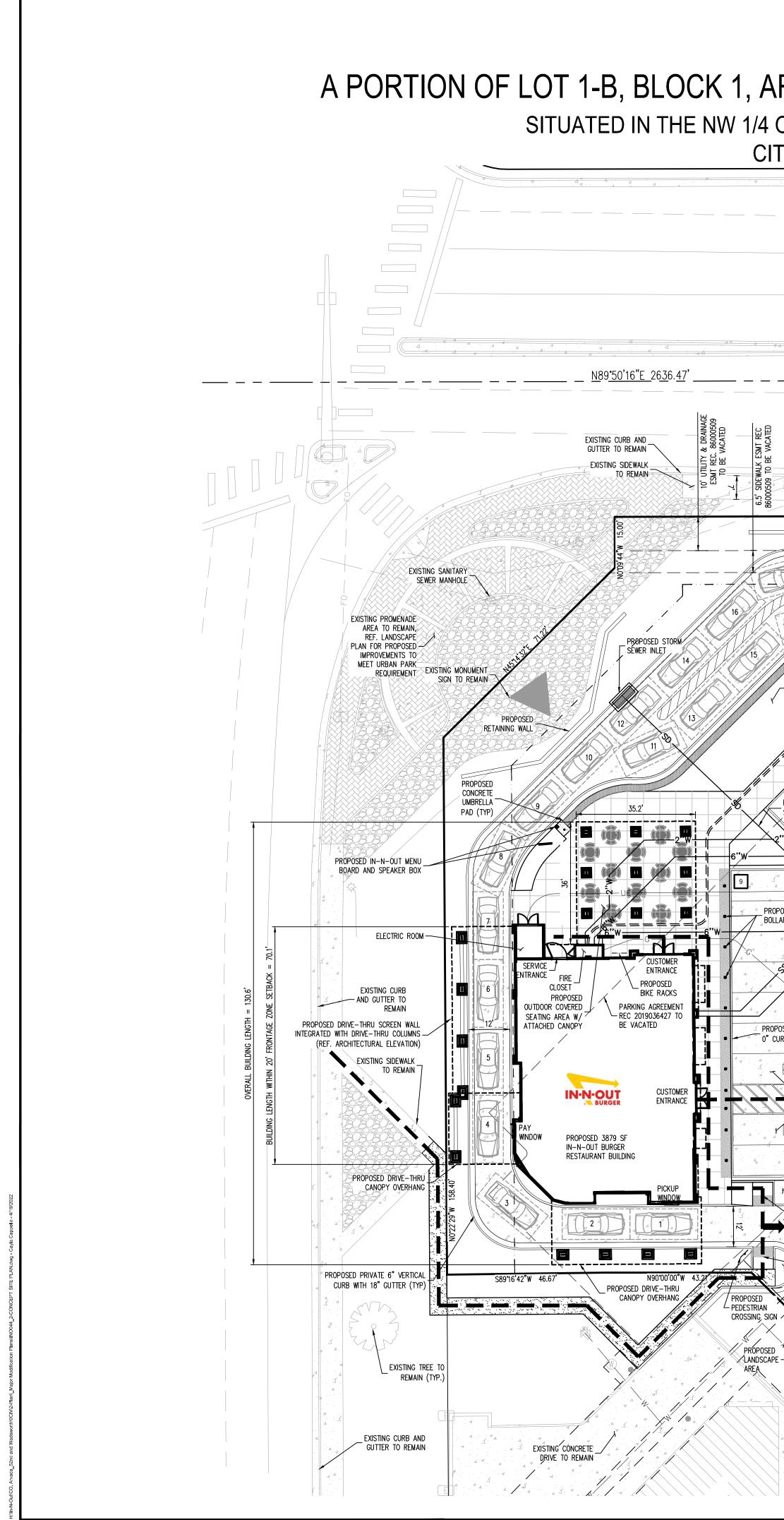


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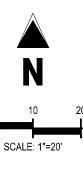


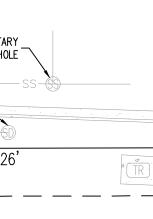
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Drawn By:	CAC
Project No:	INO000044.20

COVER SHEET



IN-N-OUT BURGER MAJOR MODIFICATION A PORTION OF LOT 1-B, BLOCK 1, ARVADA MARKETPLACE FILING NO. 1 – SECOND AMENDMENT MINOR SUBDIVISION SITUATED IN THE NW 1/4 OF THE SW 1/4 OF SECTION 14, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE 6TH P.M. CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO EXISTING SANITAR SEWER MANHOLE -_ PROPOSED CONCRETE PROPOSED CONNECTION TO EXISTING STORM TO REMAIN INLET TO REMAIN UMBRELLA PAD EXISTING SANITARY MAIN EXISTING SANITARY EXISTING CURB AND SEWER MANHOLE PROPOSED 6" VERTICAL CURB GUTTER TO REMAIN ┌─ & 2' GUTTER PER ARVADA EXISTING STORM STANDARDS DRAIN TO REMAIN PROPOSED PROPOSED LANDSCAPE AREA DRIVE-THRU PROPOSED IN-N-OUT CONNECT TO EXISTING +SCREEN WALL-SIGNAGE (TYP) STORM INLET _N89°50'16"E 190.53 N89°50'16"E 336.2 PROPOSED DRIVE PROPOSED FXISTING RAMP LANDSCAPE AREA PROPOSED CROSSWALK TO REMAIN STRIPING (TYP) FIRE NOTES PROPOSED 1 THE MINIMUM REQUIRED FIRE-FLOW IS 1,750 GPM PROPOSED SERVICE & _ PROPOSED TRANSFORMER IRRIGATION -METER ASSOCIATE ∖& CONCRETE PAD METER PIT FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED WITH AN APPROVED ALL-WEATHER [™]EXISTING 8" PVC WALKWA' PROPOSED SURFACE (CONCRETE OR ASPHALT). ACCESS ROADS SHALL BE CAPABLE OF SUPPORTING AN - WATER MAIN TO - LANDSCAPE IMPOSED LOAD OF 85,000 LBS (2018 IFC SECTION 502.2.3). THE PROPOSED HEAVY-DUTY REMAIN. ASPHALT AND CONCRETE SHALL BE PROVED TO BE ABLE TO SUPPORT THE REQUIRED LO PROPOSED LOT 1B, BLOCK PROVIDE THE GEOTECHNICAL ENGINEERS REPORT. DIRECTIONAL ARVADA MARKETPLACE PAVEMENT MARKINGS _____ FILING NO 1 2ND AMENDMEN 3. PROVIDE A SIGNAGE PLAN INDICATING THE LOCATION OF FIRE LANE SIGNAGE. THE FIRE LAN EXISTING ADA PROPOSED SANITARY PROPOSED RECEPTION #F1892166 SIGNAGE SHALL COMPLY WITH THE CITY OF ARVADA ENGINEERING STANDARDS AND SHALL GREASE INTERCEPTOR \setminus RAMP (TYP) LANDSCAPE OWNER: W PT ARVADA VII LLC BE PROVIDED ON THE CURB LINE (2018 IEC SECTION 503.3) ARFA ZONING: MX-T PRÓPOSED PRIVATE PROPOSED DOMESTIC PROPOSED PRIVATE LAND USE: COMMERCIAL 5" Planter Curb WATER METER PIT & STORM SEWER (TYP) CONNECTION FOR BUILDINGS EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM. (TYP) SERVICE 2" PVC / PROPOSED EXISTING FIRE HYDRANT 5. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND ALL FIRE HYDRANTS. THE SPACE LANDSCAPE AREA TO REMAIN SHALL BE MEASURED FROM THE TOP CENTER OF THE HYDRANT AND THERE SHALL BE NO PROPÔSED PRIVATE LEASE AREA FIRE LANE & UTILITY OBSTRUCTIONS DIRECTLY IN FRONT OF FIRE HYDRANTS (2018 IFC SECTION 507.5.5) ALL OF STORM SEWER (TYP) 1.21 ACRES - ESMT REC 86116003 THE TREES WITHIN THIS DEVELOPMENT SHALL PROVIDE AN UNOBSTRUCTED VERTICAL (52,708 SQ. FT to remain CLEARANCE OF 13 FEET 6 INCHES FOR EMERGENCY VEHICLE ACCESS (2018 SECTION 503.2.1). 6. FIRE HYDRANTS SHALL BE INSTALLED AND/OR MADE OPERATIONAL TO PROVIDE THE MINIMUM PARKING AGREEMENT , ∕PROPOSĖD' PROPOSED REQUIRED FIRE-FLOW PRIOR TO COMMENCING CONSTRUCTION ABOVE GRADE. (2018 IFC - REC 2019036427 TO DETENTION / WQ 、FIRE SERVICE → SECTION 501.4). BE VACATED SYSTEM 6" PVC OUTFALL 7. APPROVED FIRE LAND & EMERGENCY ACCESS SHALL BE PROVIDED BEFORE COMBUSTIBLE 10 PROPOSED PROPOSED PRIMARY MATERIALS ARE BROUGHT TO THE SITE, AND BEFORE VERTICAL CONSTRUCTION. UNLESS **FXISTING** BOLLARD PROPOSED EXISTING 8" PVC OTHERWISE APPROVED, THE EVA SHALL CONSIST OF THE FIRST LIFT OF ASPHALT OR ELECTRIC SERVICE -PROPOSED - Electric Line BOLLARD TYP - WATER MAIN TO CONCRETE. TO_TRANSFORMER io, remain REMOTE FE REMAIN ROPOSED 8. DURING CONSTRUCTION AND UPON COMPLETION THERE SHALL BE BUILDING SIGNAGE PROPOSED PARKING EXISTING GAS BOLLARD LINE TO REMAIN LOT STRIPING TYP. PROVIDED, A MINIMUM OF 4-INCHES HIGH AND 0.5-INCH STROKE AND VISIBLE FROM THE PROPOSED 1' STREET OR ROAD FRONTING THAT BUILDING (2018 IFC SECTION 505). WIDE CURB PROPOSED STORM CHASE PROPOSED 9. COMPLETE SPECIFICATIONS AND BUILDING CONSTRUCTION PLANS SHALL BE SUBMITTED SEWER INLET PROPOSED LANDSCAPE AREA DIRECTLY TO THE FIRE DISTRICT (AFPD) FOR REVIEW AND APPROVAL AT THE SAME TIME SANITARY PLANS ARE SUBMITTED TO THE ARVADA BUILDING INSPECTION DIVISION AND PRIOR TO SERVICE PROPOSED CONSTRUCTION OCCURRING. THE DEVELOPER IS ENCOURAGED TO CONTACT THE AFPD LANDSCAPE AREA COMMUNITY RISK REDUCTION DIVISION TO VERIFY PLAN SUBMITTAL REQUIREMENTS AND FIRE DISTRICT PERMIT FEES PRIOR TO PLANS SUBMITTAL. PROPOSED PROPOSED - LANDSCAPE)" CURB AREA PRÓPOSED PRIVATE STORM BENCHMARK SEWER (TYP) ELEVATIONS ARE BASED ON ARVADA BENCHMARK 681. BEING CHISELED SQUARE IN SIDEWALK AT PROPOSED GAS THE NORTHWEST CORNER OF THE INTERSECTION OF WADSWORTH BLVD. AND W. 52ND AVE. SERVICE PROPOSED ADA ARVADA DATUM ELEVATION: 5308.28 PARKING SPACE NOTE: ARVADA BENCHMARKS ARE BASED ON A LOCALIZED DATUM AND ARE NOT NAVD88 OR PROPOSED 26' PROPOSED UNDERGROUND DETENTION NGVD29. EMERGENCY ACCESS & WATER QUALITY SYSTEM BASIS OF BEARING EASEMENT 20 BASIS OF BEARINGS: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICA DATUM 1983. THE NORTH LINE OF THE PROPOSED PROPOSED ADA SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 3 SOUTH, RANGE 69 WEST BEARS N89'50'16"E, LANDSCAPE AREA - PARKING SPACES & MONUMENTED BY THE CENTER QUARTER CORNER OF SAID SECTION 14, BEING A 3-1/4" PROPOSED PRIVATE STRIPED WALKWAY ALUMINUM CAP STAMPED "LS 23047" IN RANGE BOX, AS SHOWN HEREON. EXISTING PARKING PROPOSED 🖌 6" Planter Curb 🚽 STALLS & STRIPING CAUTION - NOTICE TO CONTRACTOR KLANDSCAPE AREA PROPOSED (TYP) EXISTING 8" PVC WATER MAIN TO TO REMAIN ADA RAMP 1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED ͡⇒(TYP) BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE REMAIN EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN /PROPOSED PRIVATE STORM APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S SEWER (TYP) PROPOSED RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, _,ADA RAMP PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE Know what's **below**. PRÓPOSED STORM ENGINEER PRIOR TO CONSTRUCTION. PROPOSED ENTRY TO Call before you dig. ∕SEWER INLET UNDERGROUND DETENTION 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S AND WATER QUALITY SYSTEM ✓ PROPOSED RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING WIDE CURB ----PROPOSED STORM UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO CHASE SEWER_MANHOLE / THE ENGINEER PRIOR TO CONSTRUCTION. PROPOSED 1 CONCRETE PROPOSED STEP-OFF NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO LANDSCAPE AREA BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO WALK (TYP) COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK. SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION EXISTING WATER NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR MAIN TO REMAIN SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.





	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING CURB & GUTTER
	ACCESSIBLE PATH
	PROPOSED CURB & GUTTER
	20' FRONTAGE ZONE SETBACK
1	PARKING COUNT
E	EXISTING ELECTRIC BOX
ECB	EXISTING ELECTRIC CABINET
╺╼╸╏⊙	EXISTING LIGHT POLE
TR	EXISTING ELECTRIC TRANSFORMER
EVT	EXISTING ELECTRIC VAULT
GM	EXISTING GAS METER
(IRCB)	EXISTING IRRIGATION BOX
SS	EXISTING SANITARY SEWER MANHOLE
CO SD	EXISTING SANITARY SEWER CLEANOUT
SD	EXISTING STORM SEWER MANHOLE
	EXISTING TELECOM PEDESTAL
ЪС.	EXISTING FIRE HYDRANT
ŴM	EXISTING WATER METER
WTVT	EXISTING WATER VAULT
	EXISTING VEGETATION
	EXISTING WATER VAULT
Ø	PROPOSED MANHOLE
	PROPOSED STORM SEWER INLET
\odot	PROPOSED SITE LIGHT
Ø	PROPOSED OUTDOOR PATIO SEATING TABLE (4 SEATS, NO UMBRELLA)
	PROPOSED CANOPY COLUMN
	PROPOSED CONCRETE SIDEWALK
	PROPOSED CONCRETE PAVEMENT
	PROPOSED BLACK CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT





Galloway

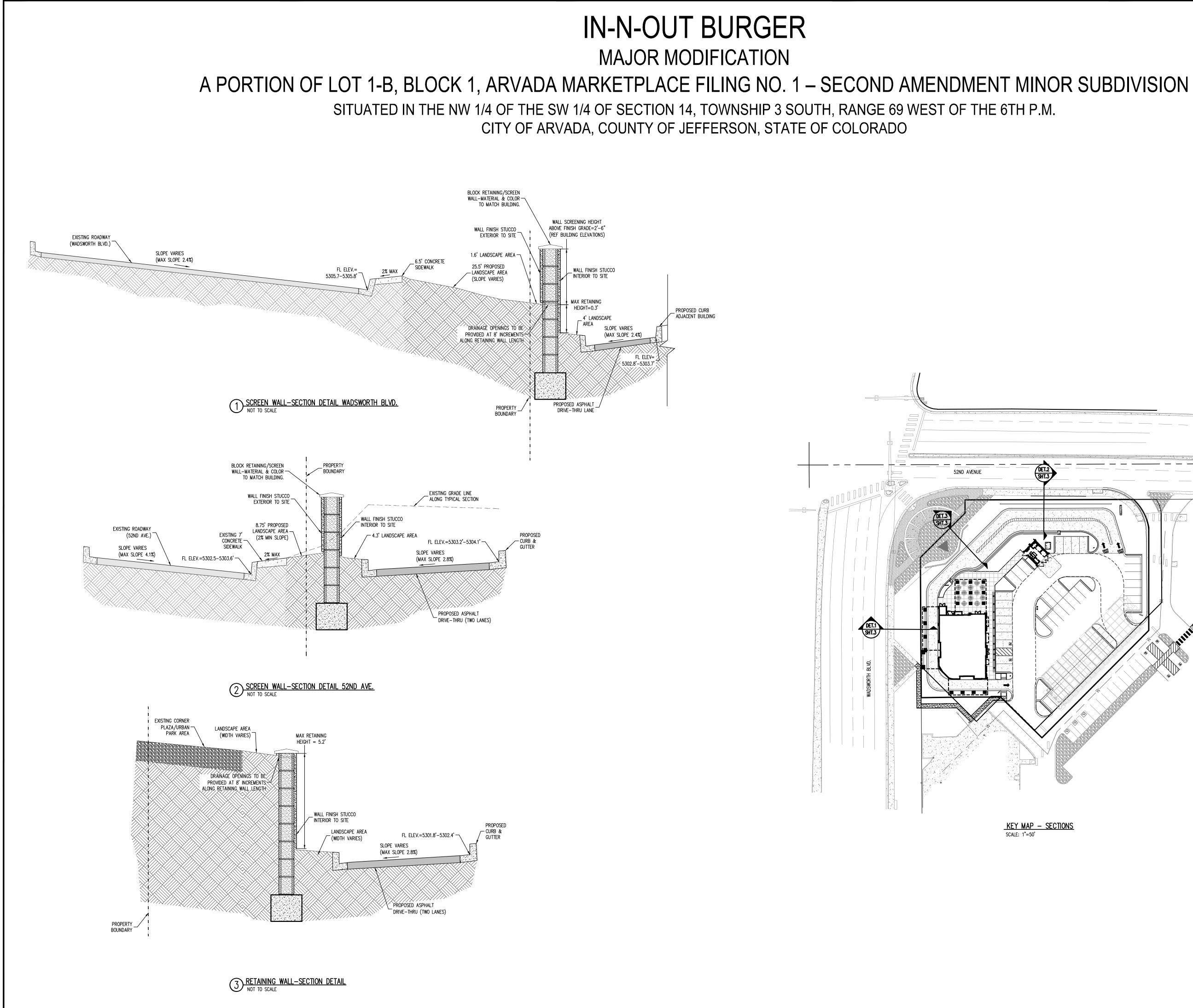
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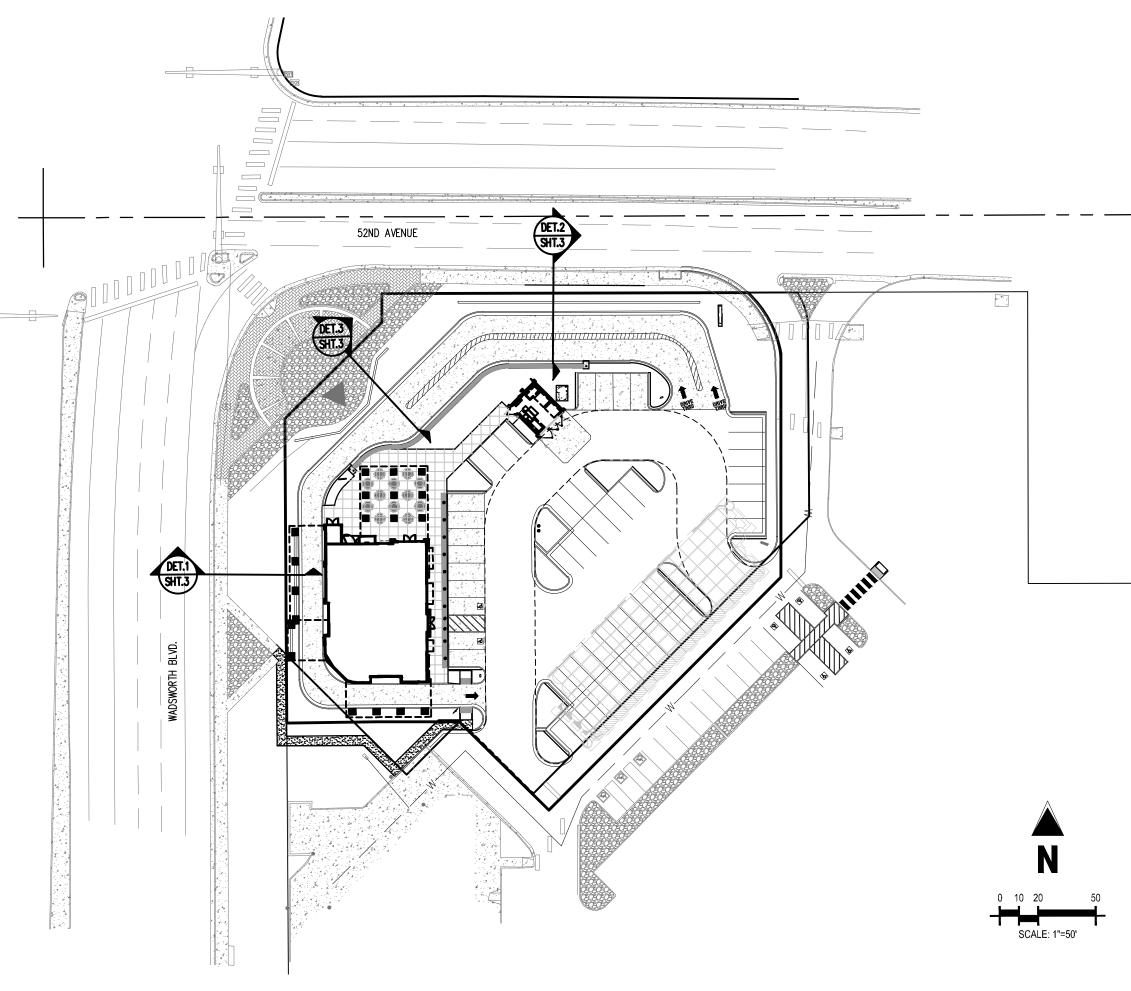
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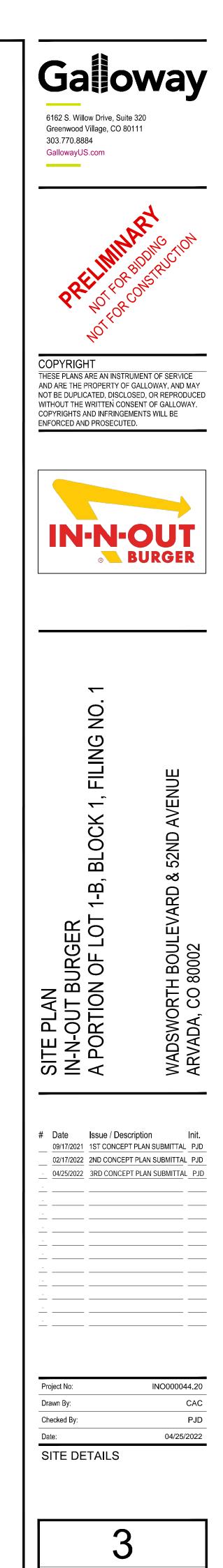
CONCEPTUAL SITE PLAN

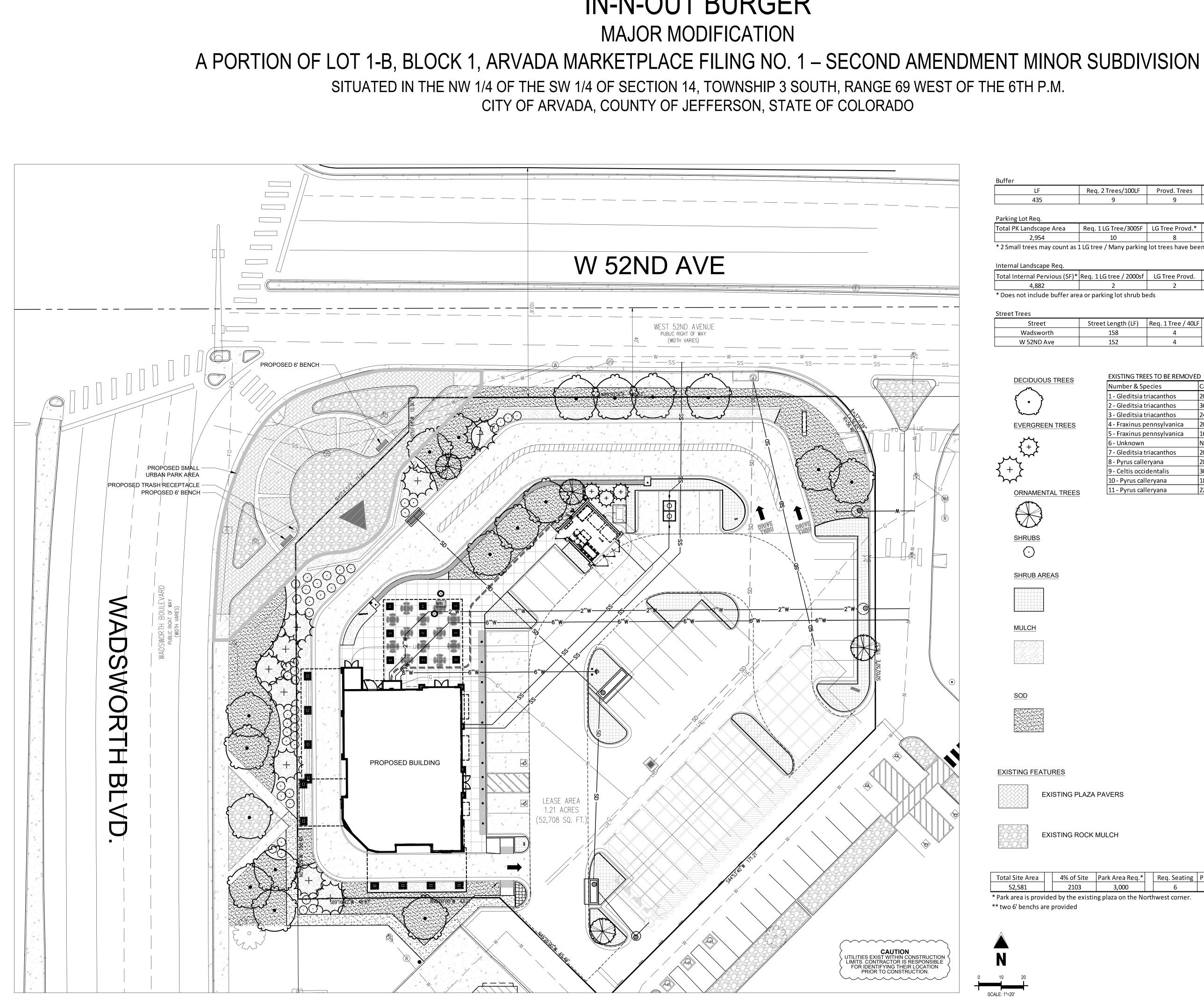


SITUATED IN THE NW 1/4 OF THE SW 1/4 OF SECTION 14, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE 6TH P.M. CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO



KEY MAP – SECTIONS SCALE: 1"=50'





IN-N-OUT BURGER

	Req. 2 Trees/100LF	Provd. Trees		Req. 10 Shrubs/100LF	Provd. Shrubs
	9	9		44	44
					•
e Area	Req. 1 LG Tree/300SF	LG Tree Provd.*		SM Tree provd.*	
	10	8		4	
iy count as 2	1 LG tree / Many parking	lot trees have beei	n re	located to the perimeter	due to utility con
e Req.					
vious (SF)*	Req. 1 LG tree / 2000sf	LG Tree Provd.		Req. 1 SM Tree / 1500sf	SM Tree Provd.
	2	2		3	3
e buffer are	a or parking lot shrub be	eds			
	Street Length (LF)	Req. 1 Tree / 40LF		Provd. Trees]
rth	158	4		4	
ve	152	4		4]
,		•		-	-

S TREES	EXISTING TREES TO BE REMOV	/ED		
<u>o IREES</u>	Number & Species	Caliper Inches / Size	Quality	Remove / Protect
	1 - Gleditsia triacanthos	20"+ Caliper	Poor	Remove
	2 - Gleditsia triacanthos	36"+ Caliper	Moderate	Remove
	3 - Gleditsia triacanthos	24"+ Caliper	Good	Remove
N TREES	4 - Fraxinus pennsylvanica	20"+ Caliper	Good	Remove
	5 - Fraxinus pennsylvanica	16"+ Caliper	Good	Remove
	6 - Unknown	N/A	Dead	Remove
	7 - Gleditsia triacanthos	20"+ Caliper	Good	Remove
	8 - Pyrus calleryana	28"+ Caliper	Good	Remove
	9 - Celtis occidentalis	30"+ Caliper	Moderate	Remove
	10 - Pyrus calleryana	18"+ Caliper	Good	Remove
AL TREES	11 - Pyrus calleryana	22"+ Caliper	Good	Remove

EXISTING PLAZA PAVERS

EXISTING ROCK MULCH

Total Site Area		4% of Site	Park Area Req.*		Req. Seating	Provd. Seating		Req. Trash Can	Provd. Trash Can
52,581		2103	3,000		6	6**		1	1
* Park area is provided by the existing plaza on the Northwest corner.									

Galloway 6162 S. Willow Drive, Suite 320 Greenwood Village, CO 80111

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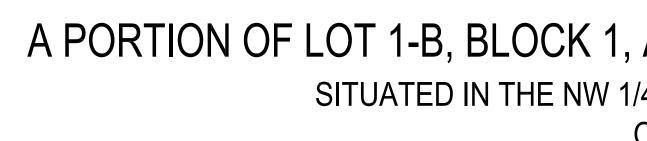
A PORTION OF LOT 1-B, BLOCK 1, FILING N	WADSWORTH BOULEVARD & 52ND AVENUE ARVADA, CO 80002
Issue / Description 1ST CONCEPT PLAN 2ND CONCEPT PLAN 3RD CONCEPT PLAN 	SUBMITTAL PJD SUBMITTAL PJD
	1ST CONCEPT PLAN 2ND CONCEPT PLAN

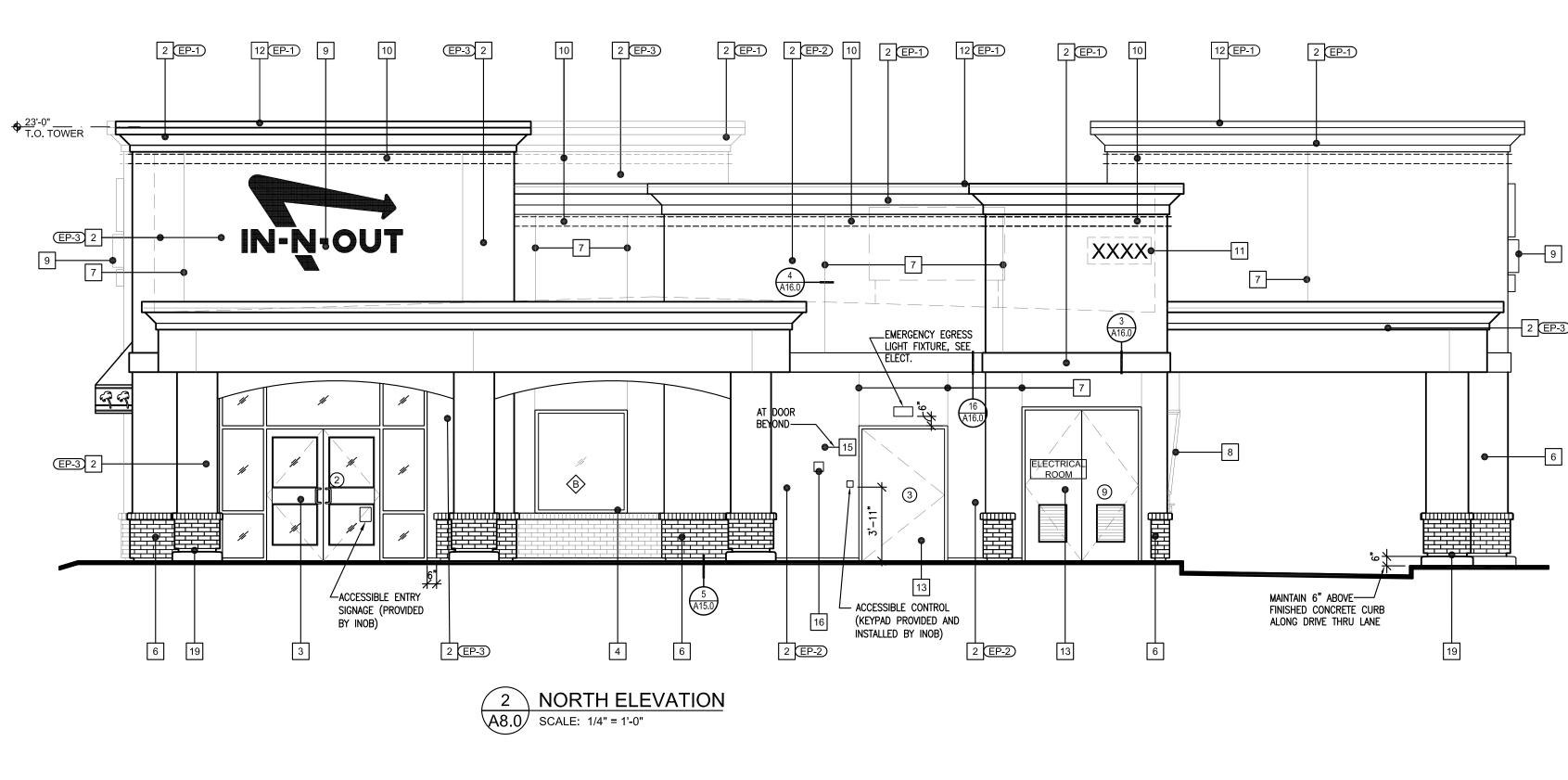
Project No:	INO000044.20			
Drawn By:	JRW			
Checked By:				
Date:	04/25/2022			
CONCEPTUAL LANDSCAPE				

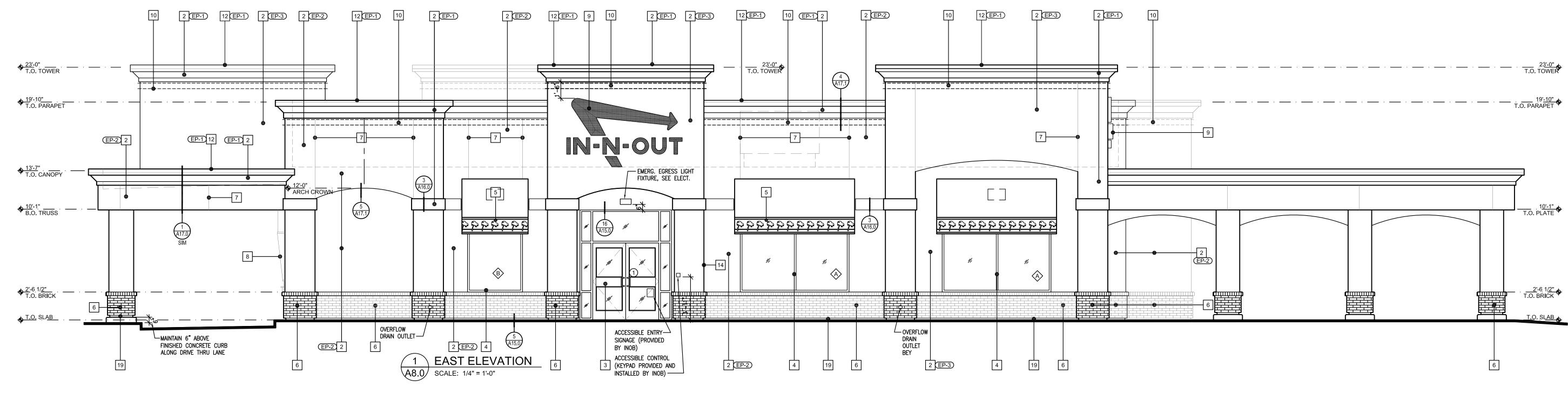
4

OF 8

PLAN







A PORTION OF LOT 1-B, BLOCK 1, ARVADA MARKETPLACE FILING NO. 1 – SECOND AMENDMENT MINOR SUBDIVISION SITUATED IN THE NW 1/4 OF THE SW 1/4 OF SECTION 14, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE 6TH P.M.

CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO

KEY NOTES 2" EXPANDED POLYSTYRENE EIFS SYSTEM PER SPECS. MATCH 1MM AGGREGATE STUCCO FINISH. PAINT AS SHOWN ALUMINUM STOREFRONT DOORS: CLEAR ANODIZED ALUMINUM. ALUMINUM WINDOWS: CLEAR ANODIZED ALUMINUM. AWNINGS: PVC COATED WICK-RESISTANT ERADICABLE POLYESTER AWNINGS WITH CUSTOM PALM TREE ERADICATED TO WHITE COLO BY COOLEY BRITE CUSTOM RED 79-L1124A, FLAME RETARDANT PER UL-48, UL-94, NFPA 701. PROVIDE FLOURESCENT BACKLIGHTING SEE: 5/A16.0 & 6/A16.0. THIN BRICK VENEER. APPLY PER MFR RECOMMENDATIONS. SUMMIT BRICK: PUEBLO COLOR #653 "INCA", COLOI CLASSIFICATION: MAROON. TEXTURE AVAILABILITY, GRAIN. PROVIDE MATCHING ROWLOCK. FIFS REVEAL: SEE DETAIL 4/A16.0 SLOPED ALUMINUM WINDOWS: U.S. ALUMINUM S-010. GLASS JOINTS TO HAVE POLISHED EDGES WITH SILICONE JOINTS. REDWOC FRAMES TO BE PRIMED WITH AXALTA IMRON IND 9P01 - PRIMER CAN BE TINTED GRAY. FINISH COAT TO BE AXALTA IMRON IND 9T01 TINTED CUSTOM COLOR EP-4. INTED COOLER ILLUMINATED LOGO SIGN: UNDER SEPARATE PERMIT L.E.D. DOUBLE BAND LIGHTING: UNDER SEPARATE PERMIT TERNALLY ILLUMINATED BUILDING ADDRESS NUMBERS TO BE 12" HIGH, 6" MIN. W/ MIN. STROKE WIDTH OF 0.5 INCH PER F DEPARTMENT AND CITY JURISDICTION ADDRESS DISPLAY REQUIREMENTS: 1. ADDRESS SHALL BE DISPLAYED & VISIBLE FROM BOTH STREET DIRECTIONS OF APPROACHING VEHICLES. 2. PERMANENT NUMBERS AND LETTERS SHALL BE MADE OF DURABLE AND CLEARLY VISIBLE MATERIAL SUCH AS WOOD, METAL CERAMIC, PLASTIC AND VINYL. (PAINTED OR GLUED ON NUMBERS ARE NOT ACCEPTABLE MATERIALS). 3. NUMBERS SHALL BE OF COLORS CONTRASTING WITH BACKGROUND TO WHICH THEY ARE ATTACHED. 4. NUMBERS SHALL BE A MINIMUM PROPORTION RATIO OF 6:1 (HEIGHT TO WIDTH). 5. NUMBERS CANNOT BE SPELLED. GALVANIZED METAL CAP: COLOR TO MATCH WALL. DLOW METAL DOOR: SEE SHEET A11.0, HM DOORS AND JAMBS SHALL HAVE POWDER COAT FINISH AS FOLLOWS: INTERIOR DOORS-FIGER DRYLAC - SMOOTH, HIGH GLOSS FINISH, "BENGAL WHITE", EXTERIOR DOORS- CARDINAL - GLOSS, SMOOTH FINISH, "BONE CHINA OR TO MATCH EXTERIOR EIFS PAINT COLOR - (VERIFY ELEVATIONS- EP-1), WHERE FIELD PAINTING DOORS AND JAMBS IS NECESSARY-NOT RECOMMENDED, THE ALTERNATE WOULD BE TO USE AXALTA IMRON IND 9P01 WHITE PRIMER. FINISH COAT TO BE AXALTA IMRON IND 9T01 GLOSS WHITE. EXTERIOR HM DOORS & JAMBS- USE SAME PRODUCT TINTED TO MATCH EXTERIOR BUILDING PAINT COLOR EP-1, NOTE- TRASH ENCLOSURE METAL DOORS AND POSTS TO BE FIELD PAINTED USING AXALTA IMRON AS DESCRIBED 14 5'-0" HIGH STUB OUT FOR Co2 LINE. MOUNT ON ADJACENT SIDE WALL 4" MIN. HIGH WHITE LETTERING "RISER ROOM" ON RED BACKGROUND SIGN. MOUNT ON RISER ROOM DOOR 15 4" MIN. HIGH WHITE LETTERING "RISER ROOM" ON RED BACKGROUND SIGN. MOUNT ON RISER 16 RECESSED KNOX BOX AT 5'-0" HIGH TO THE RIGHT OF FIRE RISER ROOM. SEE DETAIL 10/A17.0 17 NOT USED

	18 NOT USED										
(EP-3)	19	19 TEXTURE EXPOSED FOUNDATION WALL BELOW STONE WEEP SCREED AND PAINT TO MATCH STONE.									
	EXTERIOR PAINT SCHEDULE										
	NO.	MFR.	MODEL	COLOR #	COLOR NAME	FINISH	REMARKS				
	EP-1	SHERWIN WILLIAMS	SUPER PAINT LATEX	SW 6148	WOOL SKEIN	HIGH GLOSS	EIFS: PRIME W/ LOXON CONCRETE & EXT LATEX PRIMER WHITE - A24W08300. GALV METAL: PRIME W/ GALVITE HS ACRYLIC COATING - B50WZ0030, OFF WHITE				
-6]	EP-2	SHERWIN WILLIAMS	SUPER PAINT LATEX	SW 6148	WOOL SKEIN	HIGH GLOSS	EIFS: PRIME W/ LOXON CONCRETE & EXT LATEX PRIMER WHITE - A24W08300. GALV METAL: PRIME W/ GALVITE HS ACRYLIC COATING - B50WZ0030, OFF WHITE				
	EP-3	SHERWIN WILLIAMS	SUPER PAINT LATEX	SW 6148	WOOL SKEIN	HIGH GLOSS	EIFS: PRIME W/ LOXON CONCRETE & EXT LATEX PRIMER WHITE - A24W08300. GALV METAL: PRIME W/ GALVITE HS ACRYLIC COATING - B50WZ0030, OFF WHITE				
	EP-4	DUNN EDWARDS	ARISTOSHIELD 70	ASHL70	INO RED	HIGH GLOSS					
1	NO ALTE	ERNATE ALLOW	i IED FOR COLOR EP-4.	l		I	1				





Galloway

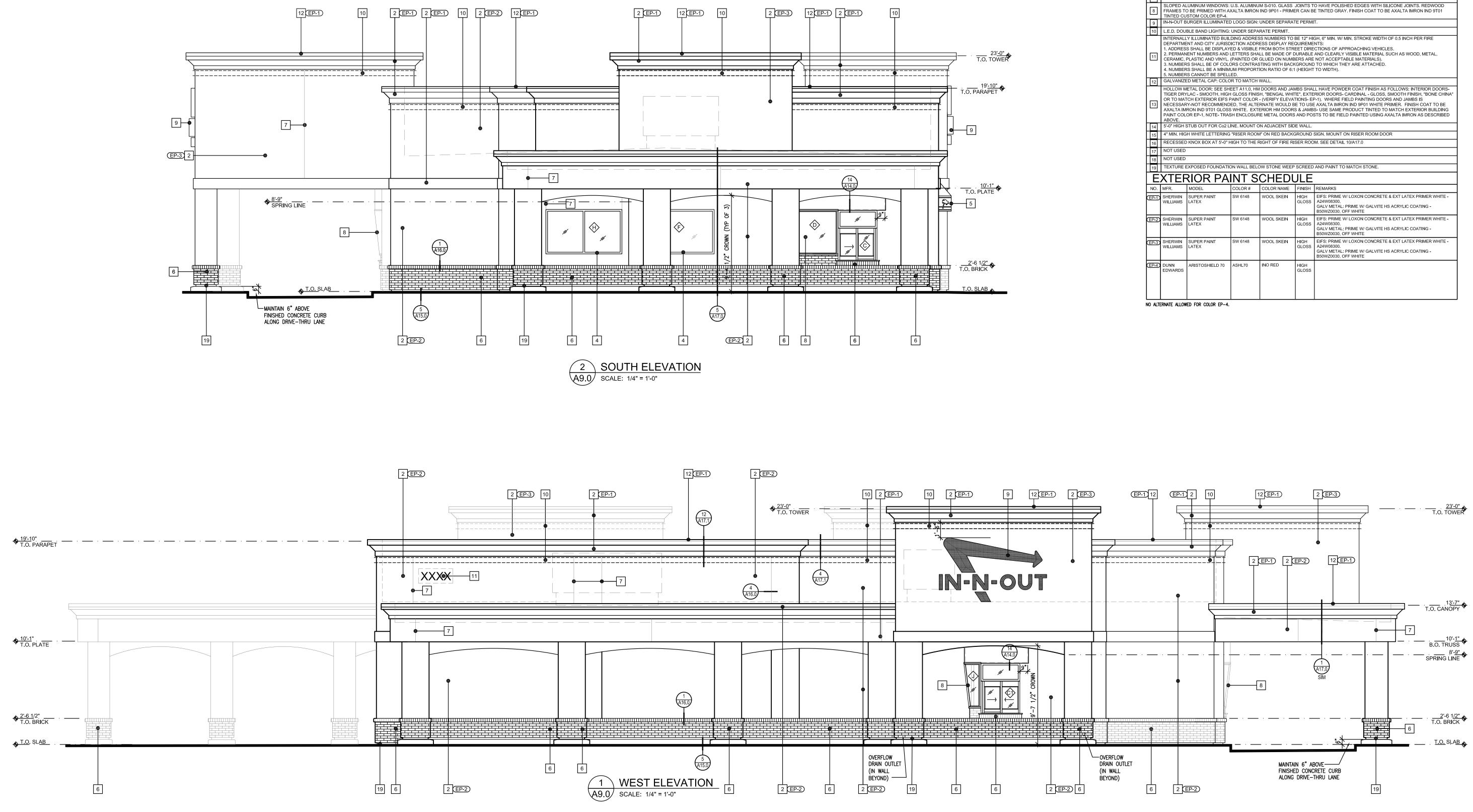
6162 S. Willow Drive, Suite 320 Greenwood Village, CO 80111

303.770.8884 GallowayUS.com

EXTERIOR_ELEVATIONS









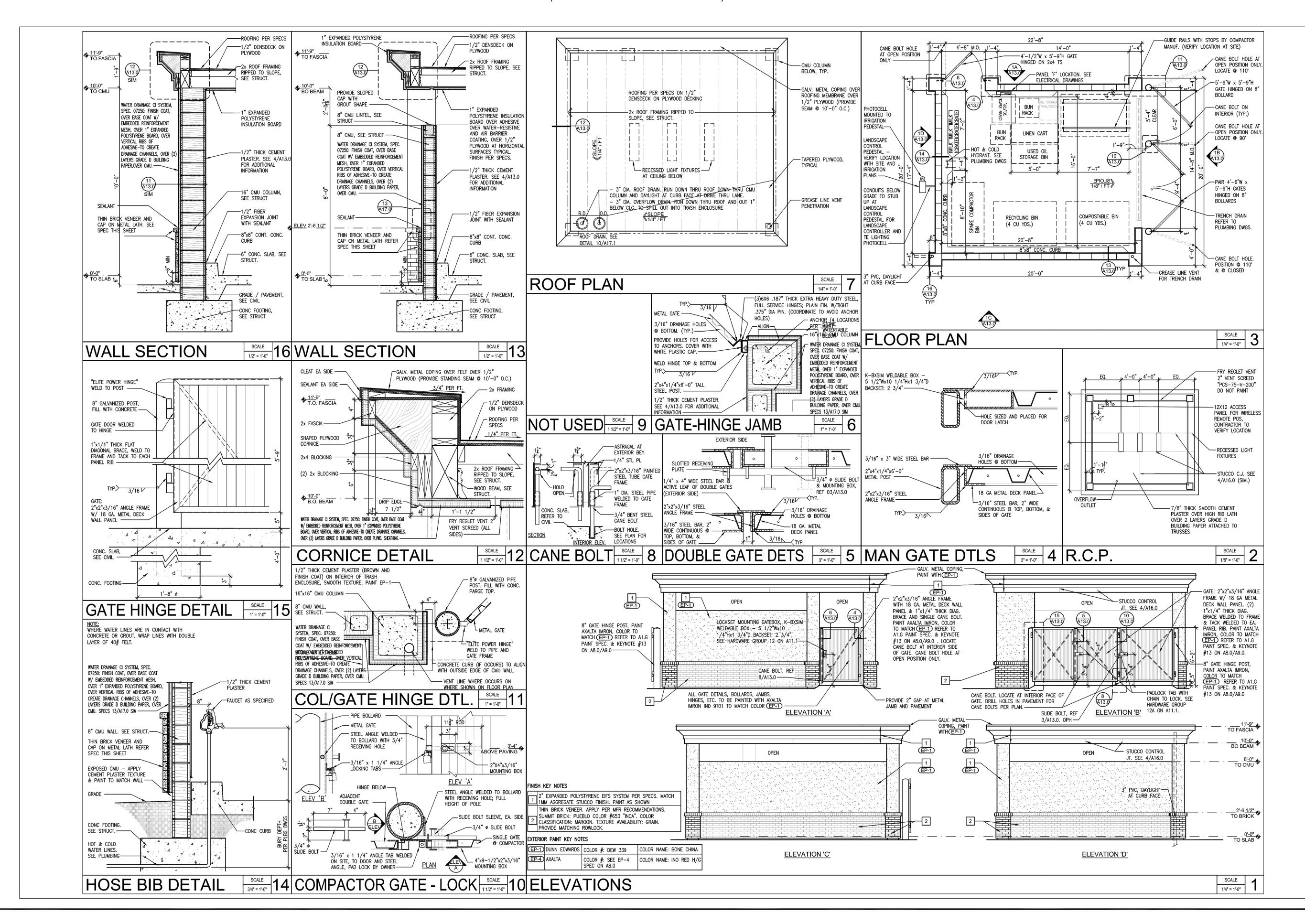
A PORTION OF LOT 1-B, BLOCK 1, ARVADA MARKETPLACE FILING NO. 1 – SECOND AMENDMENT MINOR SUBDIVISION

SITUATED IN THE NW 1/4 OF THE SW 1/4 OF SECTION 14, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE 6TH P.M. CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO

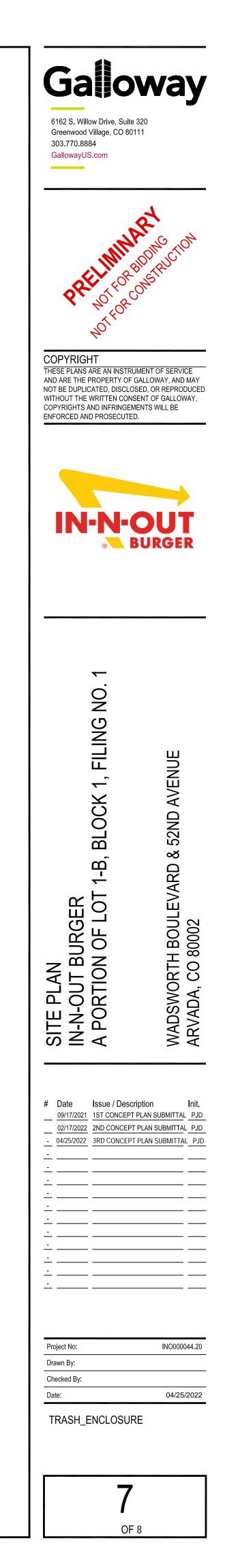
KEY NOTES 2" EXPANDED POLYSTYRENE EIFS SYSTEM PER SPECS. MATCH 1MM AGGREGATE STUCCO FINISH. PAINT AS SHOWN ALUMINUM STOREFRONT DOORS: CLEAR ANODIZED ALUMINUM. ALUMINUM WINDOWS: CLEAR ANODIZED ALUMINUM. AWNINGS: PVC COATED WICK-RESISTANT ERADICABLE POLYESTER AWNINGS WITH CUSTOM PALM TREE ERADICATED TO WHITE COLC BY COOLEY BRITE CUSTOM RED 79-L1124A, FLAME RETARDANT PER UL-48, UL-94, NFPA 701. PROVIDE FLOURESCENT BACKLIGHTING. SEE: 5/A16.0 & 6/A16.0. T THIN BRICK VENEER. APPLY PER MFR RECOMMENDATIONS. SUMMIT BRICK:PUEBLO COLOR #653 "INCA", COLO CLASSIFICATION: MARCON. TEXTURE AVAILABILITY, GRAIN. PROVIDE MATCHING ROWLOCK. EIFS REVEAL: SEE DETAIL 4/A16.0

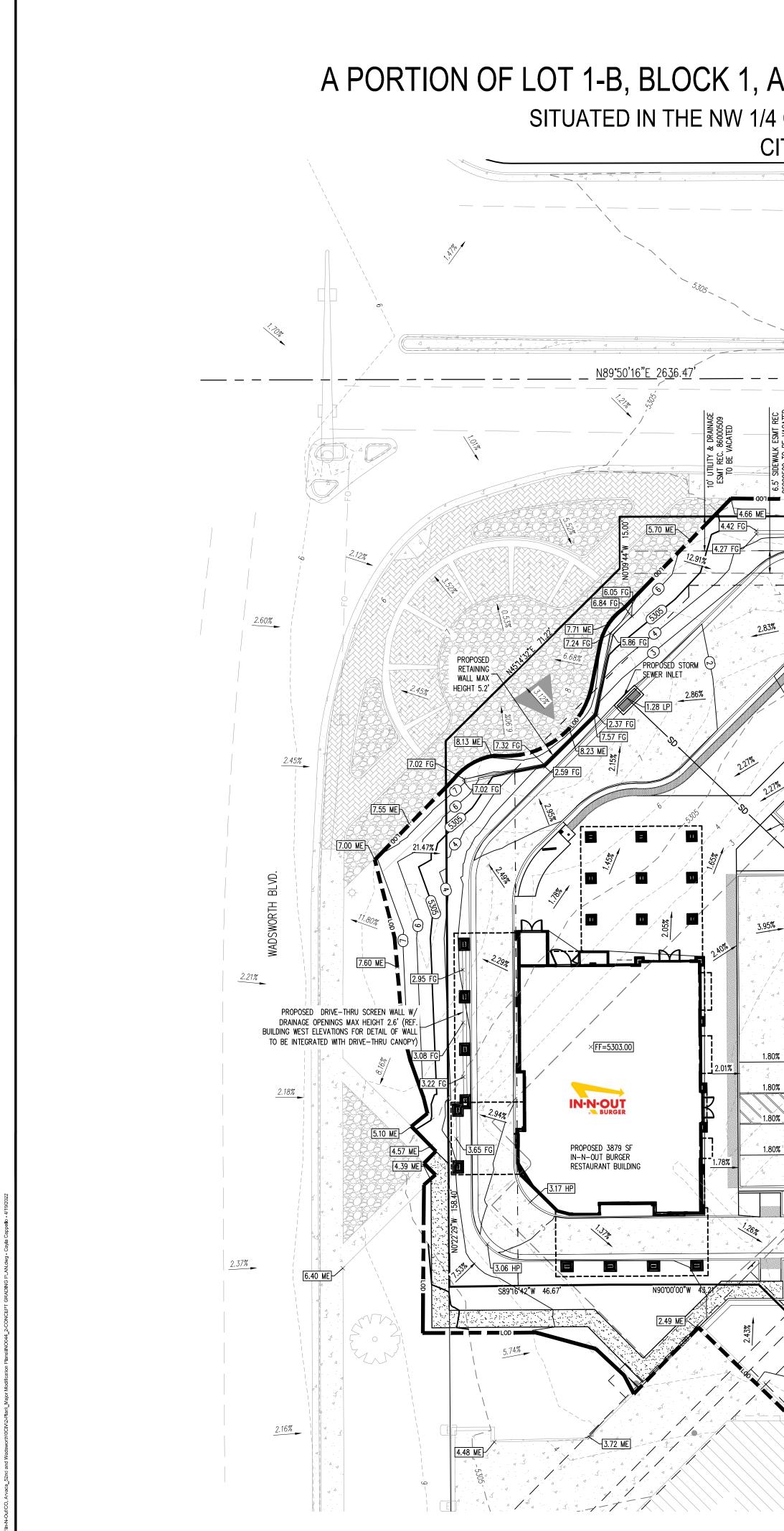
18	NOT USED							
19	TEXTURE E	EXPOSED FOUNDATIO	ON WALL BELC	OW STONE WEEP	SCREED	AND PAINT TO MATCH STONE.		
Ш	EXTERIOR PAINT SCHEDULE							
NO.	MFR.	MODEL	COLOR #	COLOR NAME	FINISH	REMARKS		
EP-1	SHERWIN WILLIAMS	SUPER PAINT LATEX	SW 6148	WOOL SKEIN	HIGH GLOSS	EIFS: PRIME W/ LOXON CONCRETE & EXT LATEX PRIMER WHITE - A24W08300. GALV METAL: PRIME W/ GALVITE HS ACRYLIC COATING - B50WZ0030, OFF WHITE		
(EP-2)	SHERWIN WILLIAMS	SUPER PAINT LATEX	SW 6148	WOOL SKEIN	HIGH GLOSS	EIFS: PRIME W/ LOXON CONCRETE & EXT LATEX PRIMER WHITE - A24W08300. GALV METAL: PRIME W/ GALVITE HS ACRYLIC COATING - B50WZ0030, OFF WHITE		
(EP-3)	SHERWIN WILLIAMS	SUPER PAINT LATEX	SW 6148	WOOL SKEIN	HIGH GLOSS	EIFS: PRIME W/ LOXON CONCRETE & EXT LATEX PRIMER WHITE - A24W08300. GALV METAL: PRIME W/ GALVITE HS ACRYLIC COATING - B50WZ0030, OFF WHITE		
EP-4	DUNN EDWARDS	ARISTOSHIELD 70	ASHL70	INO RED	HIGH GLOSS			
NO ALTI	ERNATE ALLOW	ED FOR COLOR EP-4.						





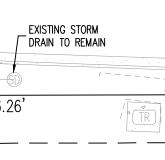
A PORTION OF LOT 1-B, BLOCK 1, ARVADA MARKETPLACE FILING NO. 1 – SECOND AMENDMENT MINOR SUBDIVISION SITUATED IN THE NW 1/4 OF THE SW 1/4 OF SECTION 14, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE 6TH P.M. CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO



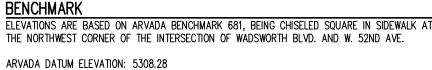


IN-N-OUT BURGER MAJOR MODIFICATION A PORTION OF LOT 1-B, BLOCK 1, ARVADA MARKETPLACE FILING NO. 1 – SECOND AMENDMENT MINOR SUBDIVISION SITUATED IN THE NW 1/4 OF THE SW 1/4 OF SECTION 14, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE 6TH P.M. CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO W. 52ND AVENUE EXISTING STORM DRIVE-THRU SCREEN WALL MAX HEIGHT 4.8' N89°50'16"E 336.2 4 66 LOT 1B, BLOCK I ARVADA MARKETPLACE FILING NO. 1. 2ND AMENDMENT RECEPTION #F1892166 OWNER: W PT ÄRVADA VII LLC ZONING: MX-T PROPOSED PRIVATE LAND USE: COMMERCIAL STORM SEWER (TYP) lease area _PROPOSED PRIVATE 🗸 1.21 ACRES STORM SEWER (TYP)_ PROPOSED (52,708 SQ. FT.) _ DETENTION/WQ // ∕system OUTFALL PARKING AGREEMENT - REC 2019036427 TO BE VACATED 2.21 ME PROPOSED STORM SEWER INLET , 1.25% 4.21% PROPOSED PRIVATE STORM 1.44% SEWER (TYP) 1.85 ME PROPOSED 26' PROPOSED UNDERGROUND DETENTION ë EMERGENCY ACCESS 1.80% 🗸 & WATER_QUALITY SYSTEM / EASEMENT PROPOSED PRIVATE STORM 1.65 LPK SEWER (TYP) · PRÒPÓSED STORM / ŞEWER INLET PROPOSED ENTRY TO - UNDERGROUND DETENTION AND WATER QUALITY SYSTEM PROPOSED STORM SEWER MANHOLE 3.96 ME





	PROPERTY BOUNDARY LINE
	RIGHT OF WAY BOUNDARY LINE
	— — EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	Existing to remain
	PROPOSED NEW
	PROPOSED SAWCUT LINE
o	EXISTING SIGN
	PROPOSED SIGN
6	ADA PARKING SYMBOL
[EVT]	EXISTING ELECTRICAL PULL BOX
	EXISTING PAD MOUNTED TRANSFORMER
-¢-	EXISTING LIGHT POLE
e_	PROPOSED SITE LIGHTING
S	EXISTING SANITARY SEWER MANHOLE
SD	EXISTING STORM SEWER MANHOLE
(W)	EXISTING WATER METER
×	EXISTING WATER VALVE
ж.	EXISTING FIRE HYDRANT
	PROPOSED STORM INLET
$\overline{\textcircled{O}}$	PROPOSED STORM MANHOLE
	PROPOSED CURB AND GUTTER
	EXISTING CURB AND GUTTER
	EXISTING MAJOR CONTOUR
52	EXISTING MINOR CONTOUR
5465	
66	PROPOSED MINOR CONTOUR
SD	— EXISTING STORM SEWER
SD	PROPOSED STORM SEWER
	LIMIT OF DISTURBANCE
FF=15.00	FINISHED FLOOR
FG=15.00	FINISHED GRADE
15.00 LP	LOW POINT
15.00 ME	MATCH EXISTING
15.00 HP	HIGH POINT



NOTE: ARVADA BENCHMARKS ARE BASED ON A LOCALIZED DATUM AND ARE NOT NAVD88 OR NGVD29.

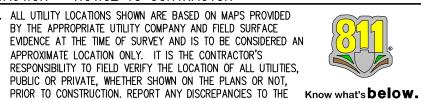
BASIS OF BEARING

BASIS OF BEARINGS: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICA DATUM 1983. THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 3 SOUTH, RANGE 69 WEST BEARS N89'50'16"E, MONUMENTED BY THE CENTER QUARTER CORNER OF SAID SECTION 14, BEING A 3-1/4" ALUMINUM CAP STAMPED "LS 23047" IN RANGE BOX, AS SHOWN HEREON.

CAUTION - NOTICE TO CONTRACTOR 1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S

ENGINEER PRIOR TO CONSTRUCTION.

RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT,



Call before you dig

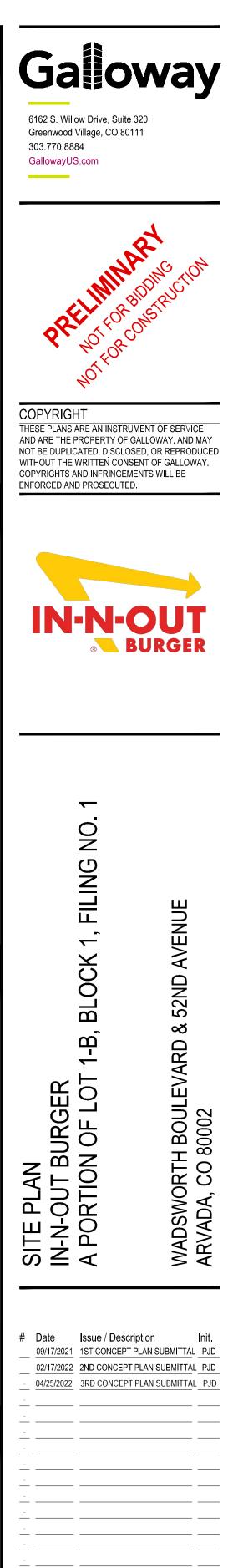
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING FIRE APPARATUS MUST BE INSTALLED TO THE BUILDING FROM THE MAIN ACCESS AND SURROUNDING ALL SIDES OF THE BUILDING WITHIN 150 FEET OF ALL POINTS ALONG BUILDING EXTERIOR PRIOR TO BRINGING COMBUSTIBLES ON SITE. (ROAD TO BE 20 FOOT MINIMUM INTERIOR TURNING RADIUS AND ABLE TO SUPPORT THE WEIGHT OF FIRE APPARATUS H-20 LOADING SUPPORTING A GROSS VEHICLE WEIGHT OF 80,000 POUNDS.) ON-SITE HYDRANTS MUST ALSO BE INSTALLED AND OPERATIONAL (UNLESS WAIVED BY FIRE DEPARTMENT).

NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

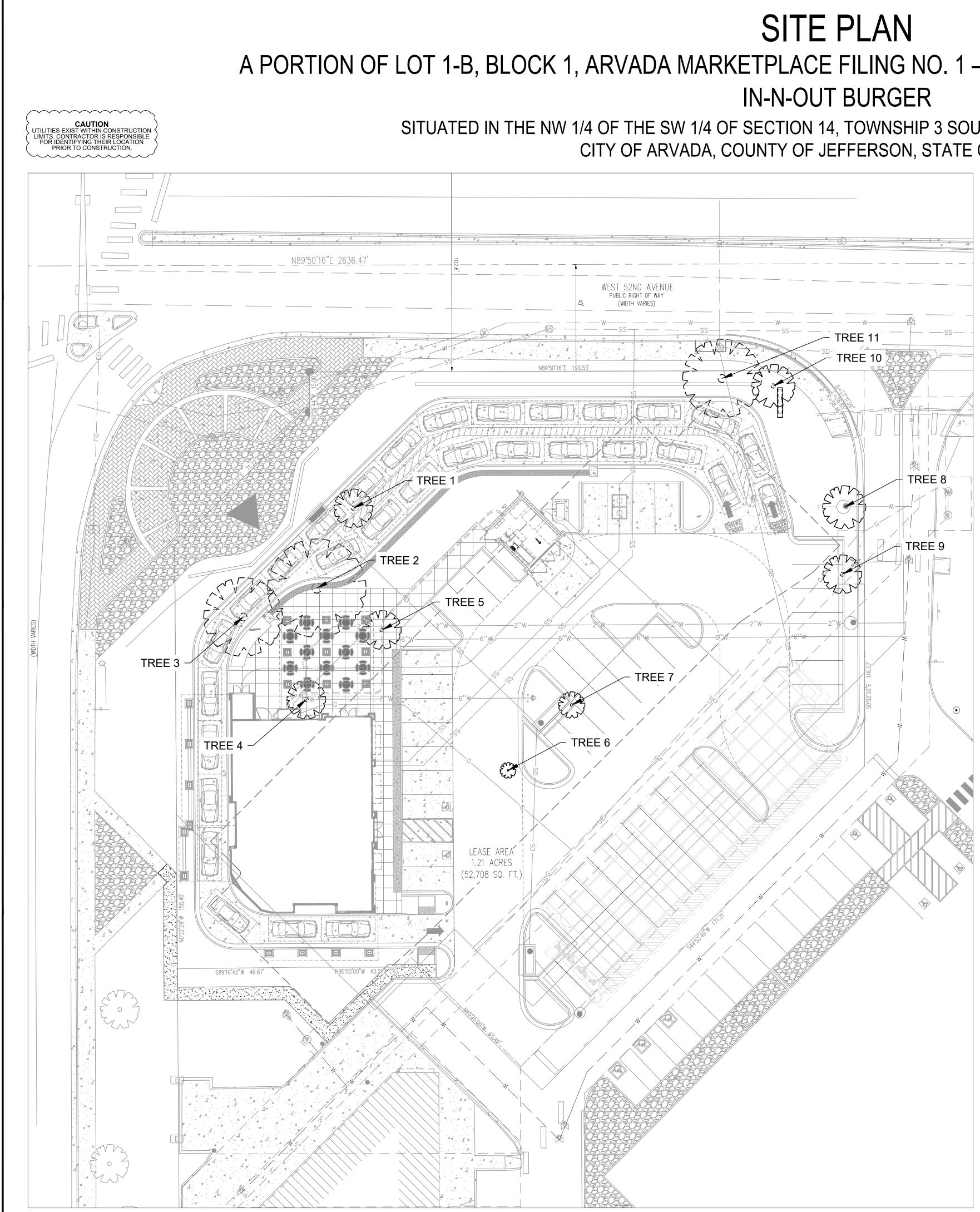
SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.



Date:	04/25/2022
Checked By:	PJD
Drawn By:	CAC
Project No:	INO000044.20

CONCEPTUAL GRADING PLAN



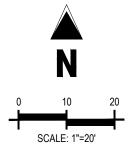
A PORTION OF LOT 1-B, BLOCK 1, ARVADA MARKETPLACE FILING NO. 1 – SECOND AMENDMENT MINOR SUBDIVISION

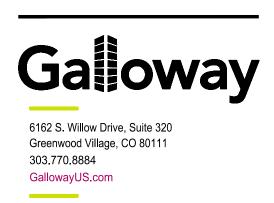
SITUATED IN THE NW 1/4 OF THE SW 1/4 OF SECTION 14, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE 6TH P.M. CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO

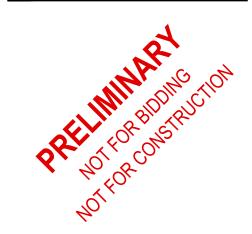
Number & Species	Caliper Inches / Size	Quality	Remove / Protect
1 - Gleditsia triacanthos	20"+ Caliper	Poor	Remove
2 - Gleditsia triacanthos	36"+ Caliper	Moderate	Remove
3 - Gleditsia triacanthos	24"+ Caliper	Good	Remove
4 - Fraxinus pennsylvanica	20"+ Caliper	Good	Remove
5 - Fraxinus pennsylvanica	16"+ Caliper	Good	Remove
6 - Unknown	N/A	Dead	Remove
7 - Gleditsia triacanthos	20"+ Caliper	Good	Remove
8 - Pyrus calleryana	28"+ Caliper	Good	Remove
9 - Celtis occidentalis	30"+ Caliper	Moderate	Remove
10 - Pyrus calleryana	18"+ Caliper	Good	Remove
11 - Pyrus calleryana	22"+ Caliper	Good	Remove

ARVADA TREE PROTECTION NOTES

- PRIOR TO AND DURING CONSTRUCTION, BARRIERS SHALL BE ERECTED AROUND ALL PROTECTED EXISTING TREES WITH SUCH BARRIERS TO BE OF ORANGE FENCING A MINIMUM OF FOUR FEET IN HEIGHT, SECURED WITH METAL T-POSTS, NO CLOSER THAN SIX FEET FROM THE TRUNK OR ONE FOOT FOR EVERY INCH OF DIAMETER WHICHEVER IS GREATER (FOR EXAMPLE, A TEN-INCH DIAMETER TREE WILL HAVE A FENCE NO CLOSER THAN TEN FEET FROM THE TRUNK). THERE SHALL BE NO STORAGE OR MOVEMENT OF EQUIPMENT, MATERIAL, DEBRIS OR FILL WITHIN THE FENCED TREE PROTECTION ZONE UNLESS PREVIOUSLY APPROVED BY THE DIRECTOR.
- 2. DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE APPLICANT SHALL PREVENT THE CLEANING OF EQUIPMENT OR MATERIAL OR THE STORAGE AND DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OILS, SOLVENTS, ASPHALT, CONCRETE, MOTOR OIL OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF A TREE WITHIN THE FENCED TREE PROTECTION ZONE.
- . NO DAMAGING ATTACHMENT, WIRES, SIGNS OR PERMITS MAY BE FASTENED TO ANY PROTECTE TREE
- 4. LARGE PROPERTY AREAS CONTAINING PROTECTED TREES AND SEPARATED FROM CONSTRUCTION OR LAND CLEARING AREAS, ROAD RIGHTS-OF-WAY AND UTILITY EASEMENTS MAY BE "RIBBONED OFF," RATHER THAN ERECTING PROTECTIVE FENCING AROUND EACH TREE. THIS MAY BE ACCOMPLISHED BY PLACING METAL TPOST STAKES A MAXIMUM OF 50 FEET APART AND TYING RIBBON OR ROPE FROM STAKE-TO-STAKE ALONG THE OUTSIDE PERIMETERS OF SUCH AREAS BEING CLEARED.
- 5. THE INSTALLATION OF UTILITIES, IRRIGATION LINES OR ANY UNDERGROUND FIXTURE WITHIN THE FENCE TREE PROTECTION ZONE SHALL BE ACCOMPLISHED BY BORING UNDER THE ROOT SYSTEM OF PROTECTED EXISTING TREES AT A MINIMUM DEPTH OF 24 INCHES.







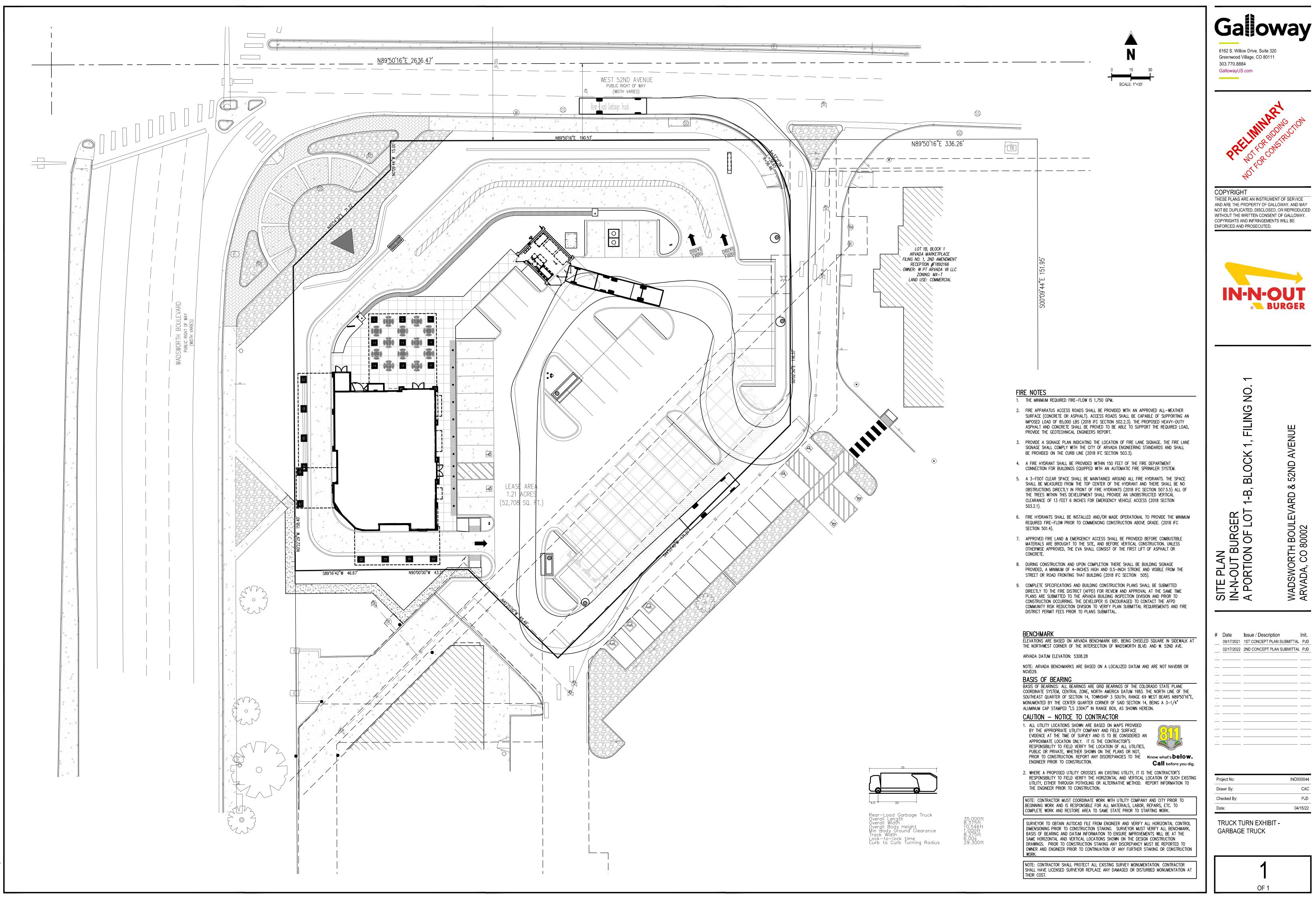
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SITE PLAN IN-N-OUT BURGER	A PORTION OF LOT 1-B, BLOCK 1, FILING NC	WADSWORTH BOULEVARD & 52ND AVENUE ARVADA, CO 80002
<pre># Date 07/27/21 04/25/2022 </pre>	Issue / Descrip	UBMITTAL PJD
Project No: Drawn By:		INO000044.20 AS
Checked By: Date:		DTT 07/27/2021

LANDSCAPE TREE SURVEY





Arvada 52nd and Wadsworth\0CIN7-Exhibit\N0044 - Truck Turn Exhibits dwg - Cayla Cappello -





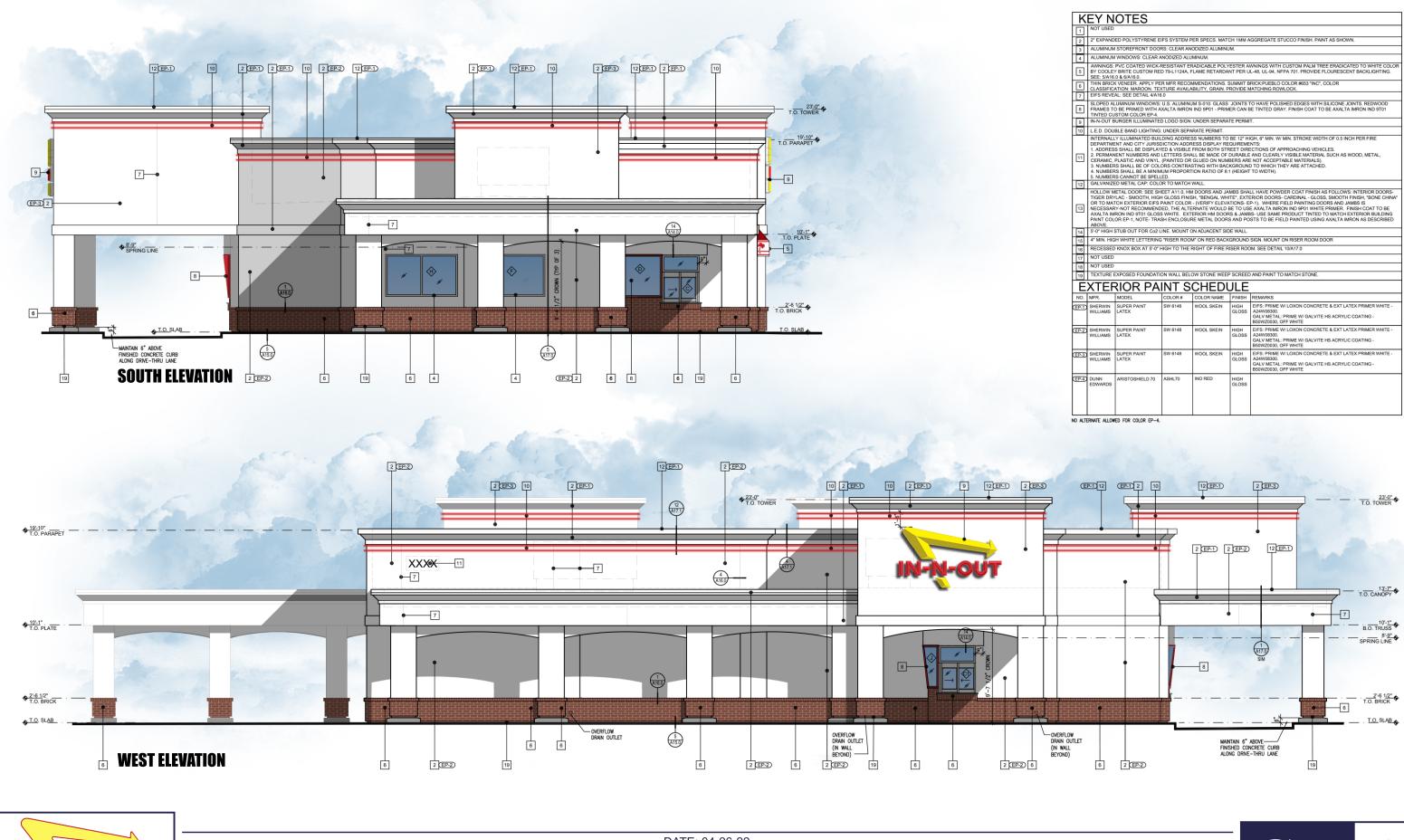
Colored Elevations	DATE: 04-26-22 SCALE: NTS	GHA Arc
IN-N-OUT BURGER		149

Ň		OTES						
1	NOT USED							
2	2" EXPAND	ED POLYSTYRENE E	IFS SYSTEM F	PER SPECS. MAT	CH 1MM A	GGREGATE STUCCO FINISH. PAINT AS SHOWN.		
3	ALUMINUN	I STOREFRONT DOO	RS: CLEAR AN	IODIZED ALUMINU	JM.			
4	ALUMINUN	WINDOWS: CLEAR	NODIZED ALU	IMINUM.				
5	BY COOLE SEE: 5/A16	Y BRITE CUSTOM RE .0 & 6/A16.0.	D 79-L1124A, I	FLAME RETARDA	NT PER U	WNINGS WITH CUSTOM PALM TREE ERADICATED TO WHITE COLC L-48, UL-94, NFPA 701. PROVIDE FLOURESCENT BACKLIGHTING.		
6						RICK:PUEBLO COLOR #653 "INC", COLOR IATCHING ROWLOCK.		
7	EIFS REVE	AL: SEE DETAIL 4/A16	3.0					
8	SLOPED ALLININUM WINDOWS: U.S. ALLININUM S-010. GLASS. JOINTS TO HAVE POLISHED EDGES WITH SILICONE JOINTS. REDWOOD FRAMES TO BE PRIMED WITH AXALTA IMRON IND 9P01 - PRIMER CAN BE TINTED GRAY. FINISH COAT TO BE AXALTA IMRON IND 9T01 TINTED CUSTOM COLOR EP-4.							
9	IN-N-OUT E	BURGER ILLUMINATE	D LOGO SIGN	UNDER SEPARA	TE PERMI	т.		
10	L.E.D. DOU	BLE BAND LIGHTING	UNDER SEP/	ARATE PERMIT.				
11	DEPARTME 1. ADDRES 2. PERMAN CERAMIC, 3. NUMBER 4. NUMBER 5. NUMBER	ENT AND CITY JURISI IS SHALL BE DISPLAY VENT NUMBERS AND PLASTIC AND VINYL. RS SHALL BE OF COL RS SHALL BE A MINIM RS CANNOT BE SPELI	DICTION ADDF (ED & VISIBLE LETTERS SH/ (PAINTED OR ORS CONTRA IUM PROPORT .ED.	RESS DISPLAY RE FROM BOTH STF ALL BE MADE OF GLUED ON NUM STING WITH BAC FION RATIO OF 6:	QUIREME REET DIRE DURABLE BERS ARE KGROUNI	ECTIONS OF APPROACHING VEHICLES. AND CLEARLY IVIBILE MATERIAL SUCH AS WOOD, METAL, E NOT ACCEPTABLE MATERIALS). J TO WHICH THEY ARE ATTACHED.		
12	GALVANIZ	ED METAL CAP: COLO	OR TO MATCH	WALL.				
13	HOLLOW METAL DOOR: SEE SHEET AT 10. HM DOORS AND JAMBS SHALL HAVE POWDER COAT FINISH AS FOLLOWS, INTERIOR DOORS- TIGER DRYLAG. SMOOTH, HIGH GLOSS FINISH, BENAAL WHITE: LETERIOR DOORS- CARDINAL - GLOSS, SMOOTH FINISH, "BONE CHINA' OR TO MATCH EXTERIOR EIRS PAINT COLOR. (VERIFY ELEVATIONS: EP-1), WHERE FIELD PAINTING DOORS AND JAMBS IS NECESSARY-MOT RECOMMENDED. THE ALTERNATE WOULD BE TO USE AVAIL TA MIKON IND GRY UNTIL PRIMER, FINISH COAT TO BE AVAILTA MIKON IND BTOTI GLOSS WHITE. EXTERIOR HIM DOORS & JAMBS: USE SAME PRODUCT TINTED TO MATCH EXTERIOR BUILDING AVAILTA MIKON IND BTOTI GLOSS WHITE. EXTERIOR HIM DOORS & JAMBS: USE SAME PRODUCT TINTED TO MATCH EXTERIOR BUILDING AROVE							
14	5'-0" HIGH	STUB OUT FOR Co2 I	INE. MOUNT	ON ADJACENT SID	DE WALL.			
15	4" MIN. HIG	GH WHITE LETTERING	RISER ROO	M" ON RED BACK	GROUND	SIGN. MOUNT ON RISER ROOM DOOR		
16	RECESSED	KNOX BOX AT 5'-0"	HIGH TO THE	RIGHT OF FIRE R	ISER ROO	DM. SEE DETAIL 10/A17.0		
17	NOT USED							
18	NOT USED							
19	TEXTURE	EXPOSED FOUNDATI	ON WALL BEL	OW STONE WEEP	SCREED	AND PAINT TO MATCH STONE.		
E	XTEF	RIOR PA	INT S	CHEDI	JLE			
NO.	MFR.	MODEL	COLOR #	COLOR NAME	FINISH	REMARKS		
EP-1	SHERWIN WILLIAMS	SUPER PAINT LATEX	SW 6148	WOOL SKEIN	HIGH GLOSS	EIFS: PRIME W/ LOXON CONCRETE & EXT LATEX PRIMER WHITE - A24W08300. GALV METAL: PRIME W/ GALVITE HS ACRYLIC COATING - B50W2D030, OFF WHITE		
<u>EP-2</u>	SHERWIN WILLIAMS	SUPER PAINT LATEX	SW 6148	WOOL SKEIN	HIGH GLOSS	EIFS: PRIME W/ LOXON CONCRETE & EXT LATEX PRIMER WHITE - A24W08300. GALV METAL: PRIME W/ GALVITE HS ACRYLIC COATING - B50WZ0030, OFF WHITE		
EP-3	SHERWIN WILLIAMS	SUPER PAINT LATEX	SW 6148	WOOL SKEIN	HIGH GLOSS	EIFS: PRIME W/ LOXON CONCRETE & EXT LATEX PRIMER WHITE - A24W08300. GALV METAL: PRIME W/ GALVITE HS ACRYLIC COATING - B50WZ0030, OFF WHITE		
EP-4)	DUNN EDWARDS	ARISTOSHIELD 70	ASHL70	INO RED	HIGH GLOSS			

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4901 Quorum Drive, Suite 300 Dallas, Texas 75254 972.239.8884





Colored Elevations
IN-N-OUT BURGER Arvada, CO

IN·N·

1	NOT USED	OTES							
Ľ									
2	2" EXPAND	ED POLYSTYRENE E	EIFS SYSTEM	PER SPECS. MAT	CH 1MM A	GGREGATE STUCCO FINISH. PAINT AS SHOWN.			
3	ALUMINUM	I STOREFRONT DOC	RS: CLEAR A	NODIZED ALUMINI	JM.				
4		WINDOWS: CLEAR							
5	BY COOLE SEE: 5/A16	Y BRITE CUSTOM RE .0 & 6/A16.0.	ED 79-L1124A,	FLAME RETARDA	NT PER U	WNINGS WITH CUSTOM PALM TREE ERADICATED TO WHITE COLO L-48, UL-94, NFPA 701. PROVIDE FLOURESCENT BACKLIGHTING.			
6	THIN BRICK VENEER. APPLY PER MFR RECOMMENDATIONS. SUMMIT BRICK:PUEBLO COLOR #653 "INC", COLOR CLASSIFICATION: MAROON. TEXTURE AVAILABILITY, GRAIN. PROVIDE MATCHING ROWLOCK.								
7	EIFS REVEAL: SEE DETAIL 4/A16.0								
8	SLOPED ALUMINUM WINDOWS: U.S. ALUMINUM S-010. GLASS JOINTS TO HAVE POLISHED EDGES WITH SILICONE JOINTS. REDWOOD FRAMES TO BE PRIMED WITH AXALTA IMRON IND 9P01 - PRIMER CAN BE TINTED GRAY. FINISH COAT TO BE AXALTA IMRON IND 9T01 TINTED CUSTOM COLOR EP4.								
9	IN-N-OUT E	BURGER ILLUMINATE	D LOGO SIG	N: UNDER SEPARA	TE PERMI	Т.			
10	L.E.D. DOU	BLE BAND LIGHTING	: UNDER SEP	ARATE PERMIT.					
11	INTERNALLY ILLUMINATED BUILDING ADDRESS NUMBERS TO BE 12* HIGH, 6* MIN. WY MIN. STROKE WIDTH OF 0.5 INCH PER FIRE DEPARTMENT AND CITY JURISDICTION ADDRESS DISPLAY REQUIREMENTS: 1. ADDRESS SHALL BE DISPLAYED & VISIBLE FROM BOTH STREET DIRECTIONS OF APPRACHING VEHICLES. 2. PERNAMENT NUMBERS AND UTTERS SHALL BE MADE OF DURABLE AND CLEARLY VISIBLE MATERIAL SUCH AS WOOD, METAL, CERAMIC, PLASTIC AND VINYL, (PAINTED OR GLUED ON NUMBERS ARE NOT ACCEPTABLE MATERIAL SUCH AS WOOD, METAL, 3. NUMBERS SHALL BE CALORS CONTRASTING WITH BACKGROUND TO WHICH THEY ARE ATTACHED. 4. NUMBERS SHALL BE A MINIMUM PROPORTION RATIO OF 6:1 (HEIGHT TO WIDTH). 5. NUMBERS SHALL BE A MINIMUM PROPORTION RATIO OF 6:1 (HEIGHT TO WIDTH).								
12		ED METAL CAP: COL							
13	TIGER DRY OR TO MA NECESSAF AXALTA IM PAINT COL ABOVE.	/LAC - SMOOTH, HIG TCH EXTERIOR EIFS RY-NOT RECOMMENI IRON IND 9T01 GLOS .OR EP-1, NOTE- TRA	H GLOSS FIN PAINT COLO DED, THE ALT IS WHITE. EX ISH ENCLOSU	ISH, "BENGAL WH R - (VERIFY ELEV/ ERNATE WOULD TERIOR HM DOOI JRE METAL DOOR	ITE", EXTE ATIONS- E BE TO US RS & JAME S AND PO	LL HAVE POWDER COAT FINISH AS FOLLOWS: INTERIOR DOORS- ERIOR DOORS-CADINAL - GLOSS, SMOOTH FINISH, "BONE CHINA P-1), WHERE FIELD PAINTING DOORS AND JAMBS IS E AXALTA IMRON NO BPOI VINIET PRIMER. FINISH COAT TO BE IS-USE SAME PRODUCT TINTED TO MATCH EXTERIOR BUILDING STS TO BE FIELD PAINTED USING AVALTA IMRON AS DESCRIBED			
14		STUB OUT FOR Co2							
15						SIGN. MOUNT ON RISER ROOM DOOR			
16			HIGH TO THE	RIGHT OF FIRE F	RISER ROO	DM. SEE DETAIL 10/A17.0			
	NOT USED								
17	NOT USED	NOT USED							
17 18	TEXTURE EXPOSED FOUNDATION WALL BELOW STONE WEEP SCREED AND PAINT TO MATCH STONE.								
-	TEXTURE	EXPOSED FOUNDAT	ION WALL BE	LOW STONE WEE	P SCREEL	AND PAINT TO MATCH STONE.			
18						AND PAINT TO MATCH STONE.			
18 19	XTEF	RIOR PA	INT S	CHED	JLE				
18						REMARKS EIFS: PRIME W/LOXON CONCRETE & EXT LATEX PRIMER WHITE - A24W0300. GALV METAL: PRIME W/ GALVITE HS ACRYLIC COATING -			
18 19 NO.	XTEF MFR. SHERWIN	MODEL SUPER PAINT	INT S		JLE FINISH HIGH	REMARKS EIFS: PRIME W/ LOXON CONCRETE & EXT LATEX PRIMER WHITE - A24W08300.			
18 19 NO.	MFR. SHERWIN WILLIAMS	MODEL SUPER PAINT LATEX	COLOR # SW 6148	COLOR NAME WOOL SKEIN	FINISH HIGH GLOSS	REMARKS EIFS: PRIME W/LOXON CONCRETE & EXT LATEX PRIMER WHITE - A24W0300. GALV METAL: PRIME W/ GALVITE HS ACRYLIC COATING - B60V20030, OFF WHITE HERS: PRIME W/LOXON CONCRETE & EXT LATEX PRIMER WHITE - A24W0300. GALV METAL: PRIME W/ GALVITE HS ACRYLIC COATING -			

GHA Architecture / Development

14901 Quorum Drive, Suite 300 Dallas, Texas 75254 972.239.8884









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