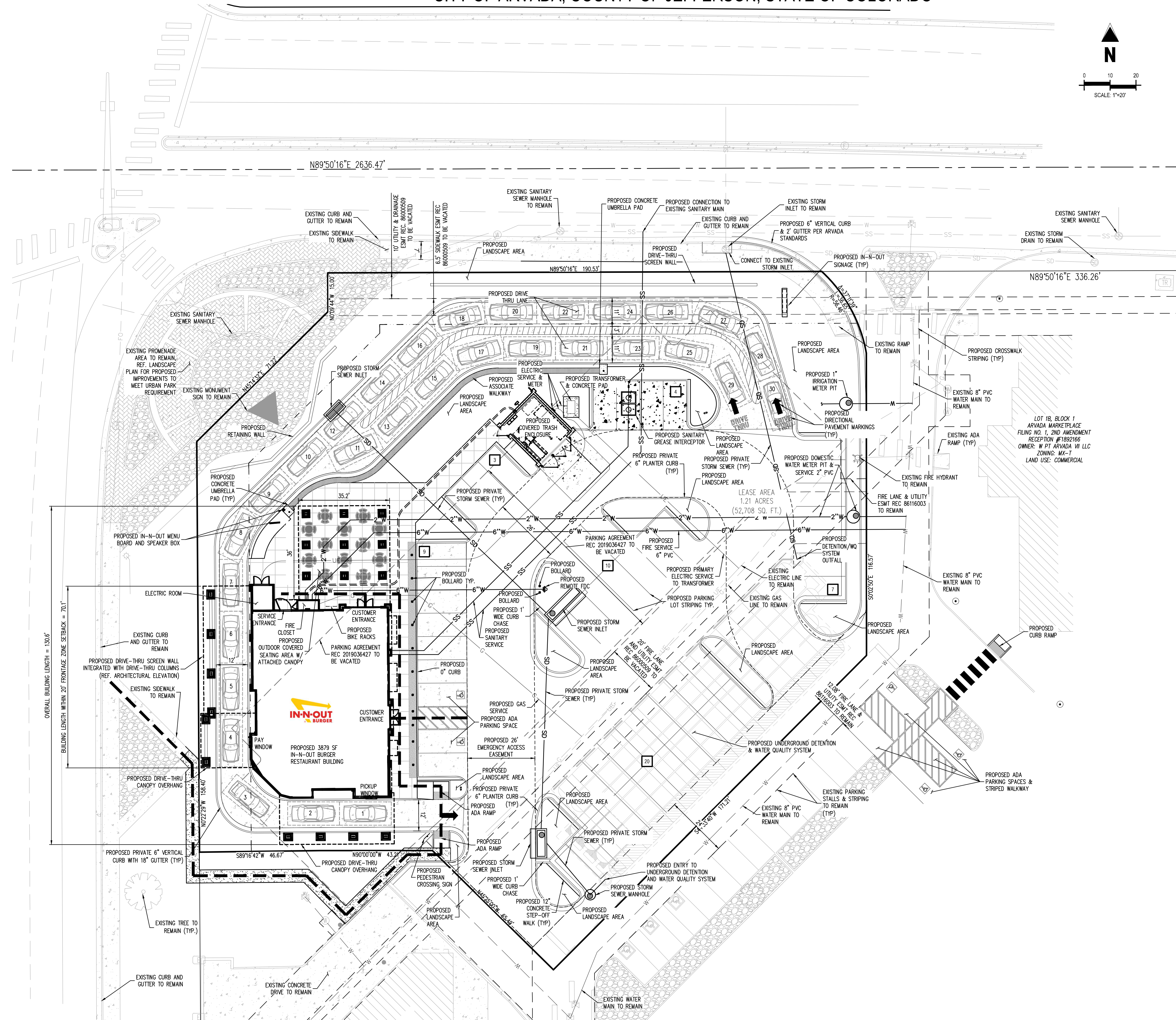


IN-N-OUT BURGER MAJOR MODIFICATION

A PORTION OF LOT 1-B, BLOCK 1, ARVADA MARKETPLACE FILING NO. 1 – SECOND AMENDMENT MINOR SUBDIVISION

SITUATED IN THE NW 1/4 OF THE SW 1/4 OF SECTION 14, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE 6TH P.M.
CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO



LEGEND

- PROPERTY BOUNDARY LINE
- - - ADJACENT PROPERTY BOUNDARY LINE
- - - EXISTING EASEMENT
- - - PROPOSED EASEMENT
- - - EXISTING CURB & GUTTER
- - - PROPOSED CURB & GUTTER
- - - ACCESSIBLE PATH
- - - PROPOSED CURB & GUTTER
- - - 20' FRONTAGE ZONE SETBACK
- PARKING COUNT
- EXISTING ELECTRIC BOX
- EXISTING ELECTRIC CABINET
- EXISTING LIGHT POLE
- EXISTING ELECTRIC TRANSFORMER
- EXISTING ELECTRIC VAULT
- EXISTING GAS METER
- EXISTING IRRIGATION BOX
- EXISTING SANITARY SEWER MANHOLE
- EXISTING SANITARY SEWER CLEANOUT
- EXISTING STORM SEWER MANHOLE
- EXISTING TELECOM PEDESTAL
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING WATER VAULT
- EXISTING VEGETATION
- EXISTING WATER VAULT
- PROPOSED MANHOLE
- PROPOSED STORM SEWER INLET
- PROPOSED SITE LIGHT
- PROPOSED OUTDOOR PATIO SEATING TABLE (4 SEATS, NO UMBRELLA)
- PROPOSED CANOPY COLUMN
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE PAVEMENT
- PROPOSED BLACK CONCRETE PAVEMENT
- PROPOSED ASPHALT PAVEMENT

FIRE NOTES

1. THE MINIMUM REQUIRED FIRE-FLOW IS 1,750 GPM.
2. FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED WITH AN APPROVED ALL-WEATHER SURFACE (CONCRETE OR ASPHALT). ACCESS ROADS SHALL BE CAPABLE OF SUPPORTING AN IMPOSED LOAD OF 85,000 LBS (2018 IFC SECTION 502.2.3). THE PROPOSED HEAVY-DUTY ASPHALT AND CONCRETE SHALL BE PROVIDED TO BE ABLE TO SUPPORT THE REQUIRED LOAD, PROVIDE THE GEOTECHNICAL ENGINEERS REPORT.
3. PROVIDE A SIGNAGE PLAN INDICATING THE LOCATION OF FIRE LANE SIGNAGE. THE FIRE LANE SIGNAGE SHALL COMPLY WITH THE CITY OF ARVADA ENGINEERING STANDARDS AND SHALL BE PROVIDED ON THE CURB LINE (2018 IFC SECTION 503.3).
4. A FIRE HYDRANT SHALL BE PROVIDED WITHIN 150 FEET OF THE FIRE DEPARTMENT CONNECTION FOR BUILDINGS EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM.
5. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND ALL FIRE HYDRANTS. THE SPACE SHALL BE MEASURED FROM THE TOP CENTER OF THE HYDRANT AND THERE SHALL BE NO OBSTRUCTIONS DIRECTLY IN FRONT OF FIRE HYDRANTS (2018 IFC SECTION 507.5.5) ALL OF THE TREES WITHIN THIS DEVELOPMENT SHALL PROVIDE AN UNOBSTRUCTED VERTICAL CLEARANCE OF 13 FEET 6 INCHES FOR EMERGENCY VEHICLE ACCESS (2018 SECTION 503.2.1).
6. FIRE HYDRANTS SHALL BE INSTALLED AND/OR MADE OPERATIONAL TO PROVIDE THE MINIMUM REQUIRED FIRE-FLOW PRIOR TO COMMENCING CONSTRUCTION ABOVE GRADE. (2018 IFC SECTION 501.4).
7. APPROVED FIRE LANE & EMERGENCY ACCESS SHALL BE PROVIDED BEFORE COMBUSTIBLE MATERIALS ARE BROUGHT TO THE SITE, AND BEFORE VERTICAL CONSTRUCTION UNLESS OTHERWISE APPROVED, THE EVA SHALL CONSIST OF THE FIRST LIFT OF ASPHALT OR CONCRETE.
8. DURING CONSTRUCTION AND UPON COMPLETION THERE SHALL BE BUILDING SIGNAGE PROVIDED, A MINIMUM OF 4-INCHES HIGH AND 0.5-INCH STROKE AND VISIBLE FROM THE STREET OR ROAD FRONTING THAT BUILDING (2018 IFC SECTION 505).
9. COMPLETE SPECIFICATIONS AND BUILDING CONSTRUCTION PLANS SHALL BE SUBMITTED DIRECTLY TO THE FIRE DISTRICT (AFD) FOR REVIEW AND APPROVAL AT THE SAME TIME PLANS ARE SUBMITTED TO THE ARVADA BUILDING INSPECTION DIVISION AND PRIOR TO CONSTRUCTION OCCURRING. THE DEVELOPER IS ENCOURAGED TO CONTACT THE AFD COMMUNITY RISK REDUCTION DIVISION TO VERIFY PLAN SUBMITTAL REQUIREMENTS AND FIRE DISTRICT PERMIT FEES PRIOR TO PLANS SUBMITTAL.

BENCHMARK

ELEVATIONS ARE BASED ON ARVADA BENCHMARK 681, BEING CHISELED SQUARE IN SIDEWALK AT THE NORTHWEST CORNER OF THE INTERSECTION OF WADSWORTH BLVD. AND W. 52ND AVE.
ARVADA DATUM ELEVATION: 5308.28

BASIS OF BEARING

BASES OF BEARINGS: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICA DATUM 1983. THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 3 SOUTH, RANGE 69 WEST BEARS N89°50'16"E, MONUMENTED BY THE CENTER QUARTER CORNER OF SAID SECTION 14, BEING A 3-1/4" ALUMINUM CAP STAMPED 'LS 23047' IN RANGE BOX, AS SHOWN HEREON.

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONS PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

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SITE PLAN
IN-N-OUT BURGER
A PORTION OF LOT 1-B, BLOCK 1, FILING NO. 1
WADSWORTH BOULEVARD & 52ND AVENUE
ARVADA, CO 80002

#	Date	Issue / Description	Init.
1	09/17/2021	1ST CONCEPT PLAN SUBMITTAL	PJD
2	02/17/2022	2ND CONCEPT PLAN SUBMITTAL	CAC
3	04/25/2022	3RD CONCEPT PLAN SUBMITTAL	PJD

Project No: IN0000044.20
Drawn By: CAC
Checked By: PJD
Date: 04/25/2022

CONCEPTUAL SITE PLAN

IN-N-OUT BURGER

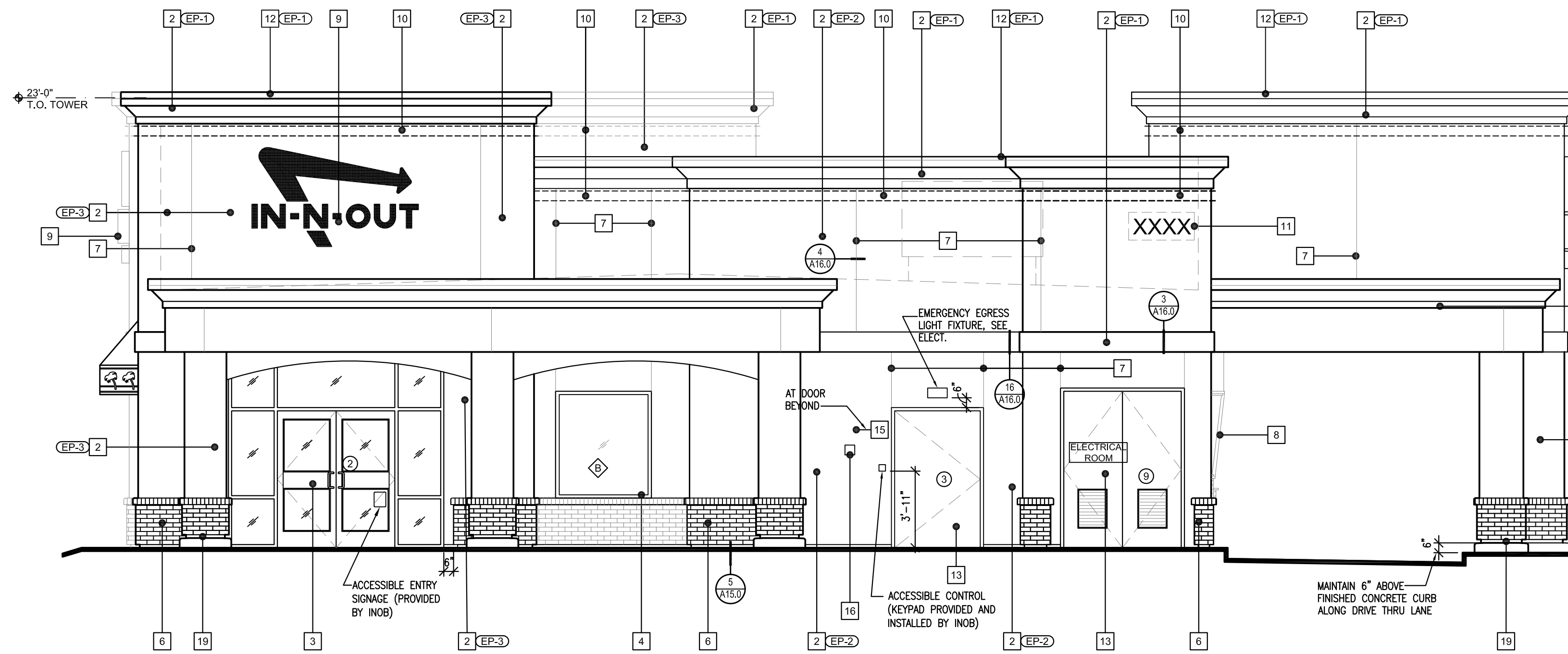
MAJOR MODIFICATION

A PORTION OF LOT 1-B, BLOCK 1, ARVADA MARKETPLACE FILING NO. 1 – SECOND AMENDMENT MINOR SUBDIVISION

SITUATED IN THE NW 1/4 OF THE SW 1/4 OF SECTION 14, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE 6TH P.M.
CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO

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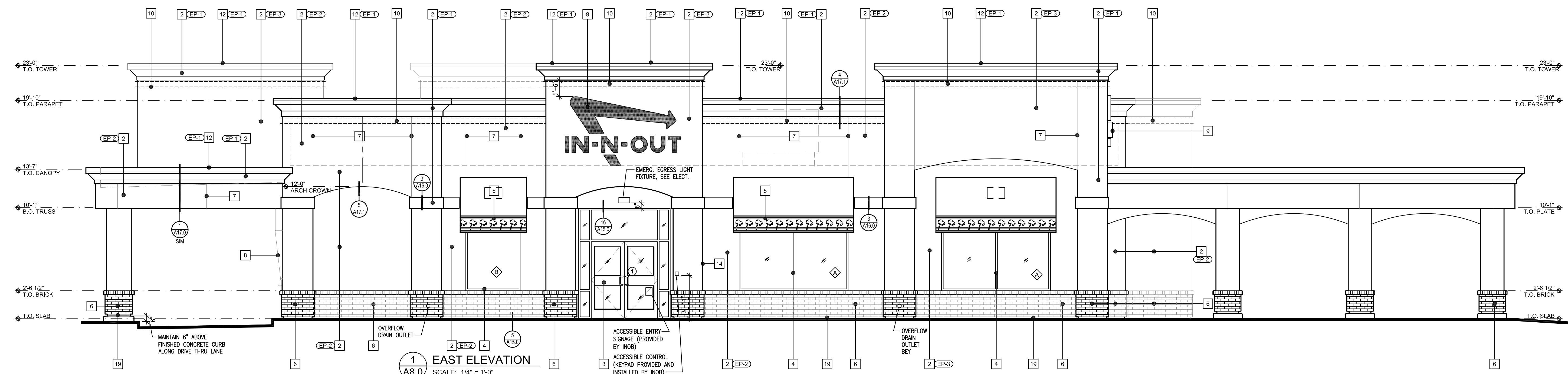


2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

KEY NOTES			
1	NOT USED		
2	2" EXPANDED POLYSTYRENE EIFS SYSTEM PER SPECS. MATCH 1MM AGGREGATE STUCCO FINISH. PAINT AS SHOWN.		
3	ALUMINUM STOREFRONT DOORS: CLEAR ANODIZED ALUMINUM.		
4	ALUMINUM WINDOWS: CLEAR ANODIZED ALUMINUM.		
5	AWNINGS: PVC COATED WICK-RESISTANT ERADICABLE POLYESTER AWNINGS WITH CUSTOM PALM TREE ERADICATED TO WHITE COLOR BY COOLEY BRITE CUSTOM RED 79L1124A. FLAME RETARDANT PER UL-48, UL-94, NFPA 701. PROVIDE FLOURESCENT BACKLIGHTING. SEE: SW16.0 & SW16.0.		
6	THIN BRICK VENEER. APPLY PER MFR RECOMMENDATIONS. SUMMIT BRICK/PUEBLO COLOR #63 "INCA". COLOR CLASSIFICATION: MAROON. TEXTURE AVAILABLE. GRAIN. PROVIDE MATCHING ROW/LOCK.		
7	EIFS REVEAL: SEE DETAIL A14.0		
8	SLOPED ALUMINUM WINDOWS: U.S. ALUMINUM S-910. GLASS JOINTS TO HAVE POLISHED EDGES WITH SILICONE JOINTS. REDWOOD FRAMES TO BE PRIMED WITH AXALTA IMRON IND 9P01 - PRIMER CAN BE TINTED GRAY. FINISH COAT TO BE AXALTA IMRON IND 9T01 TINTED CUSTOM COLOR EP-4.		
9	IN-N-OUT BURGER ILLUMINATED LOGO SIGN: UNDER SEPARATE PERMIT.		
10	L.E.D. DOUBLE BAND LIGHTING: UNDER SEPARATE PERMIT.		
11	INTERNALLY ILLUMINATED BUILDING ADDRESS NUMBERS TO BE 12" HIGH, 6" MIN. W/ MIN. STROKE WIDTH OF 0.5 INCH PER FIRE DEPARTMENT AND CITY JURISDICTION ADDRESS DISPLAY REQUIREMENTS. 1. ADDRESS SHALL BE DISPLAYED & VISIBLE FROM BOTH STREET DIRECTIONS OF APPROACHING VEHICLES. 2. PERMANENT NUMBERS AND LETTERS SHALL BE MADE OF DURABLE AND CLEARLY VISIBLE MATERIAL SUCH AS WOOD, METAL, CERAMIC, PLASTIC AND VINYL. PAINTED OR GLEED ON NUMBERS ARE NOT ACCEPTABLE MATERIALS. 3. NUMBERS SHALL BE OF COLORS CONTRASTING WITH BACKGROUND TO WHICH THEY ARE ATTACHED. 4. NUMBERS SHALL BE A MINIMUM PROPORTION RATIO OF 6:1 (HEIGHT TO WIDTH). 5. NUMBERS CANNOT BE SPELLED.		
12	GOLDFINISHED METAL CAP: COLOR TO MATCH WALL.		
13	HOLLOW METAL DOOR: SEE SHEET A11.0. HM DOORS AND JAMBS SHALL HAVE POWDER COAT FINISH AS FOLLOWS: INTERIOR DOORS- TIGER DRYLAC - SMOOTH, HIGH GLOSS FINISH. "BENGAL WHITE". EXTERIOR DOORS- CARDINAL - GLOSS, SMOOTH FINISH. "BONE CHINA" OR TO MATCH EXTERIOR EIFS PAINT COLOR - (VERIFY ELEVATIONS EP-1). WHERE FIELD PAINTING DOORS AND JAMBS IS NECESSARY NOT RECOMMENDED. THE ALTERNATE WOULD BE TO USE AXALTA IMRON IND 9P01 WHITE PRIMER, FINISH COAT TO BE AXALTA IMRON IND 9T01 GLOSS WHITE. EXTERIOR HM DOORS & JAMBS- USE SAME PRODUCT TINTED TO MATCH EXTERIOR BUILDING PAINT COLOR EP-1. NOTE: TRASH ENCLOSURE METAL DOORS AND POSTS TO BE FIELD PAINTED USING AXALTA IMRON AS DESCRIBED ABOVE.		
14	6" H HIGH STUB OUT FOR GAS LINE. MOUNT ON ADJACENT SIDE WALL.		
15	4" MIN HIGH WHITE LETTERING "RISER ROOM" ON RED BACKGROUND SIGN. MOUNT ON RISER ROOM DOOR		
16	RECESSED KNOX BOX AT 5'-0" HIGH TO THE RIGHT OF FIRE RISER ROOM. SEE DETAIL 10A17.0		
17	NOT USED		
18	NOT USED		
19	TEXTURE EXPOSED FOUNDATION WALL BELOW STONE WEEP SCREED AND PAINT TO MATCH STONE.		

EXTERIOR PAINT SCHEDULE						
NO.	MFR.	MODEL	COLOR #	COLOR NAME	FINISH	REMARKS
EP-1	SHERWIN WILLIAMS	SUPER PAINT LATEX	SW 6148	WOOL SKEIN	HIGH GLOSS	EP-1: PRIME W/ LOXON CONCRETE & EXT LATEX PRIMER WHITE - AS4W9300. GALV METAL: PRIME W/ GALVITE HS ACRYLIC COATING - B50W2000. OFF WHITE
EP-2	SHERWIN WILLIAMS	SUPER PAINT LATEX	SW 6148	WOOL SKEIN	HIGH GLOSS	EP-2: PRIME W/ LOXON CONCRETE & EXT LATEX PRIMER WHITE - AS4W9300. GALV METAL: PRIME W/ GALVITE HS ACRYLIC COATING - B50W2000. OFF WHITE
EP-3	SHERWIN WILLIAMS	SUPER PAINT LATEX	SW 6148	WOOL SKEIN	HIGH GLOSS	EP-3: PRIME W/ LOXON CONCRETE & EXT LATEX PRIMER WHITE - AS4W9300. GALV METAL: PRIME W/ GALVITE HS ACRYLIC COATING - B50W2000. OFF WHITE
EP-4	DUNN EDWARDS	ARISTOSHIELD 70	ASHL70	INO RED	HIGH GLOSS	EP-4: PRIME W/ LOXON CONCRETE & EXT LATEX PRIMER WHITE - AS4W9300. GALV METAL: PRIME W/ GALVITE HS ACRYLIC COATING - B50W2000. OFF WHITE

NO ALTERNATE ALLOWED FOR COLOR EP-4.



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

SITE PLAN
IN-N-OUT BURGER
A PORTION OF LOT 1-B, BLOCK 1, FILING NO. 1

WADSWORTH BOULEVARD & 52ND AVENUE
ARVADA, CO 80002

#	Date	Issue / Description	Init.
1	08/17/2021	1ST CONCEPT PLAN SUBMITTAL	PJD
2	02/17/2022	2ND CONCEPT PLAN SUBMITTAL	PJD
3	04/25/2022	3RD CONCEPT PLAN SUBMITTAL	PJD

Project No:	IN000044.20
Drawn By:	
Checked By:	
Date:	04/26/2022

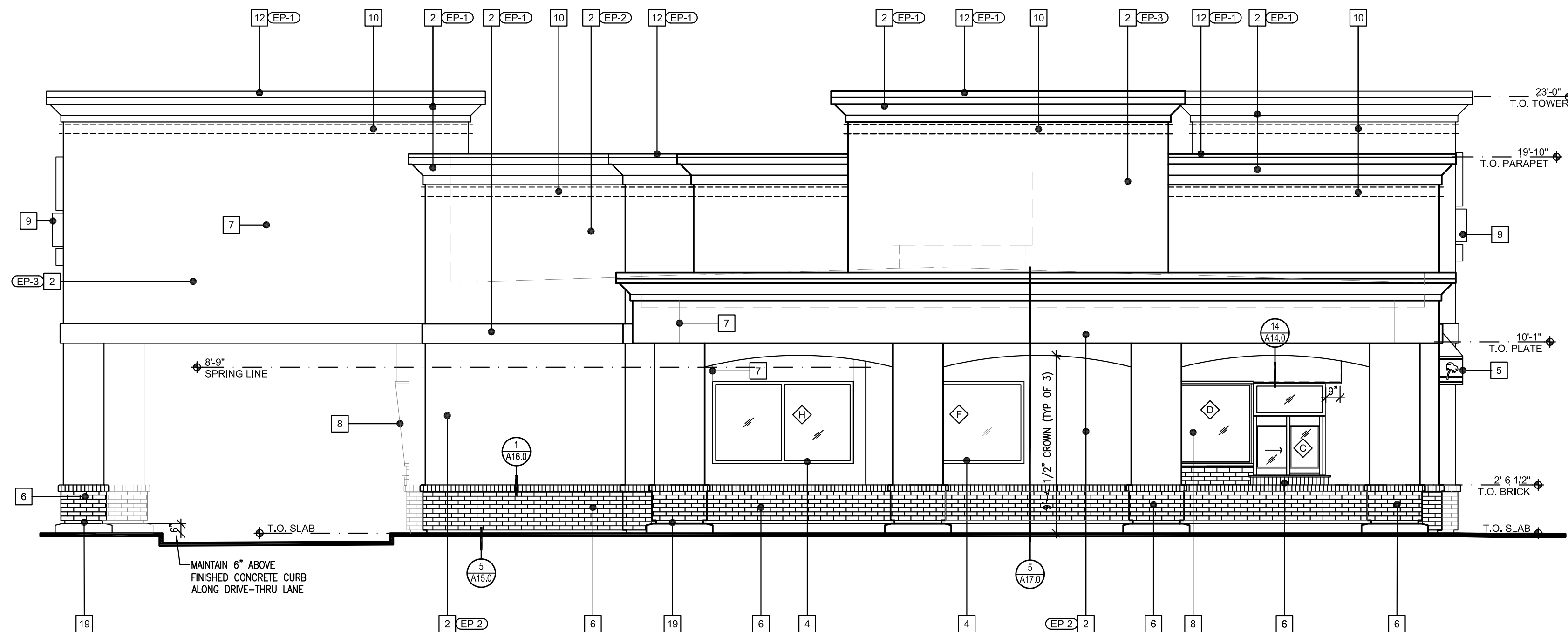
EXTERIOR ELEVATIONS

IN-N-OUT BURGER

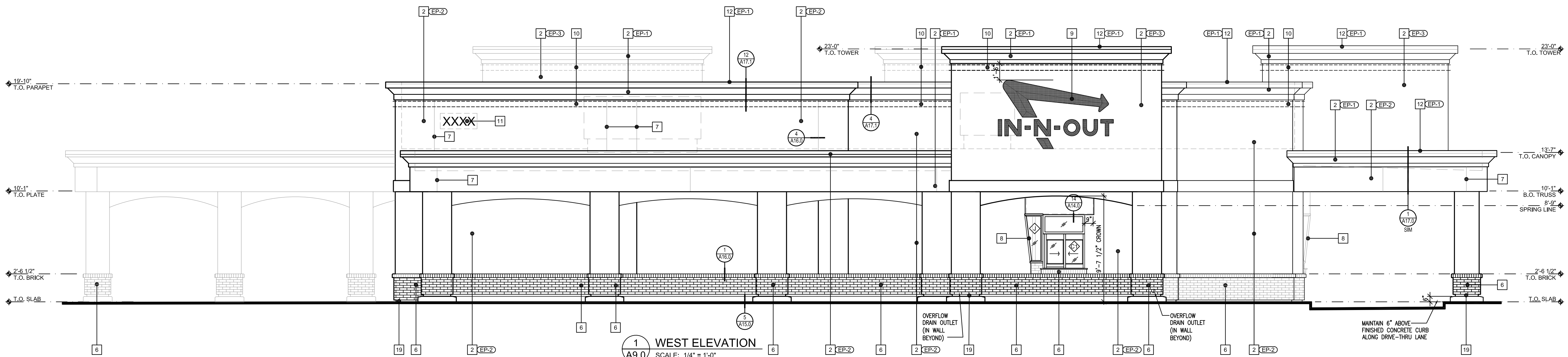
MAJOR MODIFICATION

A PORTION OF LOT 1-B, BLOCK 1, ARVADA MARKETPLACE FILING NO. 1 – SECOND AMENDMENT MINOR SUBDIVISION

SITUATED IN THE NW 1/4 OF THE SW 1/4 OF SECTION 14, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE 6TH P.M.
CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"

KEY NOTES	
1	NOT USED
2	2" EXPANDED POLYSTYRENE EIFS SYSTEM PER SPECS. MATCH 1MM AGGREGATE STUCCO FINISH. PAINT AS SHOWN.
3	ALUMINUM STOREFRONT DOORS: CLEAR ANODIZED ALUMINUM.
4	ALUMINUM WINDOWS: CLEAR ANODIZED ALUMINUM.
5	AWNINGS: PVC COATED WICK-RESISTANT ERADICABLE POLYESTER AWNINGS WITH CUSTOM PALM TREE ERADICATED TO WHITE COLOR BY COOLEY BRITE CUSTOM RED 79L1124A. FLAME RETARDANT PER UL-94, NFPA 701. PROVIDE FLOURESCENT BACKLIGHTING. SEE: SWA16.0 & SWA16.0.
6	THIN BRICK VENEER. APPLY PER MFR RECOMMENDATIONS. SUMMIT BRICK/PUEBLO COLOR #63 "INCA". COLOR CLASSIFICATION: MAROON. TEXTURE: AVAILABLE. GRAIN: PROVIDE MATCHING ROW/LOCK.
7	EIFS REVEAL: SEE DETAIL A9.0.
8	SLOPED ALUMINUM WINDOWS: U.S. ALUMINUM S-910. GLASS JOINTS TO HAVE POLISHED EDGES WITH SILICONE JOINTS. REDWOOD FRAMES TO BE PRIMED WITH AXALTA IMRON IND 9P01 - PRIMER CAN BE TINTED GRAY. FINISH COAT TO BE AXALTA IMRON IND 9T01 TINTED CUSTOM COLOR EP-4.
9	IN-N-OUT BURGER ILLUMINATED LOGO SIGN: UNDER SEPARATE PERMIT.
10	L.E.D. DOUBLE BAND LIGHTING: UNDER SEPARATE PERMIT.
11	INTERNALLY ILLUMINATED BUILDING ADDRESS NUMBERS TO BE 12" HIGH, 6" MIN. W/ MIN. STROKE WIDTH OF 0.5 INCH PER FIRE DEPARTMENT AND CITY JURISDICTION ADDRESS DISPLAY REQUIREMENTS. 1. ADDRESS SHALL BE DISPLAYED & VISIBLE FROM BOTH STREET DIRECTIONS OF APPROACHING VEHICLES. 2. PERMANENT NUMBERS AND LETTERS SHALL BE MADE OF DURABLE AND CLEARLY VISIBLE MATERIAL SUCH AS WOOD, METAL, CERAMIC, PLASTIC AND VINYL. PAINTED OR GLEUED ON NUMBERS ARE NOT ACCEPTABLE MATERIALS. 3. NUMBERS SHALL BE OF COLORS CONTRASTING WITH BACKGROUND TO WHICH THEY ARE ATTACHED. 4. NUMBERS SHALL BE A MINIMUM PROPORTION RATIO OF 6:1 (HEIGHT TO WIDTH). 5. NUMBERS CANNOT BE SPELLED.
12	GULFWAZED METAL CAP: COLOR TO MATCH WALL.
13	HOLLOW METAL DOOR: SEE SHEET A11.0. HM DOORS AND JAMBS SHALL HAVE POWDER COAT FINISH AS FOLLOWS: INTERIOR DOORS- TIGER DRYLAC - SMOOTH, HIGH GLOSS FINISH. "BENGAL WHITE". EXTERIOR DOORS- CARDINAL - GLOSS, SMOOTH FINISH. "BONE CHINA" OR TO MATCH EXTERIOR EIFS PAINT COLOR - (VERIFY ELEVATIONS- EP-1). WHERE FIELD PAINTING DOORS AND JAMBS IS NECESSARY-NOT RECOMMENDED. THE ALTERNATE WOULD BE TO USE AXALTA IMRON IND 9P01 WHITE PRIMER, FINISH COAT TO BE AXALTA IMRON IND 9T01 GLOSS WHITE. EXTERIOR HM DOORS & JAMBS- USE SAME PRODUCT TINTED TO MATCH EXTERIOR BUILDING PAINT COLOR EP-1. NOTE: TRASH ENCLOSURE METAL DOORS AND POSTS TO BE FIELD PAINTED USING AXALTA IMRON AS DESCRIBED ABOVE.
14	5'-0" HIGH STUB OUT FOR GAS LINE. MOUNT ON ADJACENT SIDE WALL.
15	4" MIN. HIGH WHITE LETTERING "RISER ROOM" ON RED BACKGROUND SIGN. MOUNT ON RISER ROOM DOOR.
16	RECESSED KNOX BOX AT 5'-0" HIGH TO THE RIGHT OF FIRE RISER ROOM. SEE DETAIL 10A17.0
17	NOT USED
18	NOT USED
19	TEXTURE EXPOSED FOUNDATION WALL BELOW STONE WEEP SCREED AND PAINT TO MATCH STONE.

EXTERIOR PAINT SCHEDULE						
NO.	MFR.	MODEL	COLOR #	COLOR NAME	FINISH	REMARKS
EP-1	SHERWIN WILLIAMS	SUPER PAINT LATEX	SW 6148	WOOL SKEIN	HIGH GLOSS	EIFS: PRIME W/ LOXON CONCRETE & EXT LATEX PRIMER WHITE - AS9W98300. GALV METAL: PRIME W/ GALVITE HS ACRYLIC COATING - B50W20030. OFF WHITE
EP-2	SHERWIN WILLIAMS	SUPER PAINT LATEX	SW 6148	WOOL SKEIN	HIGH GLOSS	EIFS: PRIME W/ LOXON CONCRETE & EXT LATEX PRIMER WHITE - AS9W98300. GALV METAL: PRIME W/ GALVITE HS ACRYLIC COATING - B50W20030. OFF WHITE
EP-3	SHERWIN WILLIAMS	SUPER PAINT LATEX	SW 6148	WOOL SKEIN	HIGH GLOSS	EIFS: PRIME W/ LOXON CONCRETE & EXT LATEX PRIMER WHITE - AS9W98300. GALV METAL: PRIME W/ GALVITE HS ACRYLIC COATING - B50W20030. OFF WHITE
EP-4	DUNN EDWARDS	ARISTOSHIELD 70	ASHL70	INO RED	HIGH GLOSS	EIFS: PRIME W/ LOXON CONCRETE & EXT LATEX PRIMER WHITE - AS9W98300. GALV METAL: PRIME W/ GALVITE HS ACRYLIC COATING - B50W20030. OFF WHITE

NO ALTERNATE ALLOWED FOR COLOR EP-4.

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SITE PLAN
IN-N-OUT BURGER
A PORTION OF LOT 1-B, BLOCK 1, FILING NO. 1

WADSWORTH BOULEVARD & 52ND AVENUE
ARVADA, CO 80002

#	Date	Issue / Description	Init.
1	08/17/2021	1ST CONCEPT PLAN SUBMITTAL	PJD
2	02/17/2022	2ND CONCEPT PLAN SUBMITTAL	PJD
3	04/25/2022	3RD CONCEPT PLAN SUBMITTAL	PJD

Project No: INC000044.20
Drawn By:
Checked By:
Date: 04/26/2022

EXTERIOR ELEVATIONS

IN-N-OUT BURGER

MAJOR MODIFICATION

A PORTION OF LOT 1-B, BLOCK 1, ARVADA MARKETPLACE FILING NO. 1 – SECOND AMENDMENT MINOR SUBDIVISION
 SITUATED IN THE NW 1/4 OF THE SW 1/4 OF SECTION 14, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE 6TH P.M.
 CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO

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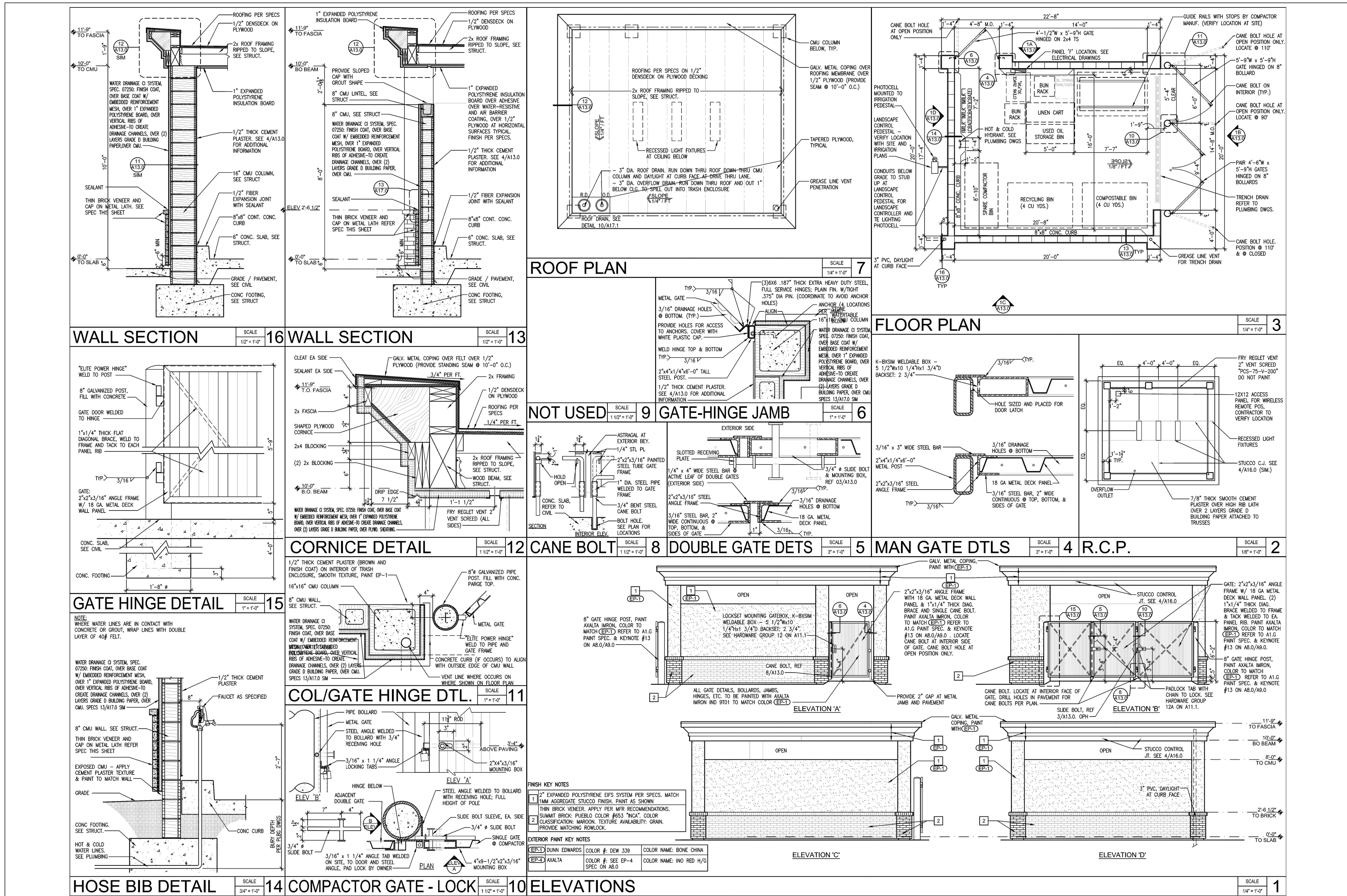


SITE PLAN
 IN-N-OUT BURGER
 A PORTION OF LOT 1-B, BLOCK 1, FILING NO. 1
 WADSWORTH BOULEVARD & 52ND AVENUE
 ARVADA, CO 80002

#	Date	Issue / Description	Init.
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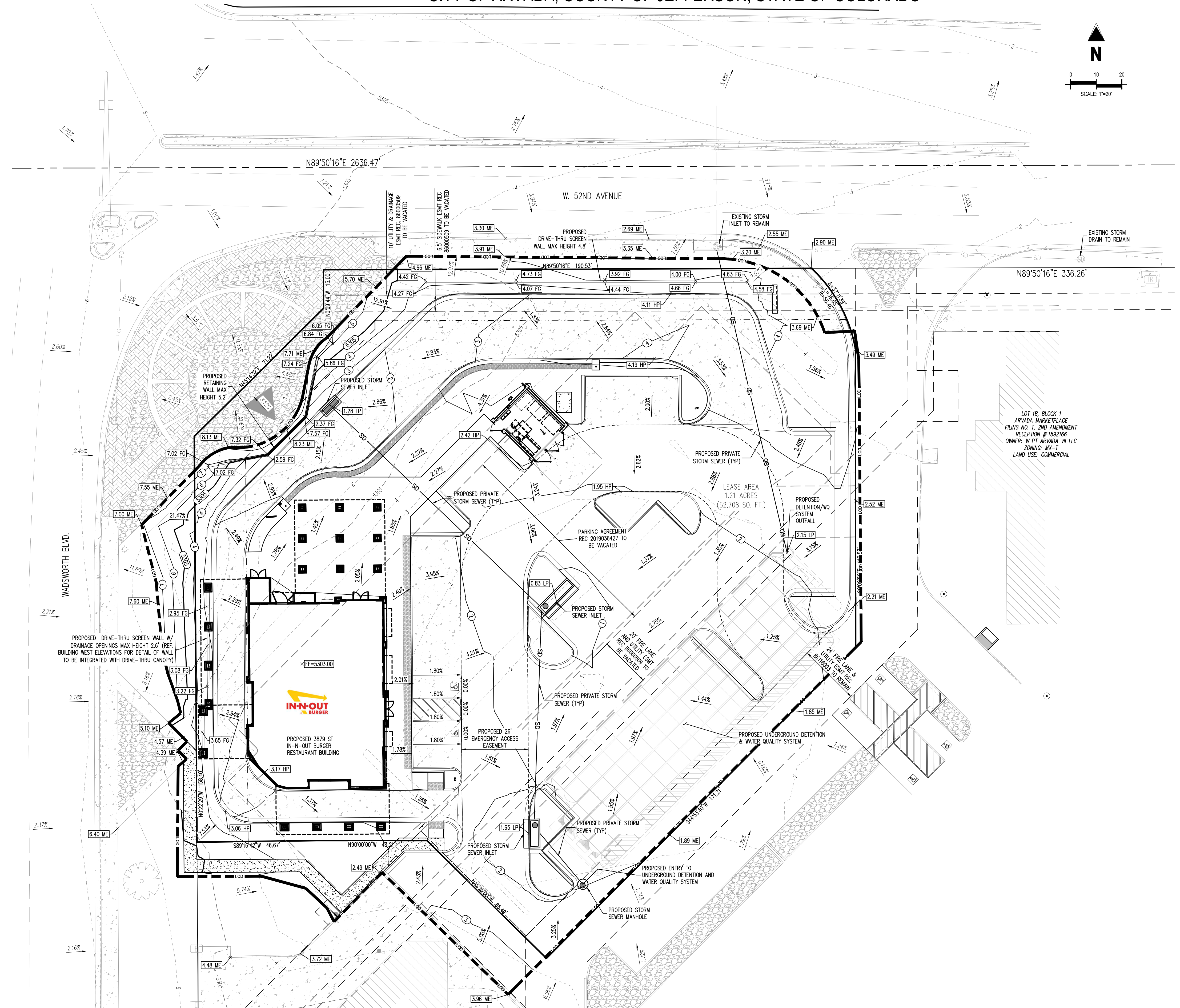
Project No: IN000044.20
 Drawn By:
 Checked By:
 Date: 04/25/2022

TRASH_ENCLOSURE



IN-N-OUT BURGER MAJOR MODIFICATION

A PORTION OF LOT 1-B, BLOCK 1, ARVADA MARKETPLACE FILING NO. 1 – SECOND AMENDMENT MINOR SUBDIVISION
SITUATED IN THE NW 1/4 OF THE SW 1/4 OF SECTION 14, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE 6TH P.M.
CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO



SITE LEGEND

---	PROPERTY BOUNDARY LINE
---	ADJACENT PROPERTY BOUNDARY LINE
---	RIGHT OF WAY BOUNDARY LINE
---	EXISTING EASEMENT LINE
---	PROPOSED EASEMENT LINE
---	EXISTING TO REMAIN
---	PROPOSED NEW
---	PROPOSED SAWDUT LINE
---	EXISTING SIGN
---	PROPOSED SIGN
---	ADA PARKING SYMBOL
---	EXISTING ELECTRICAL PULL BOX
---	EXISTING PAD MOUNTED TRANSFORMER
---	EXISTING LIGHT POLE
---	PROPOSED SITE LIGHTING
---	EXISTING SANITARY SEWER MANHOLE
---	EXISTING STORM SEWER MANHOLE
---	EXISTING WATER METER
---	EXISTING WATER VALVE
---	EXISTING FIRE HYDRANT
---	PROPOSED STORM INLET
---	PROPOSED STORM MANHOLE
---	PROPOSED CURB AND GUTTER
---	EXISTING CURB AND GUTTER
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	PROPOSED MAJOR CONTOUR
---	PROPOSED MINOR CONTOUR
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
---	LIMIT OF DISTURBANCE
---	FINISHED FLOOR
---	FINISHED GRADE
---	LOW POINT
---	MATCH EXISTING
---	HIGH POINT

BENCHMARK
ELEVATIONS ARE BASED ON ARVADA BENCHMARK 681, BEING CHISELED SQUARE IN SIDEWALK AT THE NORTHWEST CORNER OF THE INTERSECTION OF WADSWORTH BLVD. AND W. 52ND AVE.
ARVADA DATUM ELEVATION: 5308.28
NOTE: ARVADA BENCHMARKS ARE BASED ON A LOCALIZED DATUM AND ARE NOT NAVD88 OR NAD83.

BASIS OF BEARING
BASIS OF BEARING: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICA DATUM 1983. THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 3 SOUTH, RANGE 69 WEST BEARS N89°50'16"E, MONUMENTED BY THE CENTER QUARTER CORNER OF SAID SECTION 14, BEING A 3-1/4" ALUMINUM CAP STAMPED "S 2304" IN RANGE BOX, AS SHOWN HEREON.

CAUTION -- NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING FIRE APPARATUS MUST BE INSTALLED TO THE BUILDING FROM THE MAIN ACCESS AND SURROUNDING ALL SIDES OF THE BUILDING WITHIN 150 FEET OF ALL POINTS ALONG BUILDING EXTERIOR TURNING RADIUS AND ABLE TO SUPPORT THE WEIGHT OF FIRE APPARATUS H-20 LOADINGS SUPPORTING A GROSS VEHICLE WEIGHT OF 80,000 POUNDS. ON-SITE HYDRANTS MUST ALSO BE INSTALLED AND OPERATIONAL, (UNLESS WAIVED BY FIRE DEPARTMENT).

NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONS PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION. CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

PRELIMINARY
NOT FOR BIDDING
NOT FOR CONSTRUCTION

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SITE PLAN
IN-N-OUT BURGER
A PORTION OF LOT 1-B, BLOCK 1, FILING NO. 1
WADSWORTH BOULEVARD & 52ND AVENUE
ARVADA, CO 80002

#	Date	Issue / Description	Init.
1	09/17/2021	1ST CONCEPT PLAN SUBMITTAL	PJD
2	02/17/2022	2ND CONCEPT PLAN SUBMITTAL	PJD
3	04/25/2022	3RD CONCEPT PLAN SUBMITTAL	PJD

Project No: IN0000044.20
Drawn By: CAC
Checked By: PJD
Date: 04/25/2022

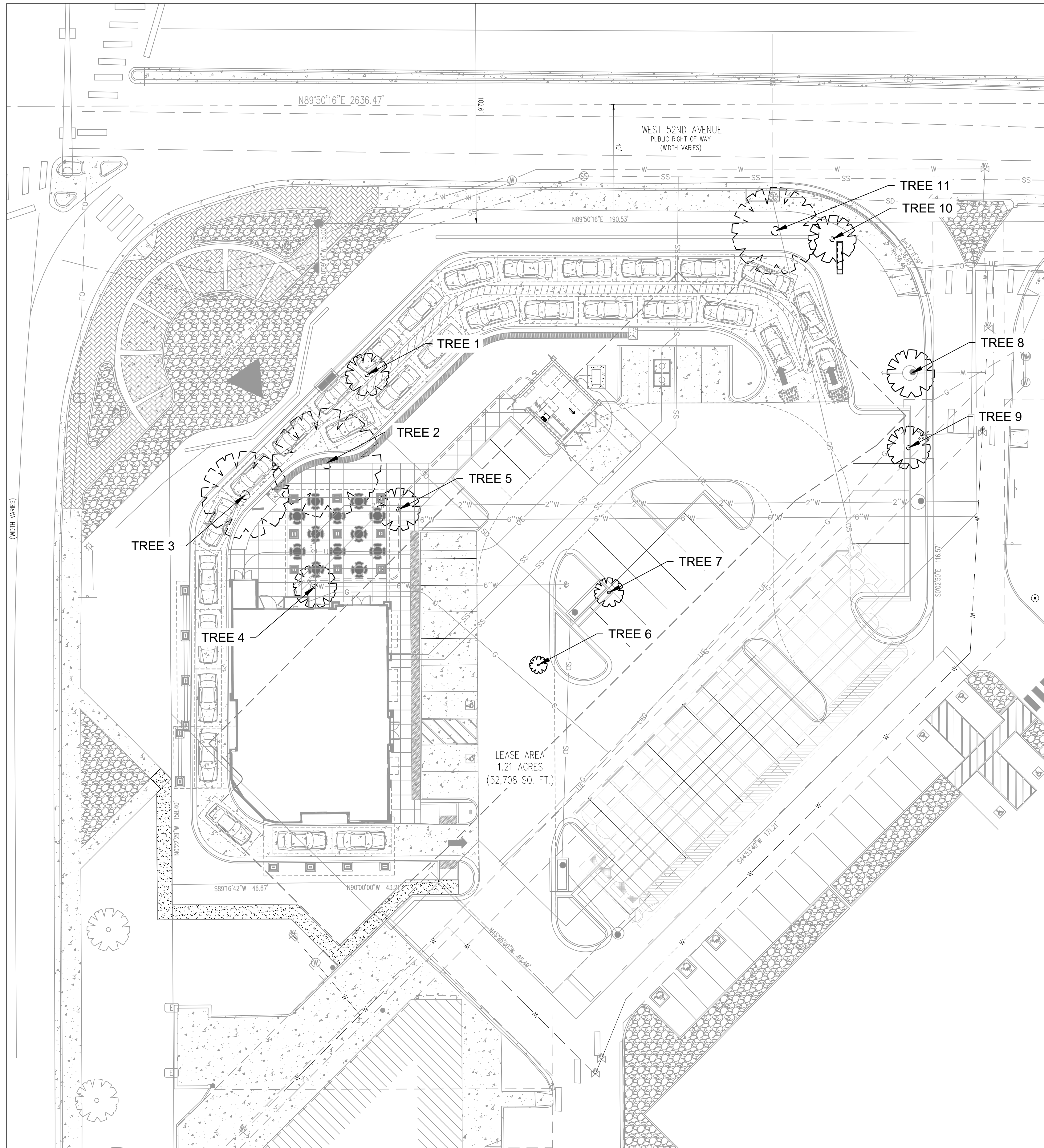
CONCEPTUAL GRADING PLAN

SITE PLAN

A PORTION OF LOT 1-B, BLOCK 1, ARVADA MARKETPLACE FILING NO. 1 – SECOND AMENDMENT MINOR SUBDIVISION IN-N-OUT BURGER

SITUATED IN THE NW 1/4 OF THE SW 1/4 OF SECTION 14, TOWNSHIP 3 SOUTH, RANGE 69 WEST OF THE 6TH P.M.
CITY OF ARVADA, COUNTY OF JEFFERSON, STATE OF COLORADO

CAUTION
UTILITIES EXIST WITHIN CONSTRUCTION LIMITS. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THEIR LOCATION PRIOR TO CONSTRUCTION.



Number & Species	Caliper Inches / Size	Quality	Remove / Protect
1 - Gleditsia triacanthos	20"+ Caliper	Poor	Remove
2 - Gleditsia triacanthos	36"+ Caliper	Moderate	Remove
3 - Gleditsia triacanthos	24"+ Caliper	Good	Remove
4 - Fraxinus pennsylvanica	20"+ Caliper	Good	Remove
5 - Fraxinus pennsylvanica	16"+ Caliper	Good	Remove
6 - Unknown	N/A	Dead	Remove
7 - Gleditsia triacanthos	20"+ Caliper	Good	Remove
8 - Pyrus calleryana	28"+ Caliper	Good	Remove
9 - Celtis occidentalis	30"+ Caliper	Moderate	Remove
10 - Pyrus calleryana	18"+ Caliper	Good	Remove
11 - Pyrus calleryana	22"+ Caliper	Good	Remove

ARVADA TREE PROTECTION NOTES

- PRIOR TO AND DURING CONSTRUCTION, BARRIERS SHALL BE ERECTED AROUND ALL PROTECTED EXISTING TREES WITH SUCH BARRIERS TO BE OF ORANGE FENCING A MINIMUM OF FOUR FEET IN HEIGHT, SECURED WITH METAL T-POSTS. NO CLOSER THAN SIX FEET FROM THE TRUNK OR ONE FOOT FOR EVERY INCH OF DIAMETER WHICHEVER IS GREATER (FOR EXAMPLE, A TEN-INCH DIAMETER TREE WILL HAVE A FENCE NO CLOSER THAN TEN FEET FROM THE TRUNK). THERE SHALL BE NO STORAGE OR MOVEMENT OF EQUIPMENT, MATERIAL, DEBRIS OR FILL WITHIN THE FENCED TREE PROTECTION ZONE UNLESS PREVIOUSLY APPROVED BY THE DIRECTOR.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE APPLICANT SHALL PREVENT THE CLEANING OF EQUIPMENT OR MATERIAL OR THE STORAGE AND DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OILS, SOLVENTS, ASPHALT, CONCRETE, MOTOR OIL OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF A TREE WITHIN THE FENCED TREE PROTECTION ZONE.
- NO DAMAGING ATTACHMENT, WIRES, SIGNS OR PERMITS MAY BE FASTENED TO ANY PROTECTED TREE.
- LARGE PROPERTY AREAS CONTAINING PROTECTED TREES AND SEPARATED FROM CONSTRUCTION OR LAND CLEARING AREAS, ROAD RIGHTS-OF-WAY AND UTILITY EASEMENTS MAY BE "RIBBONED OFF" RATHER THAN ERECTING PROTECTIVE FENCING AROUND EACH TREE. THIS MAY BE ACCOMPLISHED BY PLACING METAL T-POST STAKES A MAXIMUM OF 50 FEET APART AND TYING RIBBON OR ROPE FROM STAKE-TO-STAKE ALONG THE OUTSIDE PERIMETERS OF SUCH AREAS BEING CLEARED.
- THE INSTALLATION OF UTILITIES, IRRIGATION LINES OR ANY UNDERGROUND FIXTURE WITHIN THE FENCE TREE PROTECTION ZONE SHALL BE ACCOMPLISHED BY BORING UNDER THE ROOT SYSTEM OF PROTECTED EXISTING TREES AT A MINIMUM DEPTH OF 24 INCHES.

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SITE PLAN
IN-N-OUT BURGER
A PORTION OF LOT 1-B, BLOCK 1, FILING NO. 1

WADSWORTH BOULEVARD & 52ND AVENUE
ARVADA, CO 80002

#	Date	Issue / Description	Init.
1	07/27/21	1ST SITE PLAN SUBMITTAL	PJD
2	04/25/2022	3ND CONCEPT PLAN SUBMITTAL	
3			
4			
5			
6			
7			
8			
9			
10			
11			

Project No: IN0000044.20
Drawn By: AS
Checked By: DTT
Date: 07/27/2021
LANDSCAPE TREE SURVEY

L1.0

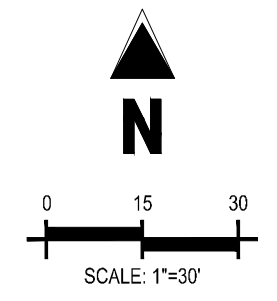
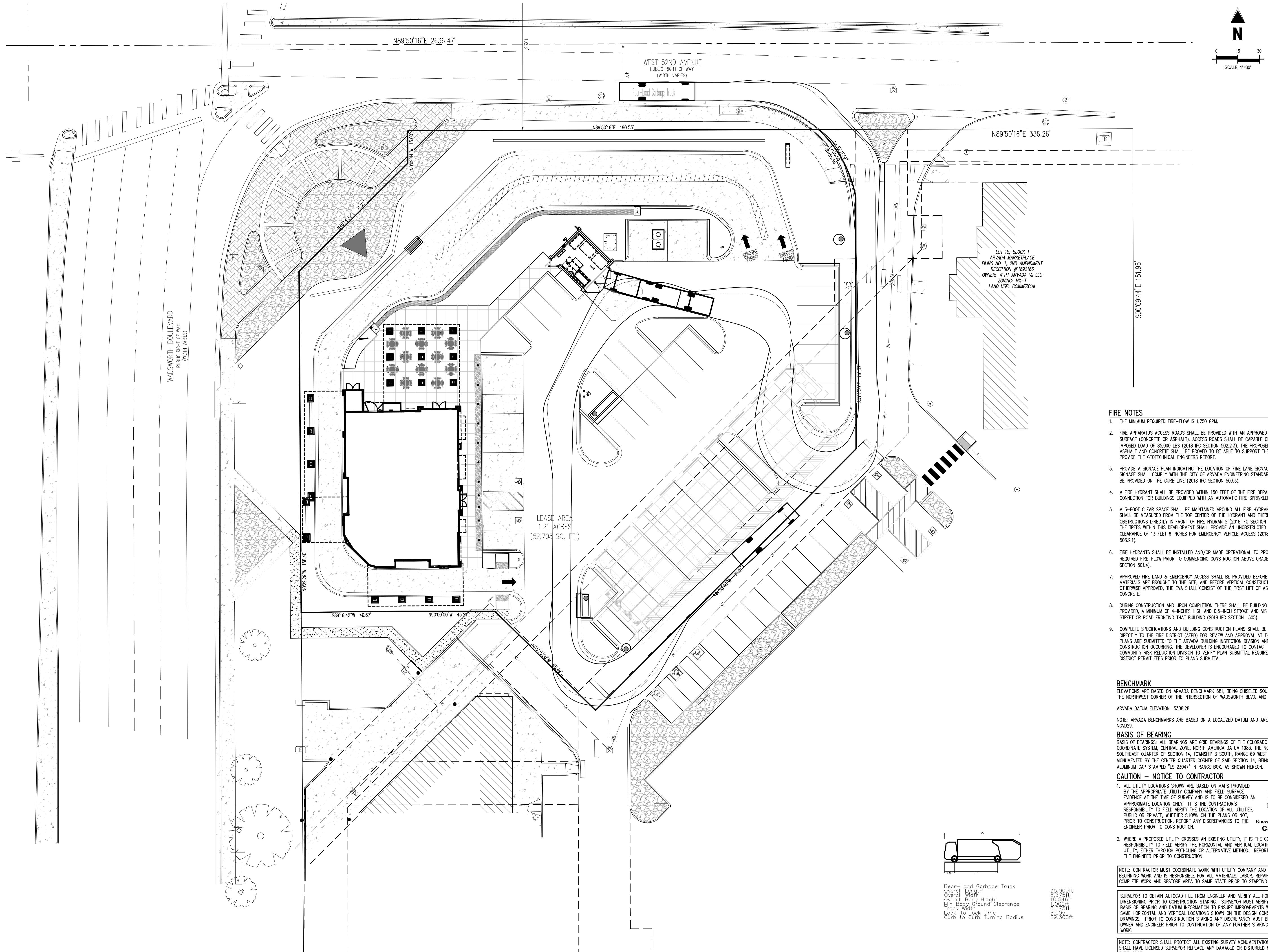
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SITE PLAN
IN-N-OUT BURGER
A PORTION OF LOT 1-B, BLOCK 1, FILING NO. 1
WADSWORTH BOULEVARD & 52ND AVENUE
ARVADA, CO 80002



- FIRE NOTES**
- THE MINIMUM REQUIRED FIRE-FLOW IS 1,750 GPM.
 - FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED WITH AN APPROVED ALL-WEATHER SURFACE (CONCRETE OR ASPHALT). ACCESS ROADS SHALL BE CAPABLE OF SUPPORTING AN IMPOSED LOAD OF 85,000 LBS (2018 IFC SECTION 502.2.3). THE PROPOSED HEAVY-DUTY ASPHALT AND CONCRETE SHALL BE PROVIDED TO BE ABLE TO SUPPORT THE REQUIRED LOAD, PROVIDE THE GEOTECHNICAL ENGINEERS REPORT.
 - PROVIDE A SIGNAGE PLAN INDICATING THE LOCATION OF FIRE LANE SIGNAGE. THE FIRE LANE SIGNAGE SHALL COMPLY WITH THE CITY OF ARVADA ENGINEERING STANDARDS AND SHALL BE PROVIDED ON THE CURB LINE (2018 IFC SECTION 503.3).
 - A FIRE HYDRANT SHALL BE PROVIDED WITHIN 150 FEET OF THE FIRE DEPARTMENT CONNECTION FOR BUILDINGS EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM.
 - A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND ALL FIRE HYDRANTS. THE SPACE SHALL BE MEASURED FROM THE TOP CENTER OF THE HYDRANT AND THERE SHALL BE NO OBSTRUCTIONS DIRECTLY IN FRONT OF FIRE HYDRANTS (2018 IFC SECTION 507.5.5). ALL OF THE TREES WITHIN THIS DEVELOPMENT SHALL PROVIDE AN UNOBSTRUCTED VERTICAL CLEARANCE OF 13 FEET 6 INCHES FOR EMERGENCY VEHICLE ACCESS (2018 IFC SECTION 503.2.1).
 - FIRE HYDRANTS SHALL BE INSTALLED AND/OR MADE OPERATIONAL TO PROVIDE THE MINIMUM REQUIRED FIRE-FLOW PRIOR TO COMMENCING CONSTRUCTION ABOVE GRADE. (2018 IFC SECTION 501.4).
 - APPROVED FIRE LANE AND EMERGENCY ACCESS SHALL BE PROVIDED BEFORE COMBUSTIBLE MATERIALS ARE BROUGHT TO THE SITE, AND BEFORE VERTICAL CONSTRUCTION, UNLESS OTHERWISE APPROVED, THE EVA SHALL CONSIST OF THE FIRST LIFT OF ASPHALT OR CONCRETE.
 - DURING CONSTRUCTION AND UPON COMPLETION THERE SHALL BE BUILDING SIGNAGE PROVIDED, A MINIMUM OF 4-INCHES HIGH AND 0.5-INCH STROKE AND VISIBLE FROM THE STREET OR ROAD FRONTING THAT BUILDING (2018 IFC SECTION 505).
 - COMPLETE SPECIFICATIONS AND BUILDING CONSTRUCTION PLANS SHALL BE SUBMITTED DIRECTLY TO THE FIRE DISTRICT (AFD) FOR REVIEW AND APPROVAL AT THE SAME TIME PLANS ARE SUBMITTED TO THE ARVADA BUILDING INSPECTION DIVISION AND PRIOR TO CONSTRUCTION OCCURRING. THE DEVELOPER IS ENCOURAGED TO CONTACT THE AFD COMMUNITY RISK REDUCTION DIVISION TO VERIFY PLAN SUBMITTAL REQUIREMENTS AND FIRE DISTRICT PERMIT FEES PRIOR TO PLANS SUBMITTAL.

BENCHMARK
ELEVATIONS ARE BASED ON ARVADA BENCHMARK 681, BEING CHISELED SQUARE IN SIDEWALK AT THE NORTHWEST CORNER OF THE INTERSECTION OF WADSWORTH BLVD. AND W. 52ND AVE.
ARVADA DATUM ELEVATION: 5308.28

BASIS OF BEARING
BASIS OF BEARINGS: ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICA DATUM 1983. THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 3 SOUTH, RANGE 69 WEST BEARS N89°50'16", MONUMENTED BY THE CENTER QUARTER CORNER OF SAID SECTION 14, BEING A 3-1/4" ALUMINUM CAP STAMPED "S 23047" IN RANGE BOX, AS SHOWN HEREON.

CAUTION - NOTICE TO CONTRACTOR

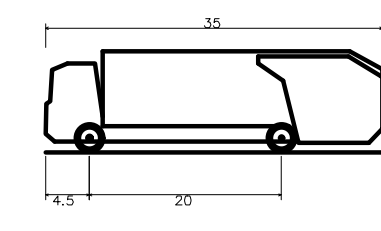
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Rear-Load Garbage Truck
35,000#t
Overall Length 8.375ft
Overall Width 10.546ft
Overall Body Height 11.000ft
Min Body Ground Clearance 8.25ft
Track Width 6.00ft
Lock-to-Lock Time 29.300ft

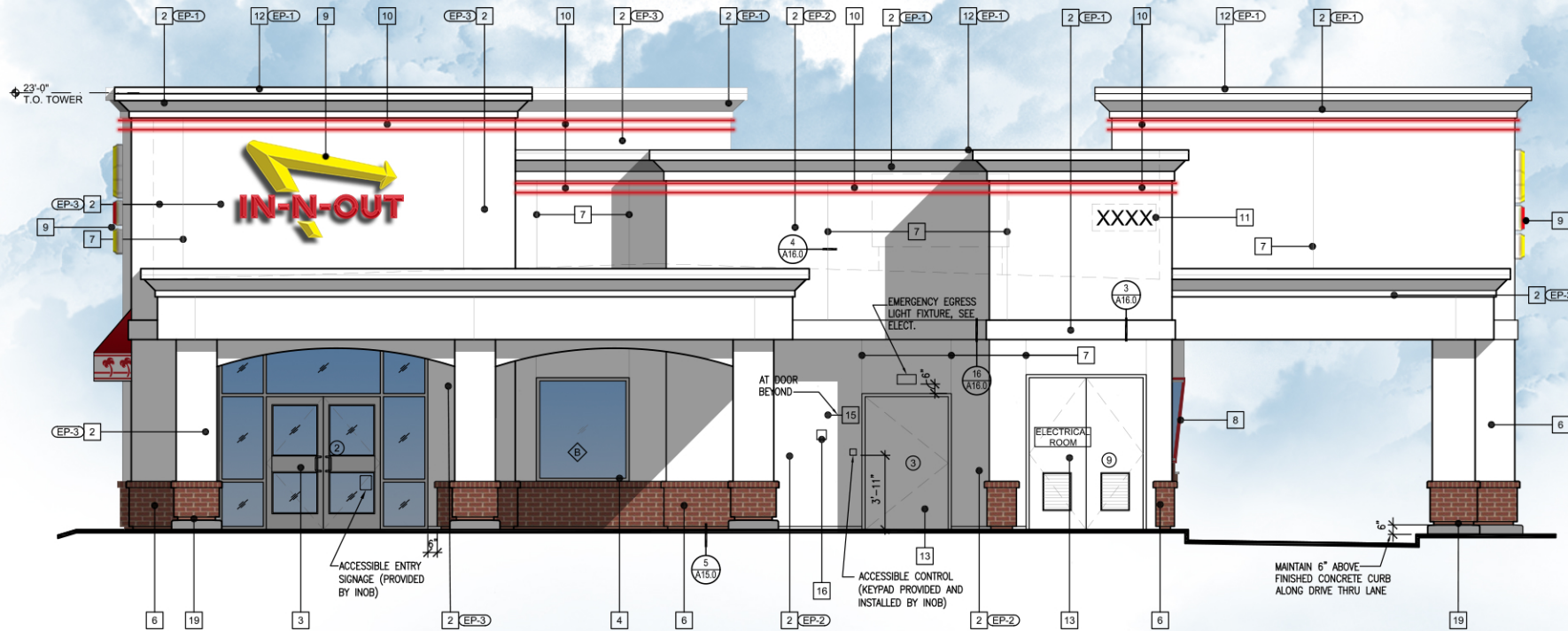
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Drawn By: CAC

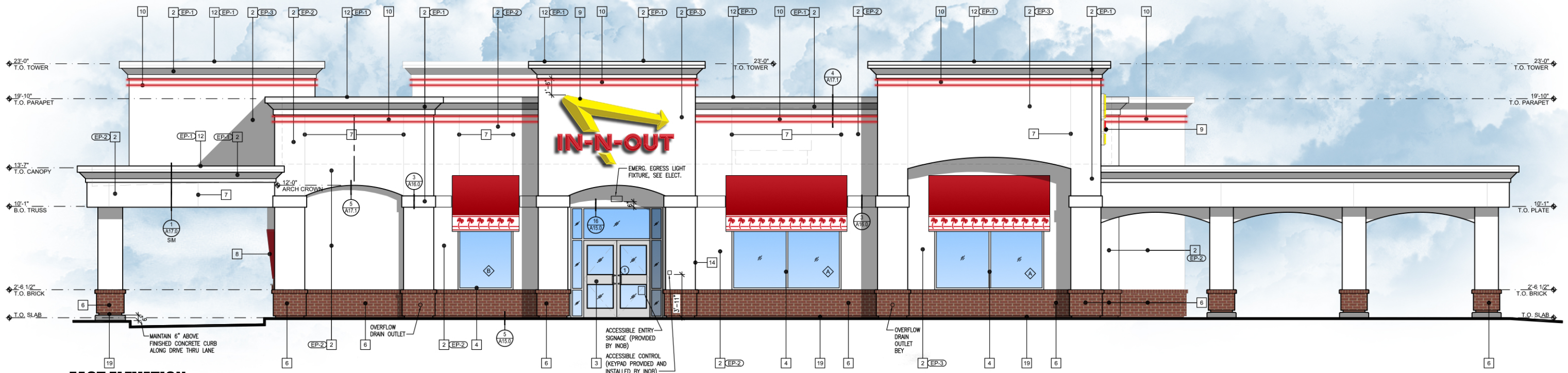
Checked By: PJD

Date: 04/15/22

TRUCK TURN EXHIBIT - GARBAGE TRUCK



NORTH ELEVATION



EAST ELEVATION

KEY NOTES

- 1 NOT USED
- 2 2" EXPANDED POLYSTYRENE EIFS SYSTEM PER SPECS. MATCH 1MM AGGREGATE STUCCO FINISH. PAINT AS SHOWN.
- 3 ALUMINUM STOREFRONT DOORS: CLEAR ANODIZED ALUMINUM.
- 4 ALUMINUM WINDOWS: CLEAR ANODIZED ALUMINUM.
- 5 AWNINGS: PVC COATED WICK-RESISTANT ERADICABLE POLYESTER AWNINGS WITH CUSTOM PALM TREE ERADICATED TO WHITE COLOR BY COOLEY BRITE CUSTOM RED 79-L124A. FLAME RETARDANT PER UL-48, UL-94, NFPA 701. PROVIDE FLOURESCENT BACKLIGHTING. SEE: S/A16.0 & 6/A16.0.
- 6 THIN BRICK VENEER. APPLY PER MFR RECOMMENDATIONS. SUMMIT BRICK-PUEBLO COLOR #653 "INC", COLOR CLASSIFICATION: MAROON. TEXTURE AVAILABILITY, GRAIN. PROVIDE MATCHING ROWLOCK.
- 7 EIFS REVEAL: SEE DETAIL 4/A16.0
- 8 SLOPED ALUMINUM WINDOWS: U.S. ALUMINUM S-910. GLASS JOINTS TO HAVE POLISHED EDGES WITH SILICONE JOINTS. REDWOOD FRAMES TO BE PRIMED WITH AXALTA IMRON IND 9P01 - PRIMER CAN BE TINTED GRAY. FINISH COAT TO BE AXALTA IMRON IND 9T01 TINTED CUSTOM COLOR EP-4.
- 9 IN-N-OUT BURGER ILLUMINATED LOGO SIGN: UNDER SEPARATE PERMIT.
- 10 L.E.D. DOUBLE BAND LIGHTING: UNDER SEPARATE PERMIT.
- 11 INTERNALLY ILLUMINATED BUILDING ADDRESS NUMBERS TO BE 12" HIGH, 6" MIN. W/ MIN. STROKE WIDTH OF 0.5 INCH PER FIRE DEPARTMENT AND CITY JURISDICTION ADDRESS DISPLAY REQUIREMENTS:
1. ADDRESS SHALL BE DISPLAYED & VISIBLE FROM BOTH STREET DIRECTIONS OF APPROACHING VEHICLES.
2. PERMANENT NUMBERS AND LETTERS SHALL BE MADE OF DURABLE AND CLEARLY VISIBLE MATERIAL SUCH AS WOOD, METAL, CERAMIC, PLASTIC AND VINYL. (PAINTED OR GLUED ON NUMBERS ARE NOT ACCEPTABLE MATERIALS).
3. NUMBERS SHALL BE OF COLORS CONTRASTING WITH BACKGROUND TO WHICH THEY ARE ATTACHED.
4. NUMBERS SHALL BE A MINIMUM PROPORTION RATIO OF 6:1 (HEIGHT TO WIDTH).
5. NUMBERS CANNOT BE SPELLED.
- 12 GALVANIZED METAL CAP: COLOR TO MATCH WALL.
- 13 HOLLOW METAL DOOR: SEE SHEET A11.0, HM DOORS AND JAMBS SHALL HAVE POWDER COAT FINISH AS FOLLOWS: INTERIOR DOORS-TIGER DRYLAC - SMOOTH, HIGH GLOSS FINISH, "BENGAL WHITE"; EXTERIOR DOORS- CARDINAL - GLOSS, SMOOTH FINISH, "BONE CHINA" OR TO MATCH EXTERIOR EIFS PAINT COLOR - (VERIFY ELEVATIONS- EP-1). WHERE FIELD PAINTING DOORS AND JAMBS IS NECESSARY-NOT RECOMMENDED, THE ALTERNATE WOULD BE TO USE AXALTA IMRON IND 9P01 WHITE PRIMER. FINISH COAT TO BE AXALTA IMRON IND 9T01 GLOSS WHITE. EXTERIOR HM DOORS & JAMBS- USE SAME PRODUCT TINTED TO MATCH EXTERIOR BUILDING PAINT COLOR EP-1. NOTE- TRASH ENCLOSURE METAL DOORS AND POSTS TO BE FIELD PAINTED USING AXALTA IMRON AS DESCRIBED ABOVE.
- 14 5'-0" HIGH STUB OUT FOR C&G LINE. MOUNT ON ADJACENT SIDE WALL.
- 15 4" MIN. HIGH WHITE LETTERING "RISER ROOM" ON RED BACKGROUND SIGN. MOUNT ON RISER ROOM DOOR
- 16 RECESSED KNOX BOX AT 5'-0" HIGH TO THE RIGHT OF FIRE RISER ROOM. SEE DETAIL 10/A17.0
- 17 NOT USED
- 18 NOT USED
- 19 TEXTURE EXPOSED FOUNDATION WALL BELOW STONE WEEP SCREED AND PAINT TO MATCH STONE.

EXTERIOR PAINT SCHEDULE

NO.	MFR.	MODEL	COLOR #	COLOR NAME	FINISH	REMARKS
EP-1	SHERWIN WILLIAMS	SUPER PAINT LATEX	SW 6148	WOOL SKIN	HIGH GLOSS	EIFS: PRIME W/ LOXON CONCRETE & EXT LATEX PRIMER WHITE - A24W08300. GALV METAL: PRIME W/ GALVITE HS ACRYLIC COATING - B50W20030, OFF WHITE
EP-2	SHERWIN WILLIAMS	SUPER PAINT LATEX	SW 6148	WOOL SKIN	HIGH GLOSS	EIFS: PRIME W/ LOXON CONCRETE & EXT LATEX PRIMER WHITE - A24W08300. GALV METAL: PRIME W/ GALVITE HS ACRYLIC COATING - B50W20030, OFF WHITE
EP-3	SHERWIN WILLIAMS	SUPER PAINT LATEX	SW 6148	WOOL SKIN	HIGH GLOSS	EIFS: PRIME W/ LOXON CONCRETE & EXT LATEX PRIMER WHITE - A24W08300. GALV METAL: PRIME W/ GALVITE HS ACRYLIC COATING - B50W20030, OFF WHITE
EP-4	DUNN EDWARDS	ARISTOSHIELD 70	ASHL70	INO RED	HIGH GLOSS	EIFS: PRIME W/ LOXON CONCRETE & EXT LATEX PRIMER WHITE - A24W08300. GALV METAL: PRIME W/ GALVITE HS ACRYLIC COATING - B50W20030, OFF WHITE

NO ALTERNATE ALLOWED FOR COLOR EP-4.

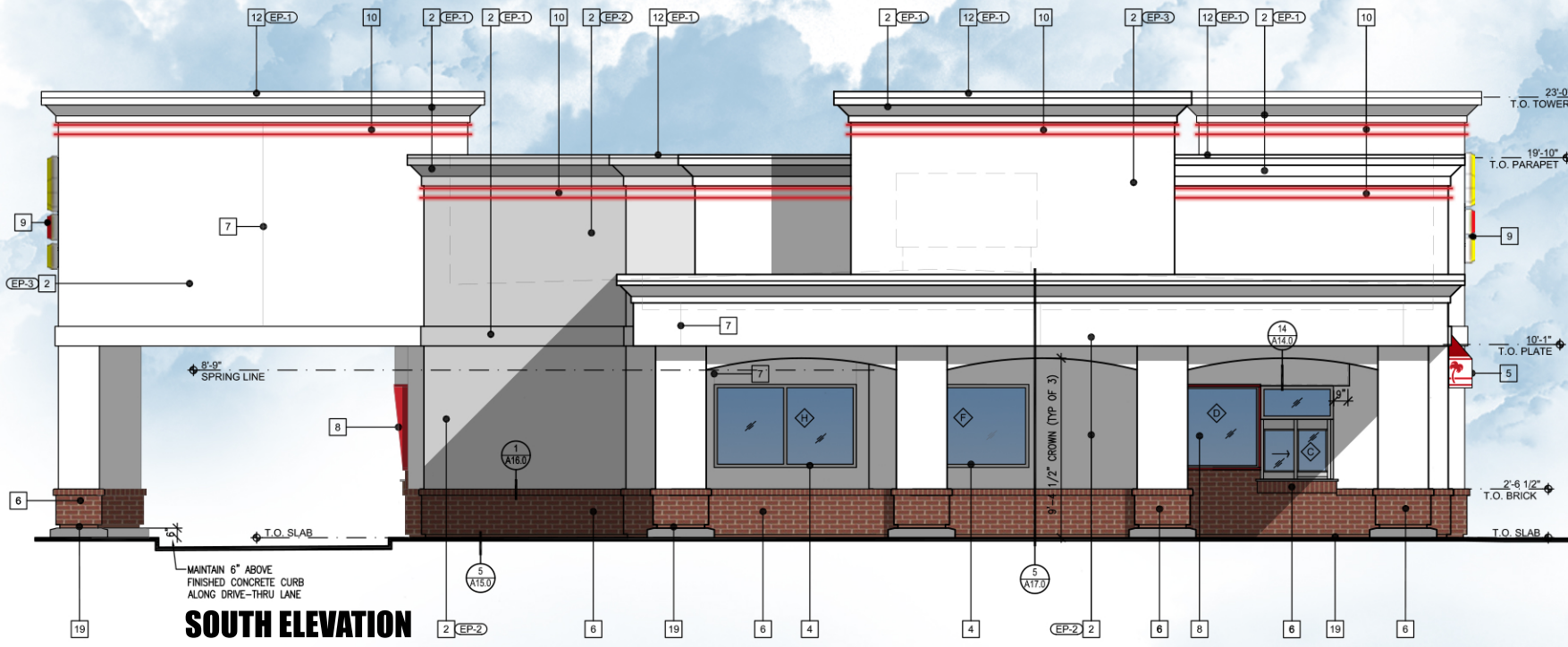


Colored Elevations
 IN-N-OUT BURGER
 Arvada, CO

DATE: 04-26-22
 SCALE: NTS

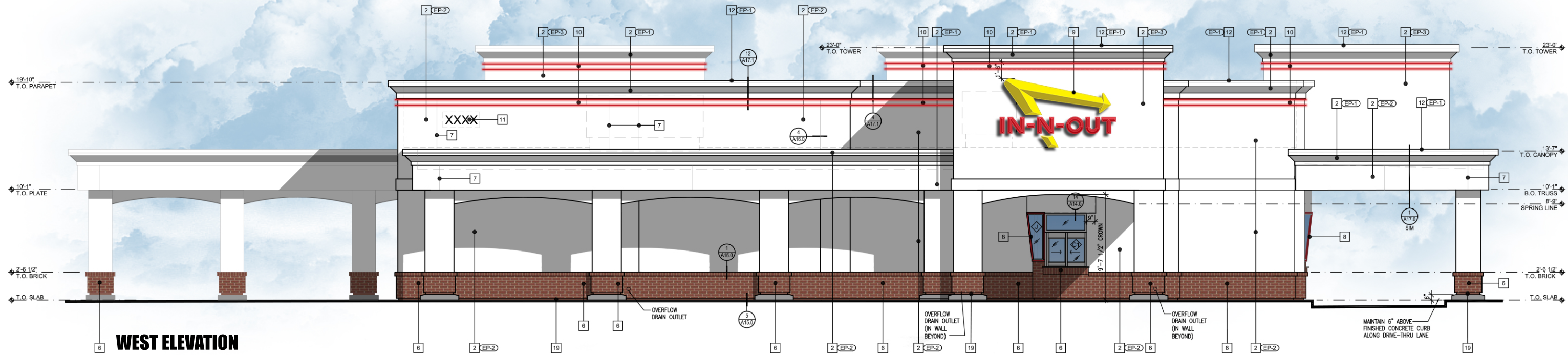
GHA Architecture / Development
 14901 Quorum Drive, Suite 300
 Dallas, Texas 75254 972.239.8884





KEY NOTES						
1	NOT USED					
2	2" EXPANDED POLYSTYRENE EIFS SYSTEM PER SPECS. MATCH 1MM AGGREGATE STUCCO FINISH. PAINT AS SHOWN.					
3	ALUMINUM STOREFRONT DOORS: CLEAR ANODIZED ALUMINUM.					
4	ALUMINUM WINDOWS: CLEAR ANODIZED ALUMINUM.					
5	AWNINGS: PVC COATED WICK-RESISTANT ERADICABLE POLYESTER AWNINGS WITH CUSTOM PALM TREE ERADICATED TO WHITE COLOR BY COOLEY BRITE CUSTOM RED 79-L124A, FLAME RETARDANT PER UL-48, UL-94, NFPA 701. PROVIDE FLOURESCENT BACKLIGHTING. SEE: S/A16.0 & 6/A16.0.					
6	THIN BRICK VENEER: APPLY PER MFR RECOMMENDATIONS. SUMMIT BRICK-PUEBLO COLOR #653 "INC", COLOR CLASSIFICATION: MAROON. TEXTURE AVAILABILITY, GRAIN. PROVIDE MATCHING ROWLOCK.					
7	EIFS REVEAL: SEE DETAIL 4/A16.0					
8	SLOPED ALUMINUM WINDOWS: U.S. ALUMINUM S-910. GLASS JOINTS TO HAVE POLISHED EDGES WITH SILICONE JOINTS. REDWOOD FRAMES TO BE PRIMED WITH AXALTA IMRON IND 9P01 - PRIMER CAN BE TINTED GRAY. FINISH COAT TO BE AXALTA IMRON IND 9T01 TINTED CUSTOM COLOR EP-4.					
9	IN-N-OUT BURGER ILLUMINATED LOGO SIGN: UNDER SEPARATE PERMIT.					
10	L.E.D. DOUBLE BAND LIGHTING: UNDER SEPARATE PERMIT.					
11	INTERNALLY ILLUMINATED BUILDING ADDRESS NUMBERS TO BE 12" HIGH, 6" MIN. W/ MIN. STROKE WIDTH OF 0.5 INCH PER FIRE DEPARTMENT AND CITY JURISDICTION ADDRESS DISPLAY REQUIREMENTS: 1. ADDRESS SHALL BE DISPLAYED & VISIBLE FROM BOTH STREET DIRECTIONS OF APPROACHING VEHICLES. 2. PERMANENT NUMBERS AND LETTERS SHALL BE MADE OF DURABLE AND CLEARLY VISIBLE MATERIAL SUCH AS WOOD, METAL, CERAMIC, PLASTIC AND VINYL. (PAINTED OR GLUED ON NUMBERS ARE NOT ACCEPTABLE MATERIALS). 3. NUMBERS SHALL BE OF COLORS CONTRASTING WITH BACKGROUND TO WHICH THEY ARE ATTACHED. 4. NUMBERS SHALL BE A MINIMUM PROPORTION RATIO OF 6:1 (HEIGHT TO WIDTH). 5. NUMBERS CANNOT BE SPELLED.					
12	GALVANIZED METAL CAP: COLOR TO MATCH WALL.					
13	HOLLOW METAL DOOR: SEE SHEET A11.0, HM DOORS AND JAMBS SHALL HAVE POWDER COAT FINISH AS FOLLOWS: INTERIOR DOORS- TIGER DRYLAC - SMOOTH, HIGH GLOSS FINISH, "BENGAL WHITE", EXTERIOR DOORS- CARDINAL - GLOSS, SMOOTH FINISH, "BONE CHINA" OR TO MATCH EXTERIOR EIFS PAINT COLOR. (VERIFY ELEVATIONS- EP-1). WHERE FIELD PAINTING DOORS AND JAMBS IS NECESSARY-NOT RECOMMENDED, THE ALTERNATE WOULD BE TO USE AXALTA IMRON IND 9P01 WHITE PRIMER, FINISH COAT TO BE AXALTA IMRON IND 9T01 GLOSS WHITE. EXTERIOR HM DOORS & JAMBS- USE SAME PRODUCT TINTED TO MATCH EXTERIOR BUILDING PAINT COLOR EP-1. NOTE: TRASH ENCLOSURE METAL DOORS AND POSTS TO BE FIELD PAINTED USING AXALTA IMRON AS DESCRIBED ABOVE.					
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15	4" MIN. HIGH WHITE LETTERING "RISER ROOM" ON RED BACKGROUND SIGN. MOUNT ON RISER ROOM DOOR					
16	RECESSED KNOX BOX AT 5'-0" HIGH TO THE RIGHT OF FIRE RISER ROOM. SEE DETAIL 10/A17.0					
17	NOT USED					
18	NOT USED					
19	TEXTURE EXPOSED FOUNDATION WALL BELOW STONE WEEP SCREED AND PAINT TO MATCH STONE.					
EXTERIOR PAINT SCHEDULE						
NO.	MFR.	MODEL	COLOR #	COLOR NAME	FINISH	REMARKS
EP-1	SHERWIN WILLIAMS	SUPER PAINT LATEX	SW 6148	WOOL SKEIN	HIGH GLOSS	EIFS: PRIME W/ LOXON CONCRETE & EXT LATEX PRIMER WHITE - A24W08300. GALV METAL: PRIME W/ GALVITE HS ACRYLIC COATING - B50W20030, OFF WHITE
EP-2	SHERWIN WILLIAMS	SUPER PAINT LATEX	SW 6148	WOOL SKEIN	HIGH GLOSS	EIFS: PRIME W/ LOXON CONCRETE & EXT LATEX PRIMER WHITE - A24W08300. GALV METAL: PRIME W/ GALVITE HS ACRYLIC COATING - B50W20030, OFF WHITE
EP-3	SHERWIN WILLIAMS	SUPER PAINT LATEX	SW 6148	WOOL SKEIN	HIGH GLOSS	EIFS: PRIME W/ LOXON CONCRETE & EXT LATEX PRIMER WHITE - A24W08300. GALV METAL: PRIME W/ GALVITE HS ACRYLIC COATING - B50W20030, OFF WHITE
EP-4	DUNN EDWARDS	ARISTOSHIELD 70	ASHL70	INO RED	HIGH GLOSS	

NO ALTERNATE ALLOWED FOR COLOR EP-4.



Colored Elevations
 IN-N-OUT BURGER
 Arvada, CO

DATE: 04-26-22
 SCALE: NTS

GHA Architecture / Development
 14901 Quorum Drive, Suite 300
 Dallas, Texas 75254 972.239.8884





13502 HAMBURGER LANE
BALDWIN PARK, CA 91706

	INO Red		INO Yellow		WALLS & TRIM DEW339 Bone China		BRICK
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ARVADA, CO

04/26/22



13502 HAMBURGER LANE
BALDWIN PARK, CA 91706

	INO Red		INO Yellow		WALLS & TRIM DEW339 Bone China		BRICK
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ARVADA, CO

04/26/22



13502 HAMBURGER LANE
BALDWIN PARK, CA 91706



INO Red



INO Yellow



WALLS & TRIM
DEW339 Bone China



BRICK

ARVADA, CO

04/26/22



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INO Yellow



WALLS & TRIM
DEW339 Bone China



BRICK



"GOD BLESS AMERICA"

13502 HAMBURGER LANE
BALDWIN PARK, CA 91706

ARVADA, CO

04/26/22



13502 HAMBURGER LANE
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