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Barbara J. Fegley, AICP, PP
Sec./Treas. & Sr. Vice President

William H. Kirchner, PE, CME, N-2
Vice President



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Joseph R. Hirsh, PE, CME, CPWM
C. Jeremy Noll, PE, CME, CPWM
Joseph P. Orsino, CET
Marc H. Selover, LSRP, PG
Benjamin R. Weller, PE, CME, CPWM, S-3, C-3

May 20, 2020
24046 00

Re: **Pinelands Development Application**
Block 30001, Lot 1.01
Borough of Medford Lakes
Ballinger Park Improvements
1 Cabin Circle
Medford Lakes, Burlington County

New Jersey Pinelands Commission
P.O. Box 539
15 Springfield Road
New Lisbon, New Jersey 08064

On behalf of the Borough of Medford Lakes, please find enclosed the following information for an application for public development of the above referenced site. The applicant seeks approval for the construction of a dock at Ballinger Lake and the installation of interpretive signage. Other improvements to the park area will include benches, a picnic table, pathways and landscaping. The area will be ADA accessible. Enclosed you will find the following documents which we believe constitute a complete application for public development.

1. Pinelands Development Application Form
2. Draft of Legal Notice of Application (to be published after review from the commission staff)
3. Draft of Public Notice to Residents (to be sent after review from the commission staff)
4. Development Plans, 6 sheets (2 sets)
5. Engineer's Estimate of Probable Construction Cost
6. Application Fee - \$679.50

Our office has utilized the templates provided by the Pinelands Commission for the Public Notice to Residents and the Legal Notice of Application. As the Pinelands offices are not open at this time, please review our draft letters and provide guidance for the public to review the plans. We are prepared to send out the legal notice and public notice once the okay has been received from your office.

We appreciate your assistance with this project. If you have any questions or concerns, please contact our office.

Sincerely yours,

C. Jeremy Noll, PE, CME, CPWM
Borough Engineer

cc: Mayor and Council
Robert J. Burton, Borough Manager

File: G:\24000 - Medford Lakes\24046 00 -Ballinger Lake Educational Park/Pinelands



New Jersey Pinelands Commission Development Application

Updated on 4/23/2019

1. Applicant Name(s)

Borough of Medford Lakes

Mailing Address 1 Cabin Circle

City Medford Lakes State NJ Zip 08055

Telephone Number 609-654-8898 Email Address mlmanager@comcast.net

2. I wish to authorize an agent to act on my behalf regarding this application: Yes ☒ No ☐

Agent Name

Environmental Resolutions, Inc.

Mailing Address 815 East Gate Drive, Suite 103

City Mount Laurel State NJ Zip 08054

Telephone Number 856-235-7170 Email Address jnoll@erinj.com

3. Property Owner Name(s)

Borough of Medford Lakes

Mailing Address 1 Cabin Circle

City Medford Lakes State NJ Zip 08055

Telephone Number 609-654-8898 Email Address mlmanager@comcast.net

4. Property Subject of Development Application:

Municipality Medford Lakes

Block # 30001 Lot # 1.01

Block # Lot #

Block # Lot #

Block # Lot #

Total Acreage of Property:

Block # Lot #

Block # Lot #

4,656SF (disturbance)

Block # Lot #

Block # Lot #

5. Are there any easements or deed restrictions affecting this property? Yes ☐ No ☒

If yes, please attach a copy of the recorded deed restriction or property easement.

6. Source of Water Supply:

Existing: Well ☐ Public Water System ☐ N/A ☒

Proposed: Well ☐ Public Water System ☐ N/A ☒

7. Source of Wastewater Treatment:

Existing: Onsite Septic ☐ Public Sewer ☐ N/A ☒

Proposed: Existing Onsite Septic ☐ Proposed Onsite Septic ☐ Public Sewer ☐ N/A ☒

8. Description of **existing** uses/development (uses, # of dwelling units/lots, type(s) of commercial use(s), square footage of commercial buildings, etc.) on property:

The property is vacant land located adjacent to the Medford Lakes Municipal Offices.

9. Description of all **proposed** uses/development (uses, # of dwelling units/lots, square footage of commercial buildings/additions/parking improvements, etc.) on property:

Medford Lakes proposes to remove 3 trees, a fence and an asphalt sidewalk. Improvements will include a dock at the lake front and other park improvements. Interpretive signs will provide visitors to the park a learning experience to identify the surrounding wildlife and vegetation. Permeable pavers will provide a walkway through the park. A bench at the dock and a picnic tables are other amenities to be provided. A fence will be constructed between the proposed park and an improved sidewalk. Trash and recycling containers are proposed. An extensive landscape plan will provide beauty and shade. This site will be accessible.

10. Please choose the appropriate Application Type and provide the required additional information:

Application Type		Required Fee		Additional Information								
<input type="checkbox"/>	New dwelling units or lots or resubdivisions	<table border="1"> <tr> <td>1-4 dwelling units or lots</td><td>\$250 per dwelling unit or lot</td></tr> <tr> <td>5-50 units or lots</td><td>\$1,000 + \$281.25 per dwelling unit or lot for units 5-50</td></tr> <tr> <td>51-150 units or lots</td><td>\$13,937.50 + \$156.25 per dwelling unit or lot for units 51-150</td></tr> <tr> <td>151 and more</td><td>\$29,562.50 + \$125 per dwelling unit or lot for units 151 +</td></tr> </table>	1-4 dwelling units or lots	\$250 per dwelling unit or lot	5-50 units or lots	\$1,000 + \$281.25 per dwelling unit or lot for units 5-50	51-150 units or lots	\$13,937.50 + \$156.25 per dwelling unit or lot for units 51-150	151 and more	\$29,562.50 + \$125 per dwelling unit or lot for units 151 +		Total # of proposed units/lots:
1-4 dwelling units or lots	\$250 per dwelling unit or lot											
5-50 units or lots	\$1,000 + \$281.25 per dwelling unit or lot for units 5-50											
51-150 units or lots	\$13,937.50 + \$156.25 per dwelling unit or lot for units 51-150											
151 and more	\$29,562.50 + \$125 per dwelling unit or lot for units 151 +											
<input type="checkbox"/>	Demolition of any structure that is 50 years old or older ¹	\$250		Year structure was built:								
<input type="checkbox"/>	Change of use and no further development (not served by public sewers)	\$250		N/A								
<input checked="" type="checkbox"/>	Commercial/institutional/non-residential development or mixed residential/commercial ²	<table border="1"> <tr> <th>Construction Costs</th><th>Fee Formula</th></tr> <tr> <td>\$0 - \$500,000</td><td>1.25% of construction costs <u>or</u> \$250 minimum</td></tr> <tr> <td>\$500,001 - \$1,000,000</td><td>\$6,250 + 1% of construction costs between \$500,000 and \$1,000,000</td></tr> <tr> <td>Greater than \$1,000,000</td><td>\$11,250 + 0.75% of construction costs above \$1,000,000 <u>or</u> \$50,000 maximum</td></tr> </table>	Construction Costs	Fee Formula	\$0 - \$500,000	1.25% of construction costs <u>or</u> \$250 minimum	\$500,001 - \$1,000,000	\$6,250 + 1% of construction costs between \$500,000 and \$1,000,000	Greater than \$1,000,000	\$11,250 + 0.75% of construction costs above \$1,000,000 <u>or</u> \$50,000 maximum		Total construction costs: \$108,720.00 Fee - \$1,359.00
Construction Costs	Fee Formula											
\$0 - \$500,000	1.25% of construction costs <u>or</u> \$250 minimum											
\$500,001 - \$1,000,000	\$6,250 + 1% of construction costs between \$500,000 and \$1,000,000											
Greater than \$1,000,000	\$11,250 + 0.75% of construction costs above \$1,000,000 <u>or</u> \$50,000 maximum											
<input type="checkbox"/>	Linear development (roads, utilities, etc.; does not include bridges)	\$187.50 per acre of all land, or portion thereof, included in the right of way (ROW) of the proposed linear development project and all land outside of the ROW that will be disturbed as part of the linear development project		Acres to be disturbed, rounded up:								
<input type="checkbox"/>	Forestry	\$6.25 per acre, or portion thereof, subject of forestry activities		Acres subject of forestry, rounded up:								
<input type="checkbox"/>	Golf courses	\$187.50 per acre, or portion thereof, devoted to golf course facility		Golf course facility acres, rounded up:								
<input type="checkbox"/>	Resource extraction/mining	\$1,875 plus \$37.50 per acre to be mined, or portion thereof, within each permit period		Acres to be mined, rounded up:								
<input type="checkbox"/>	Solar energy facilities	\$1,500 plus \$500 per acre to be developed, or portion thereof, including off-site development		Acres to be developed, rounded up:								

¹ If available, please attach pictures of the structure to be demolished.

² For this application type (shaded above), attach supporting documentation of expected construction costs for the proposed development.

	Application Type	Required Fee	Additional Information
<input type="checkbox"/>	Non-PDC Letter of Interpretation	\$250	N/A

11. Please identify whether any of the following special circumstances apply to this application:

	Special Circumstance	Required Fee
<input checked="" type="checkbox"/>	Public development (development proposed by a public agency)	50% of the fee calculated using the above chart (Item #10) with a minimum fee of \$250 and a maximum fee of \$25,000
<input type="checkbox"/>	Religious association or corporation or non-profit organization which is exempt from Federal Income Taxation under Sections 501(c)3 or (d) of the Internal Revenue Code. (This does not apply to organizations that are solely exempt from State Taxation.)	\$500 or the amount calculated in accordance with the above chart (Item #10), whichever is less
<input type="checkbox"/>	Review of any study/survey (cultural, threatened/endangered species, etc.) prior to submission of development application	1/3 of the estimated application fee calculated in accordance with the above chart (Item #10), with the remainder due at the time of application submission
<input type="checkbox"/>	Non-residential development proposing to use an alternate design septic system	\$3,125 + fee calculated in accordance with the above chart (Item #10)
<input type="checkbox"/>	General Development Plan (GDP)	50% of the estimated application fee calculated in accordance with the above chart (Item #10), with the remainder due upon submission of subsequent applications for individual phases of the development

12. Total fee required (minimum fee = \$250): \$ 679.50

I hereby authorize the staff of the Pinelands Commission to conduct such onsite inspections of the parcel as are necessary to review this application and ensure compliance with the requirements of the Pinelands Comprehensive Management Plan. I also acknowledge that if my application involves considerable staff time, unusual expenditures or complex issue(s) that necessitate the Commission's retention of consultants with expertise in such matters, I will be advised of that need and the amount of money that must be placed in escrow and that review of my application will not proceed until I provide the required escrow amount.

I hereby certify that the information furnished on this application form and all supplemental materials is true.

Signatures of Applicant(s):

Signature Date May 21, 2020
Name (Print) Robert J. Burton, Borough Manager

Signature Date
Name (Print) _____

Signatures of Property Owner(s):

Signature Date May 21, 2020
Name (Print) Robert J. Burton, Borough Manager

Signature Date
Name (Print) _____

³If an individual has signed the application form on the property owner's behalf, please provide a written explanation indicating how he/she is authorized to act on behalf of the property owner(s). Please also attach documentation demonstrating that he/she is authorized to act on behalf of the property owner.

Supplemental Information

The following supplemental information is attached:

- ☒ Application fee (Item #12) – Amount enclosed: \$ 679.50 -sent separately

Checks and money orders should be made payable to the NJ Pinelands Commission.
- ☒ If applicable, supporting documentation of the expected construction costs for the proposed development that were used to calculate the appropriate application fee. (Item #12)
- ☐ If applicable, pictures of the structure to be demolished (Item #10)
- ☐ If applicable, a recorded deed restriction or property easement (Item #5)
- ☐ If applicable, please submit documentation demonstrating that the individual(s) who signed the application form on behalf of the property owner is authorized to act on the property owner's behalf.
- ☒ Additional information:
 - Engineer's Estimate of Probable Construction Costs
 - Draft - Legal Notice
 - Draft - Public Notice
 - Development Plans (2 sets)
 - Application Fee (this fee will be mailed to the Commission Offices)

Patrick T. and Terri L. O'Brien
105 Stokes Road
Medford Lakes, NJ 08055

April 13, 2020

Re: Pinelands Application No. XXXX-XXXX

Please take notice that the Borough of Medford Lakes has applied to the New Jersey Pinelands Commission to permit the construction of a pier and other improvements located along the rear of the municipal building on Block 30001, Lot 1.01 located at 1 Cabin Circle Road in Medford Lakes. The application is on file and available for inspection by appointment at the Pinelands Commission's office. Interested persons may comment to the Pinelands Commission within ten (10) days of the date of this notice.

Comments may be sent via the following:

Mail: Pinelands Commission Fax: 609-894-9331 Email: appinfo@njpines.state.nj.us
PO Box 359
New Lisbon, NJ 08064

Any person who provides comments or requests a copy of the Executive Director's findings and conclusion shall be provided a copy of said findings and conclusions. Any interested person who is aggrieved by said determination is entitled to a hearing by appealing the determination.

Prepared by:

Environmental Resolutions, Inc.
815 East Gate Drive, Suite 301
Mt. Laurel, NJ 08054

RE: Block 10034, Lots 1 through 4

DATE: May 28, 2020

Re: Pinelands Application No. XXXX-XXX

Please take notice that the Borough of Medford Lakes has applied to the New Jersey Pinelands Commission to permit the construction of a pier and other improvements at Ballinger Lake at the rear of the Municipal Building on Block 30001, Lot 1.01 located at 1 Cabin Circle in Medford Lakes. The application is on file and available for inspection by appointment at the Pinelands Commission's office. Interested persons may comment to the Pinelands Commission within ten (10) days of the date of this notice.

Comments may be sent via the following

Mail: The Pinelands Commission
PO Box 359
New Lisbon, NJ 08064

Fax: (609) 894-7331

Email: AppInfo@njpines.state.nj.us

Any person who provides comments or requests a copy of the Executive Director's findings and conclusion shall be provided a copy of said findings and conclusion. Any interested person who is aggrieved by said determination is entitled to a hearing by appealing the determination.

Prepared by:
Environmental Resolutions, Inc.
815 East Gate Drive
Suite 103
Mount Laurel, NJ 08054

BALLINGER LAKE EDUCATIONAL PARK IMPROVMENTS

BLOCK 30001.01, LOT 1.01
BOROUGH OF MEDFORD LAKES
BURLINGTON COUNTY, NEW JERSEY

GENERAL PLANS NOTES:

- 1) DATUM:
VERTICAL DATUM IS NAVD 1988 (GEOID18). PER GPS OBSERVATIONS UTILIZING
KEYSTONE KEY NET VRS NETWORK.
HORIZONTAL DATUM IS NAD 1983 (2011).
- 2) BLOCK AND LOT NUMBERS REFER TO THE OFFICIAL TAX MAPS OF
THE TOWNSHIP OF MEDFORD LAKES, BURLINGTON COUNTY, NEW JERSEY.
- 3) PROPERTY LINES SCALED FROM TAX MAPS.
- 4) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND
IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY
BE CONTAINED THEREIN. FOR THE PURPOSE OF EASEMENTS OF THIS SURVEY
EXISTING EASEMENT OF RECORD WERE NOT RESEARCHED.
- 5) TOPOGRAPHY SHOWN AT A 1' CONTOUR INTERVAL.
- 6) THIS TOPOGRAPHIC PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY
PREPARED IN THE FIELD BY ENVIRONMENTAL RESOLUTIONS, INC..
- 7) ALL DISTANCES ARE GRID MEASUREMENTS IN US SURVEY FEET UNLESS
OTHERWISE NOTED.
- 8) THIS PLAN IS NOT A BOUNDARY SURVEY.
- 9) WETLANDS IDENTIFIED ON THE PLANS WERE DELINEATED ON OR ABOUT
JANUARY 31, 2020, PERFORMED BY DUBOIS AND ASSOCIATES.
- 10) WETLANDS WERE FIELD LOCATED ON OR ABOUT JANUARY 23, 2020.
- 11) THE CONDITIONS SHOWN ON THIS PLAN ARE BASED ON THE FIELD WORK
PERFORMED BY ERI IN JANUARY 23, 2020.
- 12) THIS PLAN IS DRAWN TO SCALE. HOWEVER, STRETCHING MAY OCCUR DURING
REPRODUCTION.
- 13) SYMBOLS ARE FOR ILLUSTRATING PURPOSE ONLY, THEY ARE NOT
NECESSARILY OF THE SAME TYPE AND OR SIZE OF THE OBJECT WHICH THEY
REPRESENT.

GENERAL CONSTRUCTION NOTES:

1. BUILDING CODES: ALL WORK SHALL CONFORM TO FEDERAL, STATE AND LOCAL LAWS AS APPLICABLE TO THE PROJECT SITE. THE CONTRACTOR SHALL BE THOROUGHLY
FAMILIAR WITH ALL SUCH REGULATIONS.
2. DIMENSIONS: WRITTEN DIMENSIONS TAKE PREFERENCE OVER SCALED DIMENSIONS.
3. DRAWINGS AND INSTRUCTIONS: ALL WORK SHALL BE BY THE GENERAL CONTRACTOR OR APPROVED SUBCONTRACTOR UNLESS OTHERWISE NOTED. ANY OMISSION,
AMBIGUITY, DISCREPANCY OR CONFLICT IN THE BID DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR CLARIFICATION OR FIELD CHANGES AS MAY
BE REQUIRED.
4. FIELD DIMENSIONS: THE GENERAL CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS AND ASSUME RESPONSIBILITY FOR THEIR ACCURACY. ANY DISCREPANCY
SHALL BE PROMPTLY REPORTED TO THE ENGINEER.
5. SHOP DRAWINGS: THE CONTRACTOR SHALL SUBMIT WITH SUCH PROMPTNESS AS TO CAUSE NO DELAY, APPROPRIATE COPIES CHECKED AND APPROVED BY HIM, ALL SHOP
DRAWINGS, SCHEDULES, AND SAMPLES REQUIRED FOR THE WORK. THE ARCHITECT OR ENGINEER SHALL CHECK AND APPROVE SUCH DOCUMENTS AND SAMPLES FOR
CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS AND INTENT OF THE WORK.
6. QUALITY: ALL WORK SHALL BE EXECUTED IN ACCORDANCE WITH THE BEST TRADE PRACTICES AND STANDARDS, AND IN CONFORMANCE WITH ALL MANUFACTURES
RECOMMENDATIONS.
7. SAFETY: PRECAUTIONS, ACCEPTABLE TO THE OWNER, ENGINEER, AND LOCAL AUTHORITY, SHALL BE EXERCISED TO PROTECT ADJACENT PROPERTY AND TENANTS FROM
ACCIDENTS CONNECTED WITH THE WORK. O.S.H.A. STANDARDS SHALL BE STRICTLY OBSERVED.
8. MATERIALS AND ASSEMBLIES: ALL MATERIALS AND ASSEMBLIES SHALL MEET APPLICABLE STANDARDS AS PUBLISHED BY A.N.S.I., N.E.M.A. AND A.S.T.M. AND SHALL BE
U.L. LISTED.
9. CONTRACTORS: ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS:
a. THE CONTRACTOR AND SUBCONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS NECESSARY TO COMPLETE THE WORK IN COMPLIANCE WITH THE CONTRACT FOR
CONSTRUCTION AND APPLICABLE REGULATIONS.
b. THE CONTRACTOR SHALL BE RESPONSIBLE TO ASSIST ALL TRADES IN COORDINATION OF THE WORK AND COMPLIANCE WITH REQUIREMENTS.
10. PERMITS AND APPROVALS: ALL CONTRACTORS SHALL OBTAIN NECESSARY PERMITS, APPROVALS AND TESTING. THERE WILL BE NO FEE FOR LOCAL PERMITS.
11. ACCESS AND TRAFFIC: NO WORK OR DISTURBANCE SHALL BE PERFORMED BEYOND THE PROJECT LIMIT LINE PRIOR TO OBTAINING APPROPRIATE LOCAL AUTHORITY
APPROVALS AND PERMITS. WORK SHALL NOT INTERRUPT, BLOCK OR INTERFERE WITH LOCAL VEHICULAR OR PEDESTRIAN TRAFFIC OR WITH THE USE OF EXISTING FACILITIES
AT THE SITE.
12. MATERIALS: ALL MATERIALS AND ASSEMBLIES SHALL BE NEW. INSTALLATIONS MUST BEAR MANUFACTURER AND REQUIRED IDENTIFICATION MARKINGS. MATERIALS MUST
CONFORM FULLY TO REQUIRED PERFORMANCE STANDARDS AND WARRANTEE REQUIREMENTS. SUBSTITUTIONS REQUIRE WRITTEN APPROVAL FROM THE ENGINEER.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL DISTURBED AREAS TO EXISTING OR BETTER CONDITION. ALL DISTURBED AREAS NOT PAVED OR MULCHED
SHALL BE SEEDED, UNLESS OTHERWISE NOTED ON THE PLANS.

SPECIAL NOTES:

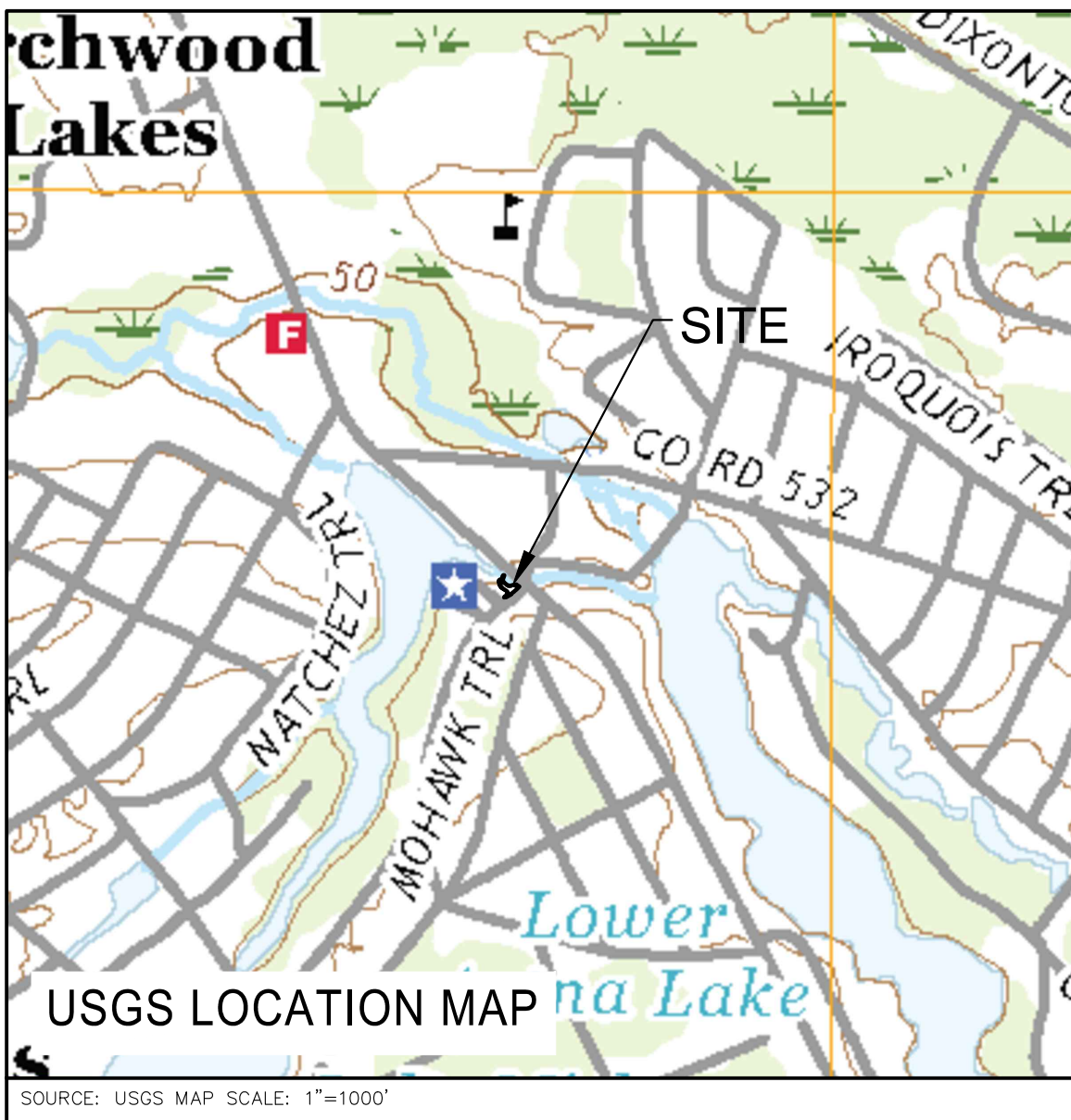
1. CONTRACTORS AND SUBCONTRACTORS SHALL EMPLOY ALL PRECAUTIONS TO PROTECT AND PRESERVE PROPERTY AND INSURE PUBLIC SAFETY.
2. SUGGESTED PROCEDURES ARE SUGGESTED AND NOT BINDING TO THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR OWN WORKING PROCEDURES.
3. THE TOWNSHIP AND IT'S REPRESENTATIVES SHALL BE HELD HARMLESS WITH REGARD TO ANY CLAIM DUE TO ANY CONTRACTOR NEGLIGENCE OR FAILURE TO ADHERE TO
INSTRUCTIONS, BUILDING CODES, REGULATIONS, PERFORMANCE STANDARDS OR PROPER CONSTRUCTION PROCEDURES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE TO ADHERE TO ALL MANUFACTURES' INSTRUCTIONS AND RECOMMENDATIONS AND TO COORDINATE INSTALLATION WITH ALL
TRADES. HE SHALL ASSURE THAT ALL TRADES ARE THOROUGHLY FAMILIAR WITH CONDITIONS AND REQUIREMENTS OF THE WORK.
5. THE CONTRACTOR SHALL FULLY INFORM OWNERS OF ANY NECESSARY PROCEDURES FOR CARE, MAINTENANCE, OPERATIONS AND SAFETY PROCEDURES REQUIRED FOR
EQUIPMENT OR ASSEMBLIES. HE SHALL PROVIDE NEATLY BOUND LITERATURE; SCHEDULE AND PROVIDE REQUIRED OR SUGGESTED INSTRUCTION; AND ALL WARRANTEES AS
ARE REQUIRED OR PROVIDED.

SAFETY:

1. CONSTRUCTION SHALL NOT INTERFERE WITH ANY REQUIRED EGRESS, EITHER FOR THE PROJECT OR ADJACENT PROPERTY OR TENANTS. PUBLIC HALLS AND AVENUES,
DOORS, YARDS, PASSAGES, EXITS AND AREAS OF REFUGE SHALL REMAIN ACCESSIBLE, UNOBSTRUCTED AND PROTECTED AT ALL TIMES.
2. EQUIPMENT AND MATERIALS SHALL BE STORED IN SUCH A MANNER AS TO NOT BLOCK EGRESS OR PASSAGE.
3. DUST AND NOISE SHALL BE MINIMIZED. DUST SHALL BE CONTAINED WITHIN THE CONSTRUCTION AREA AND PREVENTED FROM INFILTRATING PUBLIC AREAS.
4. CONSTRUCTION SHALL BE PERFORMED WITHIN NORMAL BUSINESS HOURS UNLESS OTHERWISE SPECIFICALLY ARRANGED AND APPROVED.

MANUFACTURER'S PRODUCTS:

1. THE CONTRACTOR SHALL OBSERVE ALL GUIDELINES, INSTRUCTIONS AND PROCEDURES AND INCLUDE ACCOMPANYING PRODUCTS AS ARE RECOMMENDED BY THE
MANUFACTURER AND SUPPLIER OF PRODUCTS AND ASSEMBLIES UTILIZED OR INSTALLED IN THE WORK.
2. THE CONTRACTOR SHALL BE FULLY FAMILIAR WITH MANUFACTURER'S RECOMMENDATIONS AND TAKE ALL NECESSARY MEASURES TO INSURE PROPER INSTALLATION OF
PRODUCTS, MATERIALS AND ASSEMBLIES.
3. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICT OR APPARENT CONFLICT IN DOCUMENTS WITH PRODUCT UTILIZATION OR WITH OTHER PRODUCTS AND
ASSEMBLIES CALLED FOR IN THE WORK.



DATE: MAY 2020
PREPARED FOR:
BOROUGH OF MEDFORD LAKES,
1 CABIN CIRCLE,
MEDFORD LAKES, NJ 08055

UTILITY COMPANY CONTACT INFORMATION:

GAS SERVICE PUBLIC SERVICE ELECTRIC & GAS CO. 300 CONNECTICUT DRIVE BURLINGTON, NJ 08016 KELLEY SUTTER RD (908) 418-6397	WATER COMPANY NJ AMERICAN WATER COMPANY 204 CARRIAGE LANE DELRAN, NJ 08075 JOHN GRAHAM 856-764-6920
ELECTRIC SERVICE PUBLIC SERVICE ELECTRIC & GAS CO. 300 NEW ALBANY ROAD MIDREESTOWN, NJ 08057 JOE KELLER (856) 778-6798	CHERRY HILL PUBLIC WORKS KEVIN J. GARRETSO, DIRECTOR 1 PERINA BOULEVARD CHERRY HILL, NJ 08003 (856) 424-4422
VERIZON ENGINEERING DEPARTMENT EDWARD GASKO 12 TANSBORD ROAD, 2ND FLOOR BERLIN, NJ 08009 (856) 306-8592	CAMDEN COUNTY MUA SCOTT SCHREIBER DIRECTOR OF ADMINISTRATION 1645 FERRY AVE CAMDEN, NJ 08104 (856) 5831261
CDMCAST ENGINEERING DEPARTMENT ROMAN KRESS 1250 HADDONFIELD-BERLIN ROAD CHERRY HILL, NJ 08034 (856) 669-0141	

THE CONTRACTOR WILL DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION
SITE SAFETY DURING THE COURSE OF CONSTRUCTION IN ACCORDANCE WITH NJAC
5:23-2.21 (e) OF THE NEW JERSEY UNIFORM CONSTRUCTION CODE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING STRUCTURES
AND UTILITIES, WHICH HE DEEMS NECESSARY, BOTH ABOVE AND BELOW THE
GROUND SURFACE BEFORE EQUIPMENT ENTERS THE CONSTRUCTION SITE.

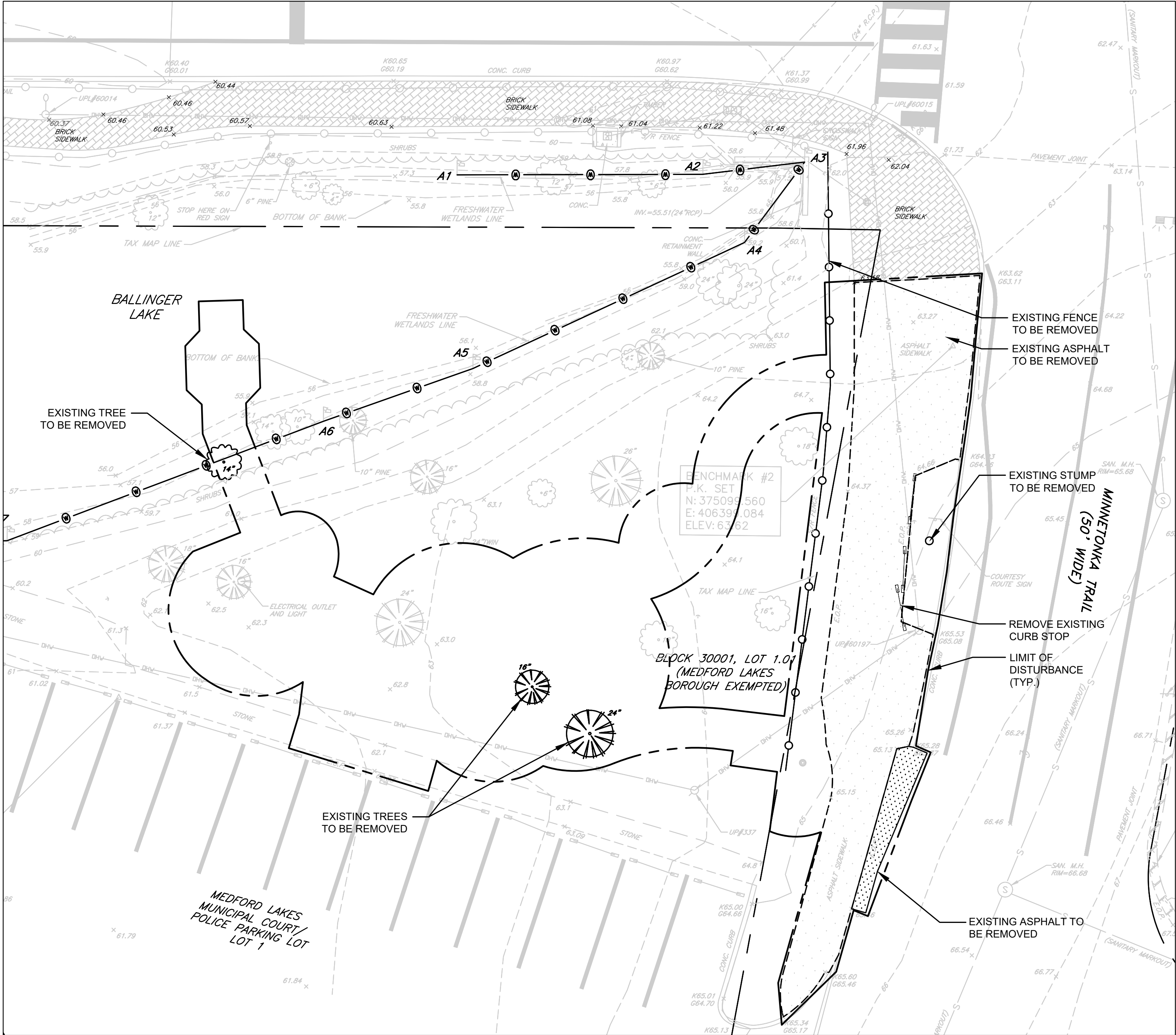
FINAL INQUIRIES TO "U.G. UTILITIES MARK-OUT" TELEPHONE NUMBER: 1-800-272-1000
AND TO "FIBER OPTIC MARK-OUT" TELEPHONE NUMBER: 1-800-272-1000
SHALL BE MADE BY THE CONTRACTOR WITHIN SEVEN (7) DAYS OF ENTERING THE SITE.
THE CONTRACTOR SHALL COORDINATE AND VERIFY THE METHOD OF UTILITY LOCATION
WITH THE APPROPRIATE UTILITY COMPANIES.

UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE, AND BASED ON
EXISTING INFORMATION RECEIVED FROM UTILITY COMPANIES.

DRAWINGS

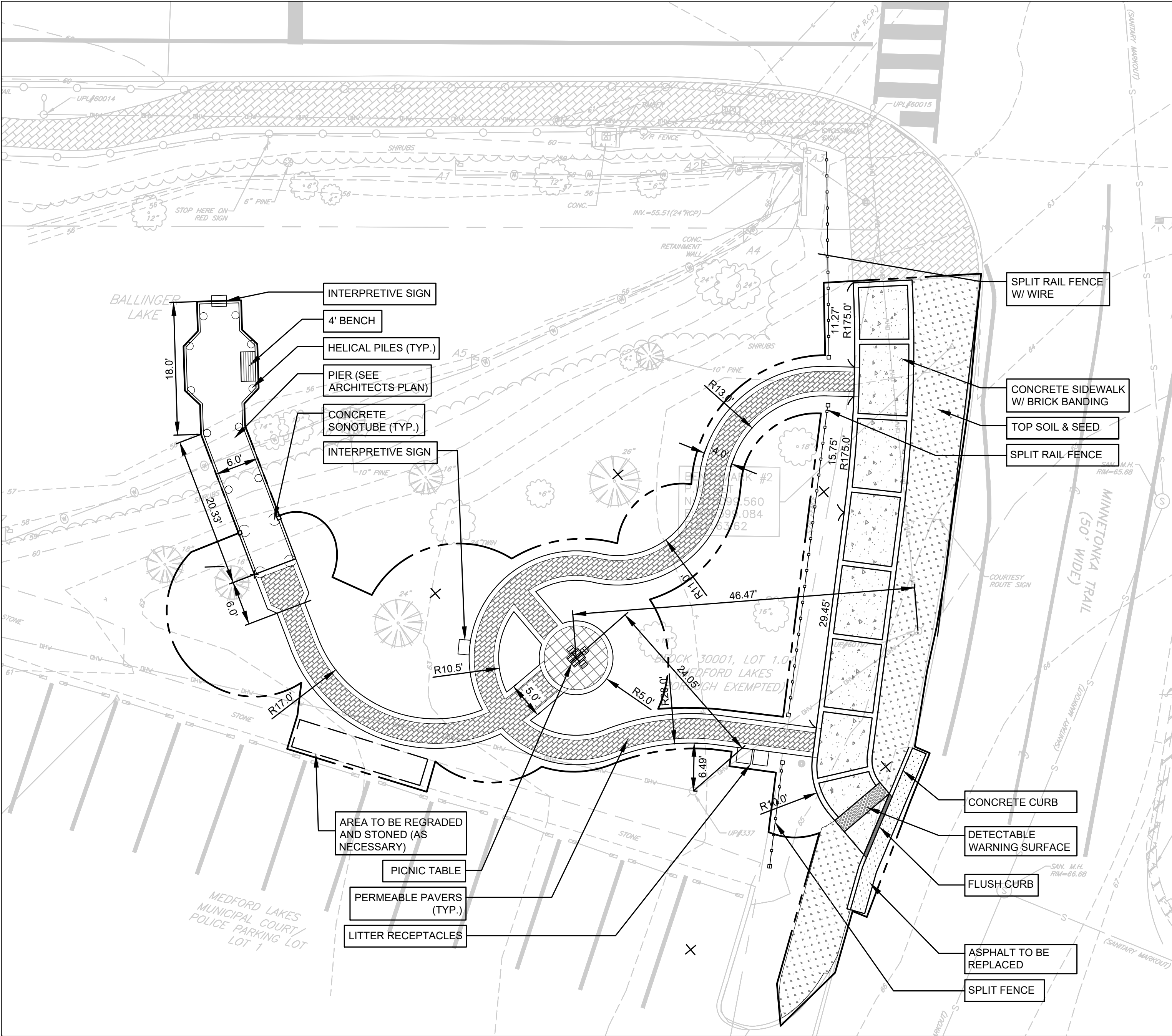
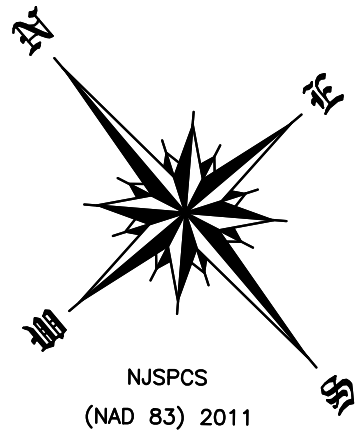
SHEET NO.	DESCRIPTION
T-1	TITLE SHEET
S-1	DEMOLITION AND SITE PLAN
GL-1	GRADING AND LANDSCAPE PLAN
CD-1	CONSTRUCTION DETAILS
CD-2	CONSTRUCTION DETAILS
A-1	FRAMING & DECKING PLAN, ELEVATIONS, DETAIL AND NOTES

 ENVIRONMENTAL RESOLUTIONS, INC. <i>Engineers • Planners • Scientists • Surveyors</i> 815 East Gate Drive - Suite 103 Mount Laurel, New Jersey 08054-3415 Tel. 856-255-7170 Fax 856-273-9239	PLAN NAME: TITLE SHEET	NO. REVISION & DATE <table><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr></table>																		
 C. JEREMY NOLL N.J. PROFESSIONAL ENGINEER No. 24GE05037100	05/08/20 DATE CERTIFICATE OF AUTHORIZATION NUMBER: 24GA27974500	BALLINGER LAKE PARK PARK IMPROVEMENTS BLOCK 30001, LOT 1.01 BOROUGH OF MEDFORD LAKES BURLINGTON COUNTY, NEW JERSEY PROJECT No. 24046_00 DRAWN: KW DESIGNED: NJW DATE: 05.08.20 SCALE: N.T.S.																		



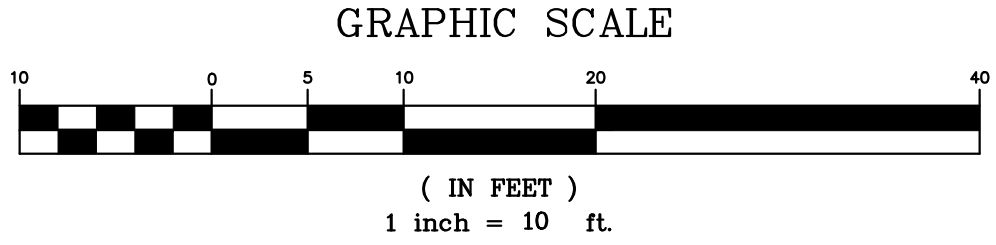
DEMOILION PLAN SCALE 1"=10'



- DEMOLITION NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL TREES NOT BEING REMOVED AT PART OF DEMOLITION. CONTRACTOR SHALL PROVIDE PROTECTION TO THE EXTENT POSSIBLE FOR CONSTRUCTION OF THE PROJECT. ALL PROTECTION SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 2. ALL MATERIALS DEMOLISHED/REMOVED BY THE CONTRACTOR BECOMES THE PROPERTY OF THE CONTRACTOR AND THEY SHALL DISPOSE OF THE MATERIALS AT THEIR OWN EXPENSE.
 3. EXCESS SOILS NOT USED AS PART OF THE PROJECT BECOME THE PROPERTY OF THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR REMOVAL, HAULING AND PROPER DISPOSAL.
 4. PROJECT AREA IS WITHIN THE FRESHWATER WETLANDS TRANSITION AREA. TOTAL AREA OF DISTURBANCE IS 4.656 S.F. (.10 ACRES)
 5. CONTRACTOR SHALL IDENTIFY ANY AND ALL EXISTING UTILITIES ONSITE, PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY.

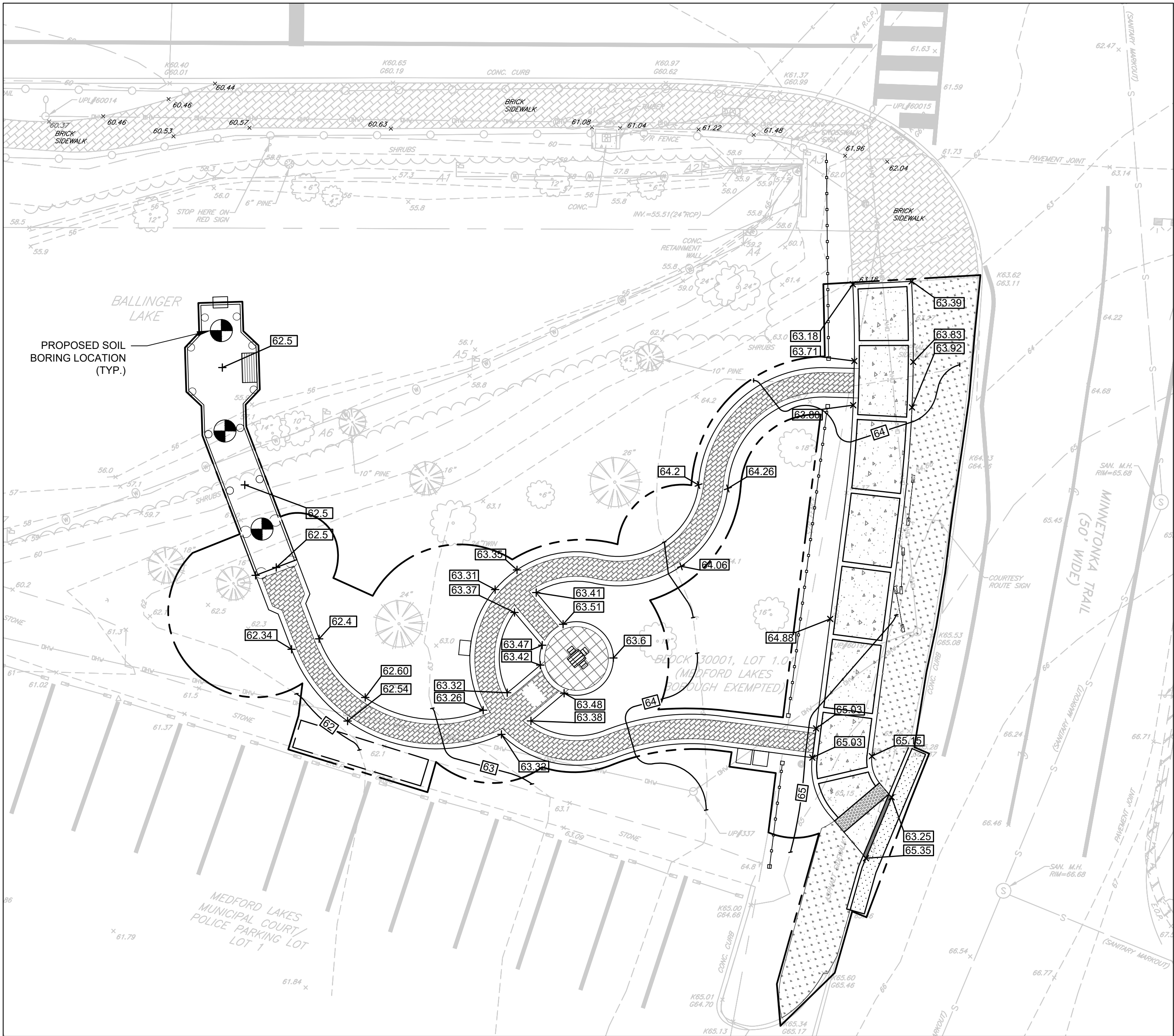


SITE PLAN SCALE 1"=10'

- SITE PLAN NOTES:**
1. CONTRACTOR SHALL VERIFY PROPOSED LAYOUT PRIOR TO CONSTRUCTION. ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AS SOON AS POSSIBLE.
 2. CONTRACTOR SHALL BE REQUIRED TO PERFORM GEOTECHNICAL BORINGS FOR THE BOARDWALK PILES AND PROPOSED CONCRETE SONOTUBE FOOTINGS. THESE BORINGS SHALL BE CATALOGED AND REPORT SHALL BE CREATED FOR USE OF THE DESIGN AND SIZING THE HELICAL PILES AND CONCRETE FOOTING TO BE UTILIZED FOR THE PIER CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SIGNED AND SEALED STRUCTURAL DESIGN DRAWINGS AND REPORT FOR THE FOOTING SYSTEM FOR THE PIER.
 3. HELICAL PILES SHALL BE 2.875" O.D. x 0.203" WALL ROUND SHAFT MODEL # RS2875.203 AS MANUFACTURED BY CHANCE FOUNDATION SOLUTIONS. 210 N. ALLEN CENTRALIA, MO 65240. PH: 855.477.2121. AVAILABLE THROUGH EARTH ANCHORING SUPPLIERS, PH: 1.732.747.7222
 4. STRUCTURAL CROSS MEMBER BRACING SHALL IS TO BE INCLUDED AS PART OF THIS PROJECT, TO ENSURE LATERAL STABILITY OF THE PIER. THE CONTRACTOR SHALL INCLUDE SIGNED AND SEAL DRAWINGS FOR THE STRUCTURAL CROSS BRACING OF THE HELICAL PILES.
 5. HELICAL PILES AND STRUCTURAL CROSS MEMBERS SHALL BE PAINTED BLACK WITH EXTERIOR MARINE GRADE PAINT.
 6. LAYOUT SHALL AVOID THE REMOVAL OF ANY EXISTING TREES TO REMAIN.



<div> ENVIRONMENTAL RESOLUTIONS, INC. <i>Engineers • Planners • Scientists • Surveyors</i> 815 East Gate Drive - Suite 103 Mount Laurel, New Jersey 08054-3415 Tel. 856-255-7170 Fax 856-273-9239</div>		PLAN NAME: DEMOLITION AND SITE PLAN		NO. REVISION & DATE <table border="1"><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr></table>																					
<div> C. JEREMY NOLL N.J. PROFESSIONAL ENGINEER No. 24GE05037100</div>		DATE: 05/08/20		SHEET NUMBER: S-1																					
CERTIFICATE OF AUTHORIZATION NUMBER: 24GA27974500		PROJECT No. 24046_00		DRAWN: KW	DESIGNED: NJW	DATE: 05.08.20	SCALE: N.T.S.																		

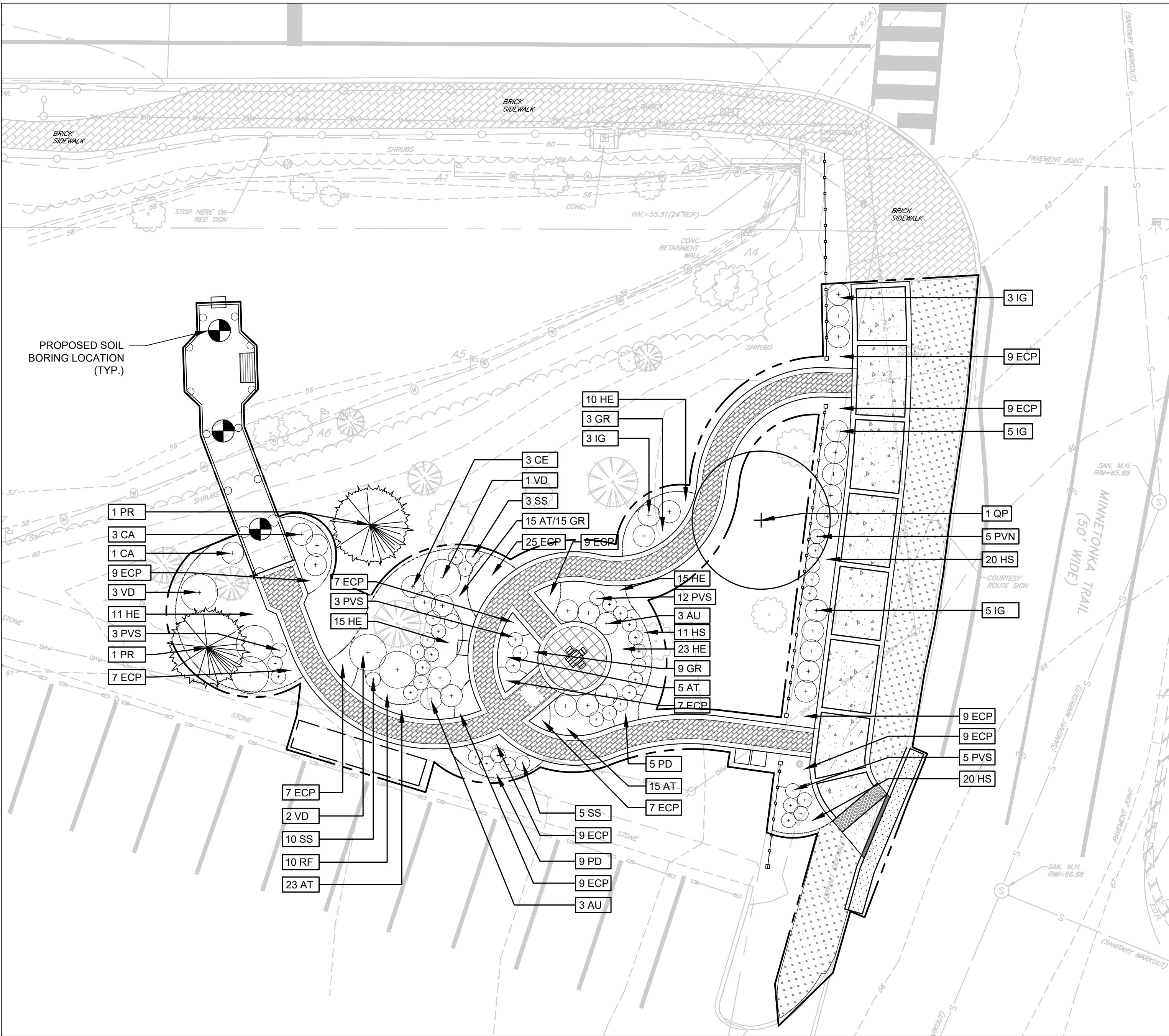


GRADING PLAN

SCALE 1"=10'

GRADING NOTES:

- IT IS THE INTENTION OF THIS PROJECT TO MAINTAIN THE EXISTING GRADES WHERE EVER POSSIBLE TO LIMIT ANY POTENTIAL IMPACT TO THE EXISTING TREES.
- SIDEWALK AND PATH WAY RUNNING SLOPES SHALL NOT EXCEED 5%, CROSS SLOPES SHALL NOT EXCEED 2%. PROPOSED GRADING HAS A MAXIMUM 4% RUNNING SLOPE AND A 1.5% CROSS SLOPE DESIGN.
- CONTRACTOR SHALL MAINTAIN EXISTING DRAINAGE PATTERNS WHERE POSSIBLE.



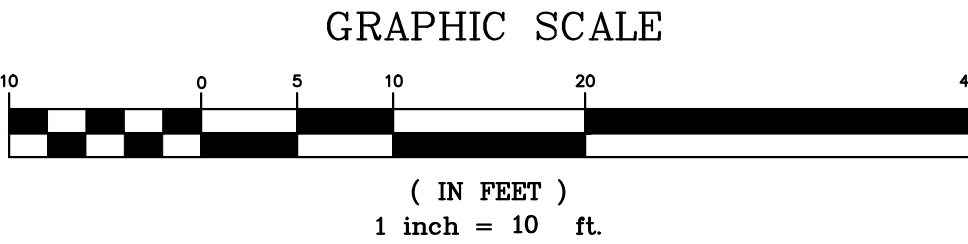
LANDSCAPE PLAN



SCALE 1"=10'

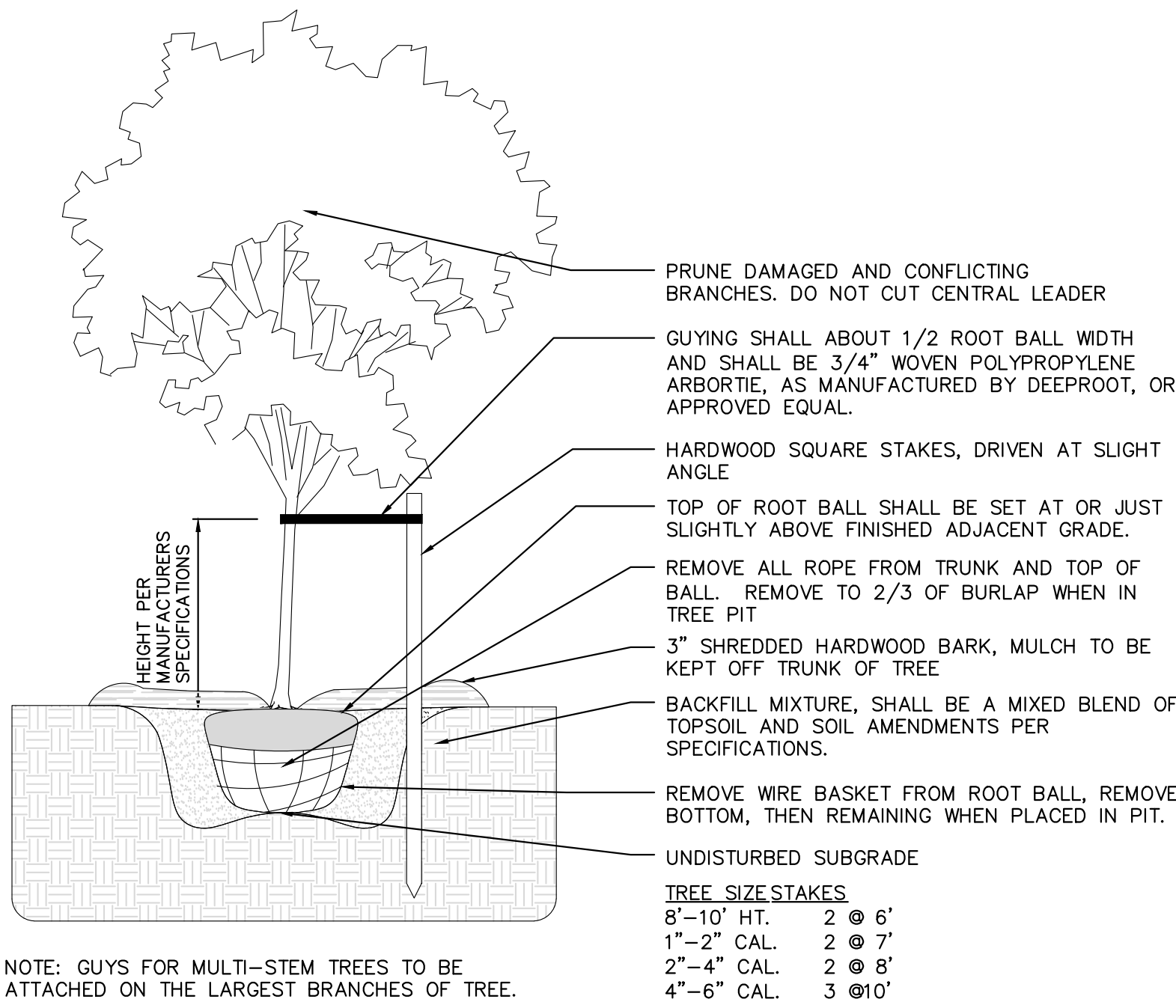
CABIN CIRCLE PARK - PLANT SCHEDULE						
Key	QTY	Scientific Name	Common Name	Size	Container	Notes
Evergreen Trees						
PR	2	Pinus rigida	Pitch Pine	6'-7'	B&B	Uniform, Symmetrical Shape
Shade Tree						
QC	1	Quercus coccinea	Scarlet Oak	2-1/2"-3"	B&B	Uniform, Symmetrical Shape
Shrubs						
CA	4	Clethra alnifolia 'Ruby Spice'	Ruby Spice Sweet Pepperbrush	24"-30"	#3 cont.	
AU	9	Arctostaphylos uva-ursi	Bearberry	24"-30"	#1 cont.	
IG	16	Ilex x glabra 'Gembox'	Gembox Holly	18"-24"	#3 cont.	
IT	3	Itea virginica 'Merlot'	Henry's Garnet Summer Sweet	24"-30"	#3 cont.	
VD	6	Viburnum dentatum	Arrowwood Viburnum	24"-30"	#3 cont.	
Perennials/Grasses						
AT	58	Asclepias tuberosa	Butterfly Milkweed		LP 50	Plant 18" O.C.
ECP	135	Echinacea purpurea 'Pow Wow'	Pow Wow Purple Coneflower		LP 32	Plant 12" O.C.
GR	27	Geranium 'Rozeanne'	Rozeanne Cranesbill		#1	Plant 18" O.C.
HE	74	Heuchera micrantha 'Palace Purple'	Palace Purple Coral Bells		Plug	Plant 12" O.C.
HS	31	Hemerocallis 'Mini Stella'	Mini Stella Day Lily		SP#4	Plant 12" O.C.
PD	14	Penstemon 'Blackbeard'	Beardtounge		LP 50	Plant 12" O.C.
PVS	28	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass		LP 50	Plant 18" O.C.
RF	10	Rudbeckia fulgida 'Goldstrum'	Goldstrum Black-eyed Susan		LP 50	Plant 18" O.C.
SS	18	Schizachyrium scoparium	Little Bluestem		LP 50	Plant 12" O.C.

LANDSCAPE PLAN NOTES:

- ALL LANDSCAPE MATERIALS SHALL BE FIELD LOCATED PRIOR TO INSTALLATION.
- WHEN PLANTING THE LANDSCAPE MATERIALS, THE CONTRACTOR SHALL AVOID THE REMOVAL/DAMAGE OF LARGE ROOTS.
- ALL TREES SHALL INCLUDE INSTALLATION OF GATOR BAGS FOLLOWING INSTALLATION AND STAKING.
- EXISTING TREES WITHIN AND DIRECTLY ADJACENT TO PROPOSED LANDSCAPE BEDS SHALL RECEIVE 3" OF MULCH.

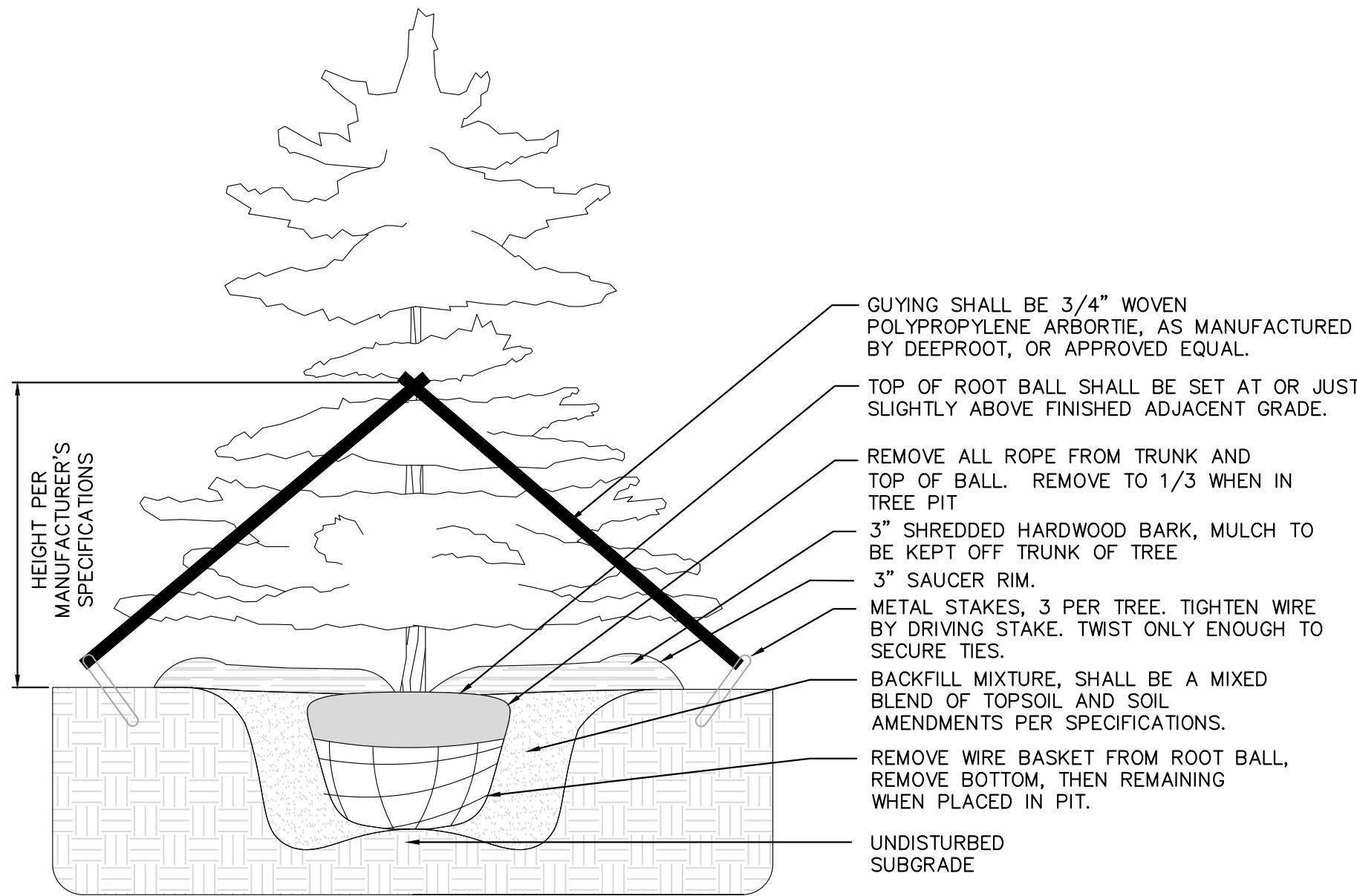


 C. JEREMY NOLL N.J. PROFESSIONAL ENGINEER No. 24GE05037100	 ENVIRONMENTAL RESOLUTIONS, INC. Engineers • Planners • Scientists • Surveyors 815 East Gate Drive - Suite 103 Mount Laurel, New Jersey 08054-3415 Tel. 856-235-7170 Fax 856-273-9239	PLAN NAME: GRADING AND LANDSCAPE PLAN		NO. REVISION & DATE	
		PROJECT No. 24046_00 DRAWN:KW DESIGNED:NUJ DATE:05.08.20 SCALE:N.T.S.		SHEET NUMBER: GL-1	



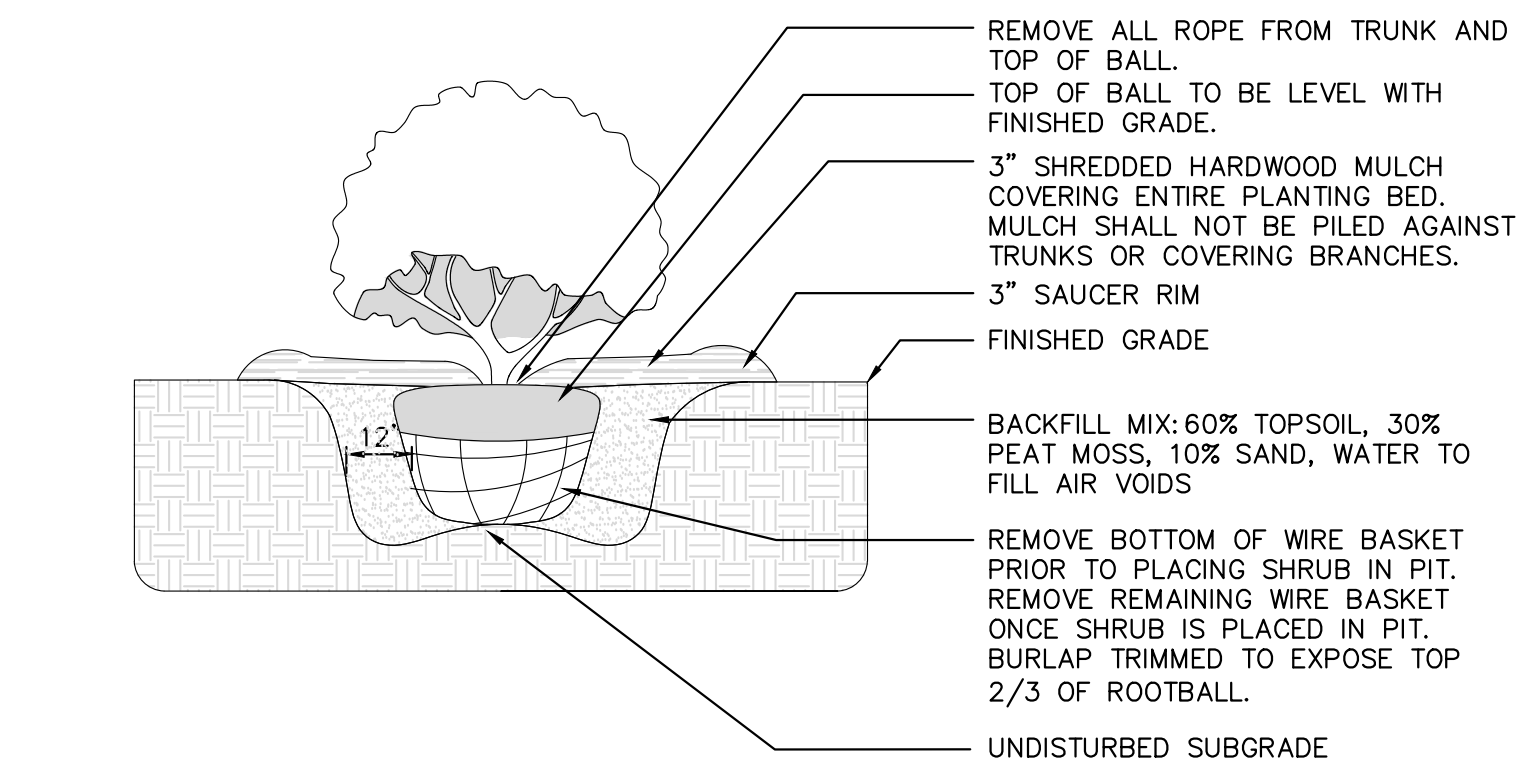
DECIDUOUS TREE

N.T.S.



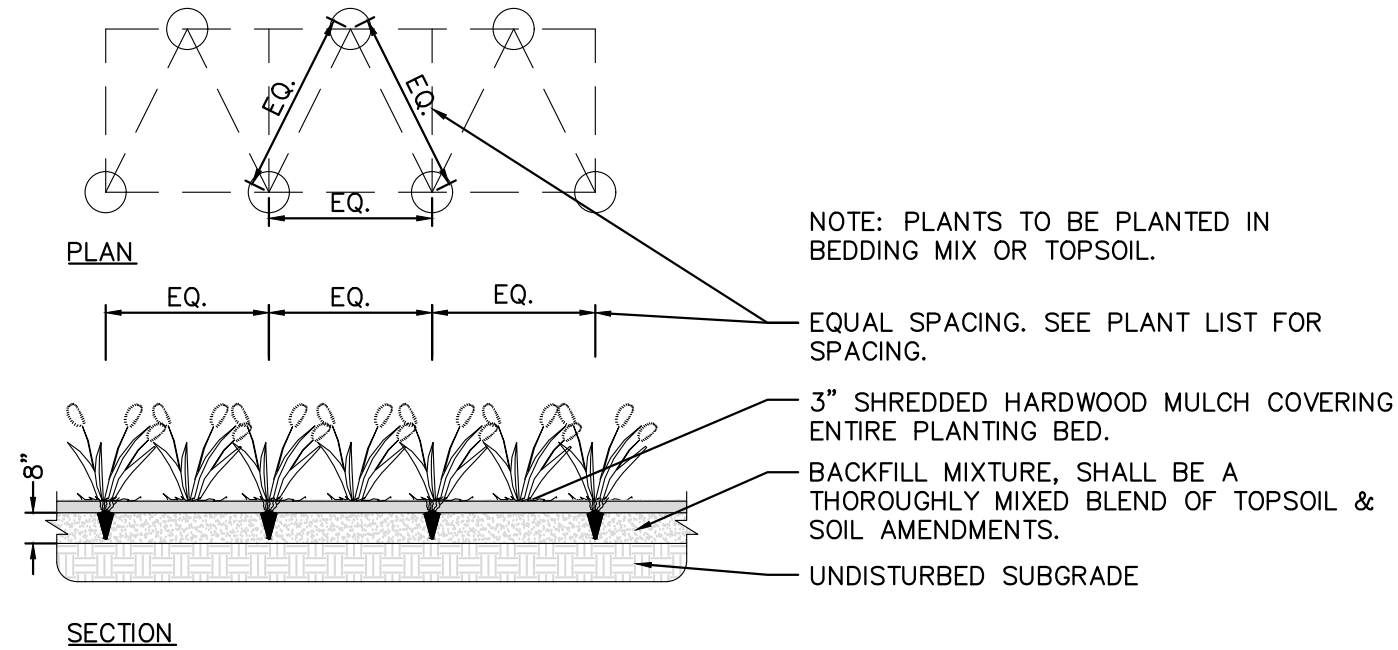
EVERGREEN TREE

N.T.S.



SHRUB

N.T.S.



GROUND COVER

N.T.S.

PLANTING NOTES

1. PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INODENTALS AND CLEANUP.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITY MARK OUTS AND COMPLIANCE WITH ALL FEDERAL, STATE, LOCAL CODES, LAWFUL ORDERS OR REGULATIONS GOVERNING UPON THIS WORK.
3. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL-DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES. ALL PLANTS SHALL BEAR LEGIBLE NURSERY TAGS.
4. PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK PLANTS WHICH HAVE NOT BEEN PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY.
5. QUALITY, BRANCHING AND SIZE OF PLANTS, INCLUDING ROOT SIZE, SHALL BE IN ACCORDANCE WITH "AMERICAN STANDARDS FOR NURSERY STOCK" ANSI Z60 (MOST RECENT EDITION) AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
6. B&B PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE ROOT BALL ONLY. PLANTS WITH BROKEN, SPLIT, OR DAMAGED ROOT BALLS SHALL BE REJECTED. THE ENTIRE WIRE BASKET SHALL BE CUT AWAY WITH TOOLS THAT DO NOT DAMAGE THE INTEGRITY OF THE ROOTBALL, BEFORE COVERING ROOT BALL WITH SOIL. BURLAP SHALL BE REMOVED FROM AT LEAST THE TOP 2/3 OF THE ROOT BALL BEFORE COVERING ROOT BALL WITH SOIL.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. SET PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT, AFTER SETTLEMENT, A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PIT.
8. NO PLANTING HOLES ARE TO BE EXCAVATED IN ADVANCE. THE PLANTING HOLES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO THE START OF PLANTING OPERATIONS.
9. BACKFILL MIXTURE SHALL BE THE EXISTING NATIVE TOPSOIL, OR 'A' HORIZON. IF DETERMINED TO BE UNSUITABLE ON SITE, AN APPROVED IMPORTED TOPSOIL WITH SIMILAR SOIL CHARACTERISTICS TO THE NATIVE TOPSOIL SHALL BE USED. UNSUITABLE EXCAVATED MATERIAL IS TO BE REMOVED FROM THE SITE AND DISPOSED OF AT THE CONTRACTOR'S SOLE EXPENSE. MYCORRHIZA INNOCULANTS WITH A DIVERSE SPECIES FORMULATION SHALL BE ADDED TO THE PLANTING PIT.
10. AREAS TO BE LANDSCAPED SHALL RECEIVE STOCKPILED TOPSOIL TO A MINIMUM DEPTH OF SIX(6) INCHES, EIGHT(8) INCHES WHERE POOR SOIL EXISTS. ORGANIC MATTER CONTENT OF TOPSOIL SHALL BE A MINIMUM OF 4 PERCENT. IN THE EVENT THAT ORGANIC MATTER CONTENT IS DEFICIENT, SOIL AMENDMENTS SHALL BE ADDED AS NECESSARY TO ACHIEVE THE REQUIRED PERCENTAGE.
11. PAVEMENT REMOVAL IN AREAS PROPOSED FOR LANDSCAPING SHALL INCLUDE REMOVAL OF ALL SUBBASE MATERIAL AND REPLACEMENT WITH TOPSOIL.
12. ALL TREE PITS AND PLANTING BEDS SHALL BE MULCHED TO A DEPTH OF 3-4 INCHES WITH SHREDDED HARDWOOD MULCH. MULCH SHALL NOT BE IN CONTACT WITH TRUNKS OF TREES OR SHRUBS, AND SHALL NOT COVER LOWER BRANCHES OF SHRUBS AND EVERGREEN / MULTISTEM TREES. ALL BEDLINES SHALL BE CUT 4" DEEP INTO A "V" SHAPED GROOVE TO PROVIDE A WELL-DEFINED EDGE. THE LAYOUT OF ALL BEDLINES SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT, ON-SITE, PRIOR TO CUTTING. PLANTS SHALL BE THOROUGHLY WATERED AFTER MULCHING.
13. ALL PLANT MATERIAL LOCATIONS ARE APPROXIMATE, AND THE FINAL LOCATION OF ALL PLANTS, INCLUDING TRANSPLANTED TREES, SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT ON-SITE PRIOR TO PLANTING.
14. IF AND WHEN DIRECTED BY THE LANDSCAPE ARCHITECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION AND MAINTENANCE OF ALL TREE GUYS, STAKES, SUPPORTS AND MULCH RINGS OR BEDS DURING CONSTRUCTION AND THE TWO (2) YEAR MAINTENANCE PERIOD. TREES SHALL NOT BE WRAPPED. ALL TREE STAKES AND GUY WIRES SHALL BE REMOVED AFTER ONE (1) YEAR. ONLY THOSE TREES THAT REQUIRE STRAIGHTENING SHALL BE STAKED BEYOND ONE (1) YEAR AFTER PLANTING. ALL REMAINING STAKE/GUY MATERIALS SHALL BE REMOVED BEFORE THE TWO (2) YEAR INSPECTION.
15. THE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF THE PROPOSED PLANT MATERIAL.
16. STREET AND PARKING LOT TREES SHALL BE PRUNED OF ANY BRANCHES THAT INTERFERE WITH PEDESTRIANS, VEHICLES, OR SIGNS, MIN. VERTICAL CLEARANCE HT. SHALL BE 6' ABOVE PAVED SURFACES. STREET TREES MUST BE SINGLE TRUNK, FULL, UNIFORM SPECIMENS.
17. ANY DISCREPANCY BETWEEN THE PLANS AND FIELD CONDITIONS WILL BE RESOLVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
18. NO PLANT, EXCEPT GROUND COVERS, SHALL BE PLANTED LESS THAN TWO (2) FEET FROM EXISTING STRUCTURES AND SIDEWALKS.
19. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTABLE LOCAL PRACTICE. TREES AND SHRUBS SHOULD BE INSTALLED DURING THE FOLLOWING FALL AND SPRING SEASONS DEPENDING UPON THE LOCATION OF THE PROPOSED PLANTS.


FALL	AUG. 15 – DEC. 15	EVERGREEN TREES
	OCT. 15 – DEC. 15	DECIDUOUS TREES
SPRING	MAR. 1 – MAY 15	ALL PLANTS

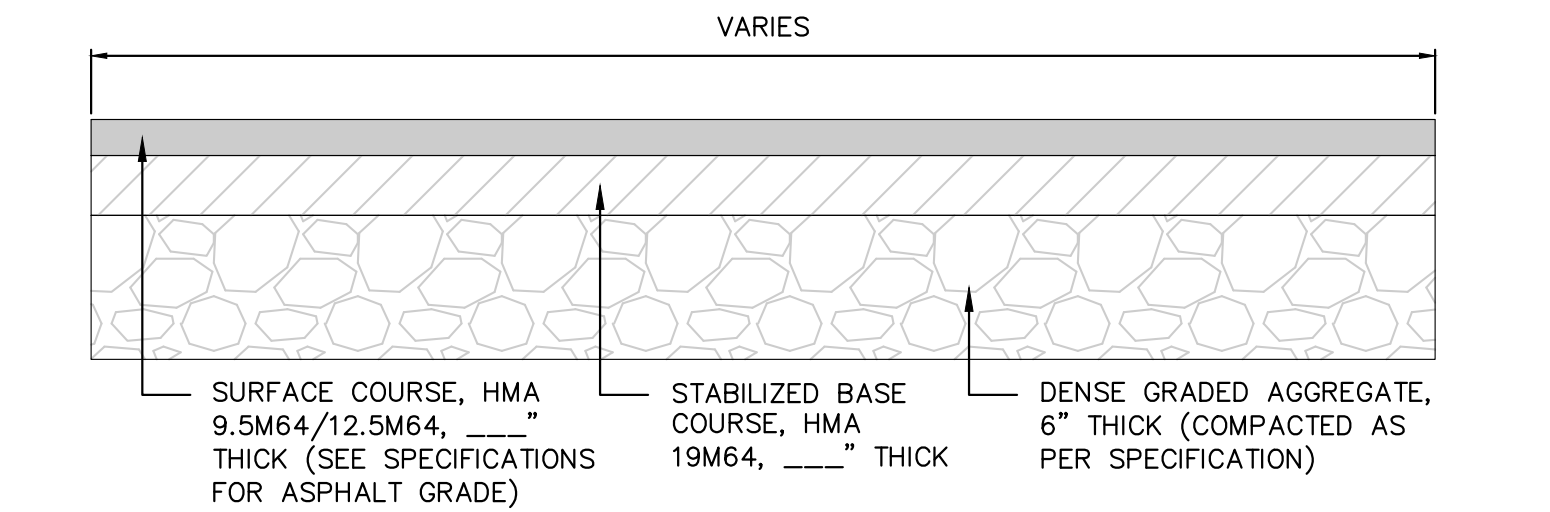
- THE CONTRACTOR SHALL SUBMIT A WRITTEN PROPOSED WORK SCHEDULE TO THE LANDSCAPE ARCHITECT, FOR APPROVAL AT LEAST TWO (2) WEEKS PRIOR TO BEGINNING OPERATIONS. AFTER THE SCHEDULE IS ACCEPTED NO MODIFICATIONS WILL BE PERMITTED WITHOUT WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT.
20. THE CONTRACTOR SHALL LOCATE ALL PLANT MATERIAL WITHIN 30 DAYS OF THE CONTRACT BEING AWARDED. ALL PLANT MATERIAL SHALL BE REVIEWED AND INSPECTED BY THE LANDSCAPE ARCHITECT AT THE NURSERY PRIOR TO PLANTING. FIRST, ALL PLANT MATERIAL MUST BE SELECTED AND TAGGED BY THE LANDSCAPE CONTRACTOR. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IN ORDER TO SCHEDULE HIS NURSERY INSPECTION WITH A MINIMUM OF 5 BUSINESS DAYS ADVANCE NOTICE. THE CONTRACTOR SHALL ACCOMPANY THE LANDSCAPE ARCHITECT ON THIS INSPECTION. THE CONTRACTOR SHALL HAVE LOCATED SUFFICIENT ALTERNATE CHOICES TO PREVENT LOSS OF TIME IN THE EVENT THAT SOME TREES FAIL TO MEET WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT. ALL TREES MUST BE APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT BEFORE DIGGING BEGINS. FIELD COLLECTED PLANT MATERIAL SHALL NOT BE USED UNLESS NURSERY GROWN STOCK IS NOT AVAILABLE, AND THEN ONLY WHEN AUTHORIZED IN WRITING BY THE LANDSCAPE ARCHITECT. COLLECTED STOCK SHALL HAVE ROOTBALLS IN ACCORDANCE WITH AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
21. THE CONTRACTOR SHALL ADHERE TO THE MAINTENANCE SCHEDULE AS DESCRIBED BELOW AND IN THE SPECIFICATIONS.
22. THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL INSTALLED UNDER THIS CONTRACT FOR A PERIOD OF ONE (1) YEAR AFTER THE LANDSCAPE ARCHITECT'S FINAL PLANTING OF ALL PLANTING AT NO ADDITIONAL COST TO THE OWNER, UNLESS OTHERWISE OBLIGATED BY CONTRACT. THE CONTRACTOR SHALL REPLACE ANY TREES, SHRUBS OR PLANTS THAT ARE DEAD OR THAT ARE, IN THE OPINION OF THE LANDSCAPE ARCHITECT, UNHEALTHY, UNSIGHTLY OR HAVE LOST THEIR DESIGN VALUE OR NATURAL SHAPE BECAUSE OF DEAD BRANCHES, EXCESSIVE PRUNING, OR INADEQUATE OR IMPROPER MAINTENANCE. ALL THE ABOVE MENTIONED MATERIAL WILL BE REMOVED IMMEDIATELY UPON DIRECTION OF THE LANDSCAPE ARCHITECT AND REPLACEMENT PLANTING IS TO BE COMPLETED PER PROJECT SPECIFICATION.
23. ALL DEAD OR SEVERELY DECLINING PLANTS SHALL BE REPLACED WITH IN THE NEXT GROWING SEASON, DURING THE PERFORMANCE AND MAINTENANCE BOND PERIOD.

ROOT PRUNING NOTES.

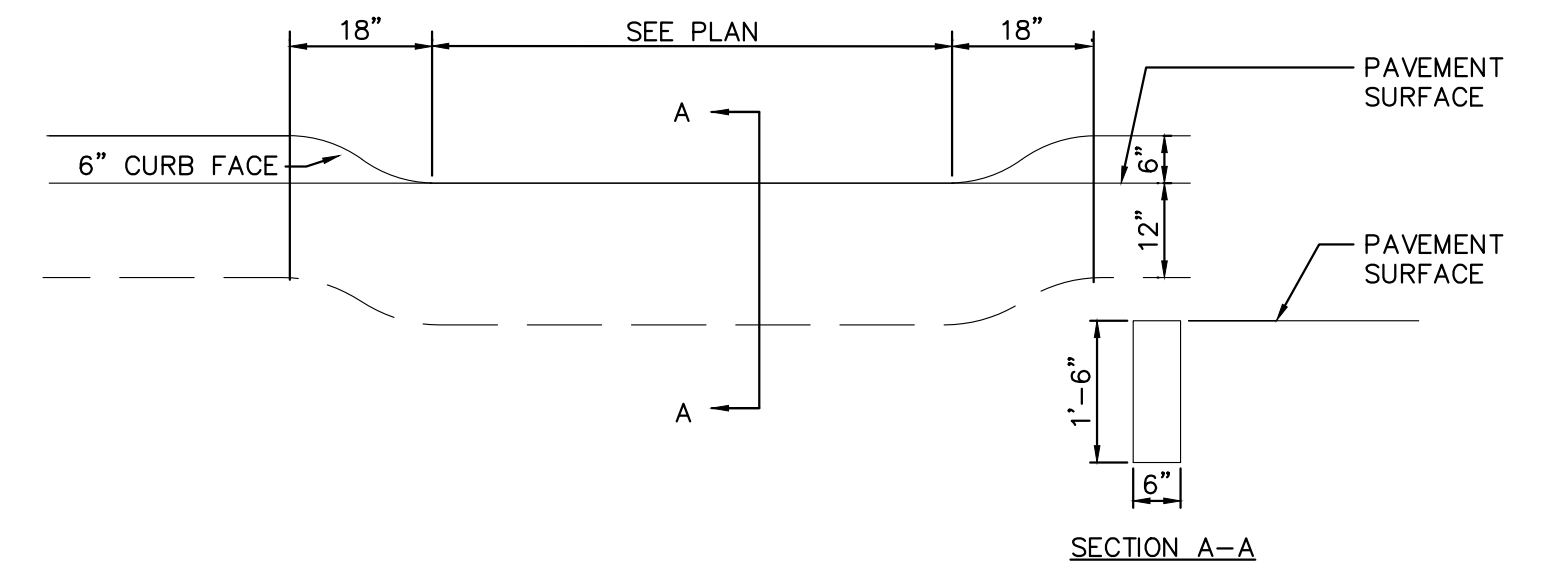
1. ROOT PRUNING SHALL BE DONE IN CONJUNCTION WITH AN ISA CERTIFIED ARBORIST. PRUNING SHALL BE DONE BY HAND, WITH ROOT PRUNING EQUIPMENT.
2. SOIL AMENDMENTS: TREES THAT TEND TO GO INTO SHOCK WHEN THEIR ROOT SYSTEMS ARE DISTURBED WILL RECOVER MORE RAPIDLY BY ADDING THE PROPER SOIL MIX INTO THE ROOT PRUNE CUT ON THE TREE SIDE OF THE ROOT BARRIER.
3. PRUNING OF ROOT CROWN: ROOT PRUNING UNAVOIDABLY IMPAIRS ANCHORAGE TO SOME EXTENT. PRUNING OF LARGER ROOTS, OR PRUNING CLOSER TO THE TRUNK WILL HAVE A MORE ADVERSE EFFECT ON ANCHORAGE. THEREFORE, THE TOLER CANOPY SHOULD BE THINNED IN CONJUNCTION WITH ROOT PRUNING TO BALANCE TOP AND BOTTOM GROWTH.
4. WHEN TO PRUNE: WHEN FEASIBLE, ROOT PRUNING SHOULD BE DONE AFTER THE END OF LOCAL HIGH WIND SEASON (WINTER) OR FIVE OR SIX MONTHS BEFORE ONSET OF SEASONAL HIGH WINDS. WHEN THERE IS A LIKELIHOOD OF EXCESSIVE WIND AND/OR RAIN, RISK OF POST-PRUNING TREE LOSS IS HIGH. EXCEPTIONAL CARE MUST BE TAKEN IN ANY ROOT PRUNING OPERATION.
5. MINIMUM DISTANCE FROM TRUNK: FOLLOW TABLE A. ROOT PRUNING CLOSER THAN 3 TIMES TREE TRUNK DIAMETER FROM THE TREE BASE IS NOT RECOMMENDED, DUE TO INCREASED INJURY/INFECTION AT PRUNING SITE, AND TO INCREASED DANGER OF TREE-FALL FROM IMPAIRED ANCHORAGE.

TABLE A. GENERAL GUIDE FOR MINIMUM DISTANCE FOR ROOTCUT	
TRUNK CALIPER MEASURED AT 12" ABOVE GROUND	ROOTCUT DISTANCE (3X TRUNK CALIPER)
4"	12"
6"	18"
8"	24"
10"	30"
12"	36"
14"	42"
16"	48"
18"	54"
20"	60"

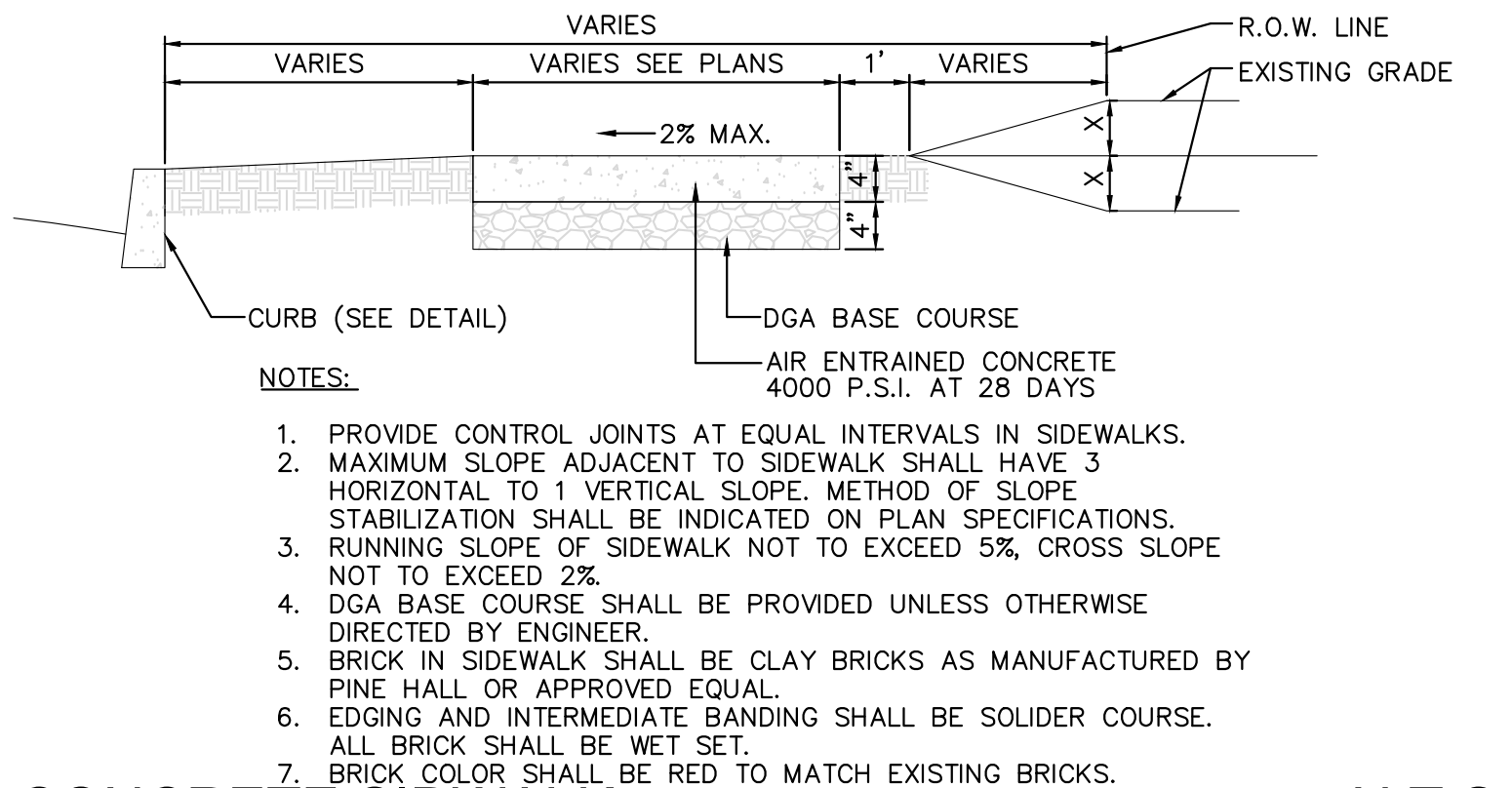
 ENVIRONMENTAL RESOLUTIONS, INC. <i>Engineers • Planners • Scientists • Surveyors</i> 815 East Gate Drive - Suite 103 Mount Laurel, New Jersey 08054-3415 Tel. 856-233-7170 Fax 856-273-9239	PLAN NAME: CONSTRUCTION DETAILS	NO. REVISION & DATE <table><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr><tr><td> </td><td> </td></tr></table>																				
C. J. NOLL C. JEREMY NOLL N.J. PROFESSIONAL ENGINEER No. 24GE05037100	05/08/20 DATE	SHEET NUMBER: CD-2																				
CERTIFICATE OF AUTHORIZATION NUMBER: 24GA27974500		PROJECT No. 24046_00 DRAWN:KW DESIGNED: NJW DATE: 05.08.20 SCALE: N.T.S.																				



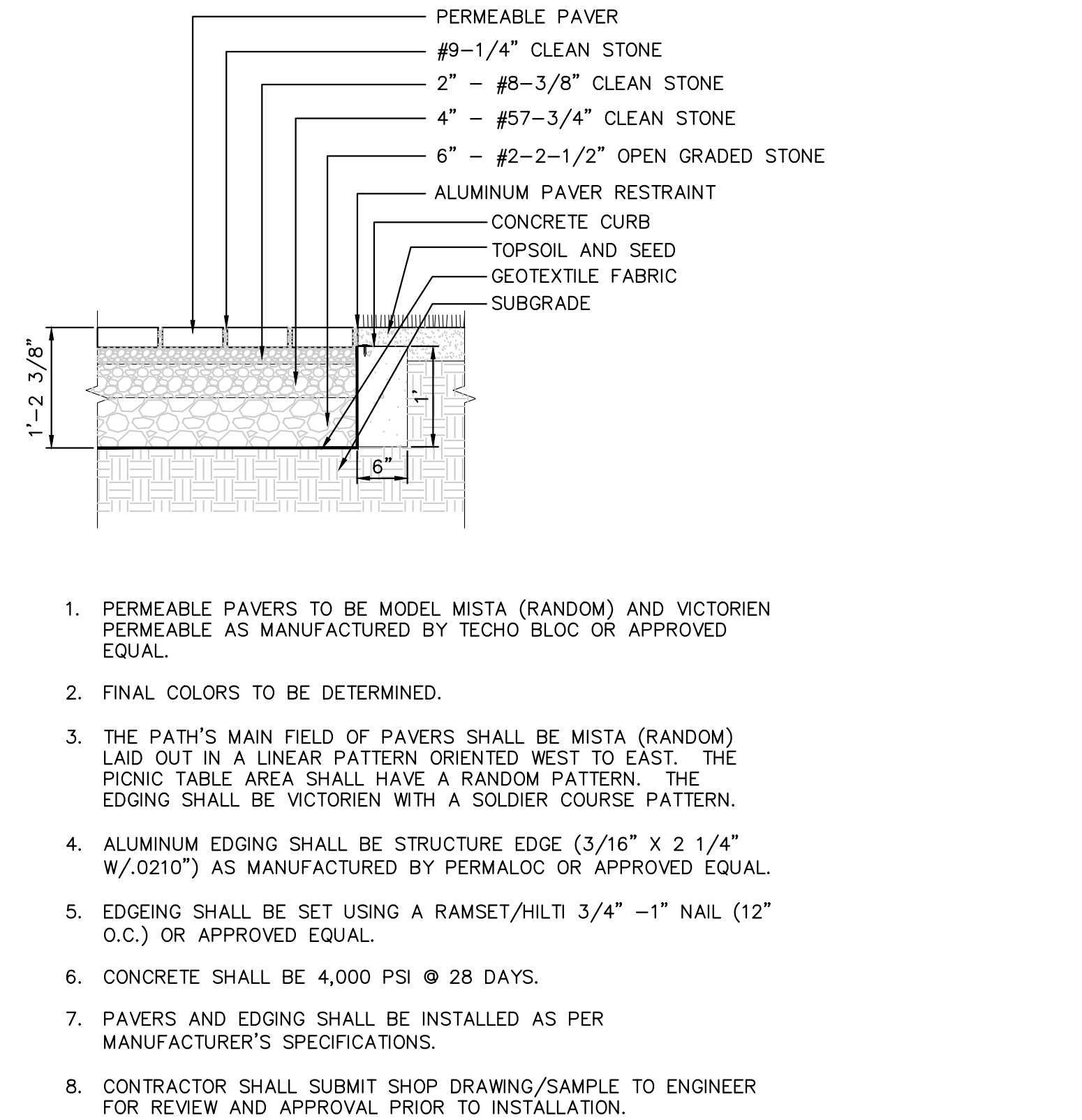
ASPHALT REPAIR N.T.S.



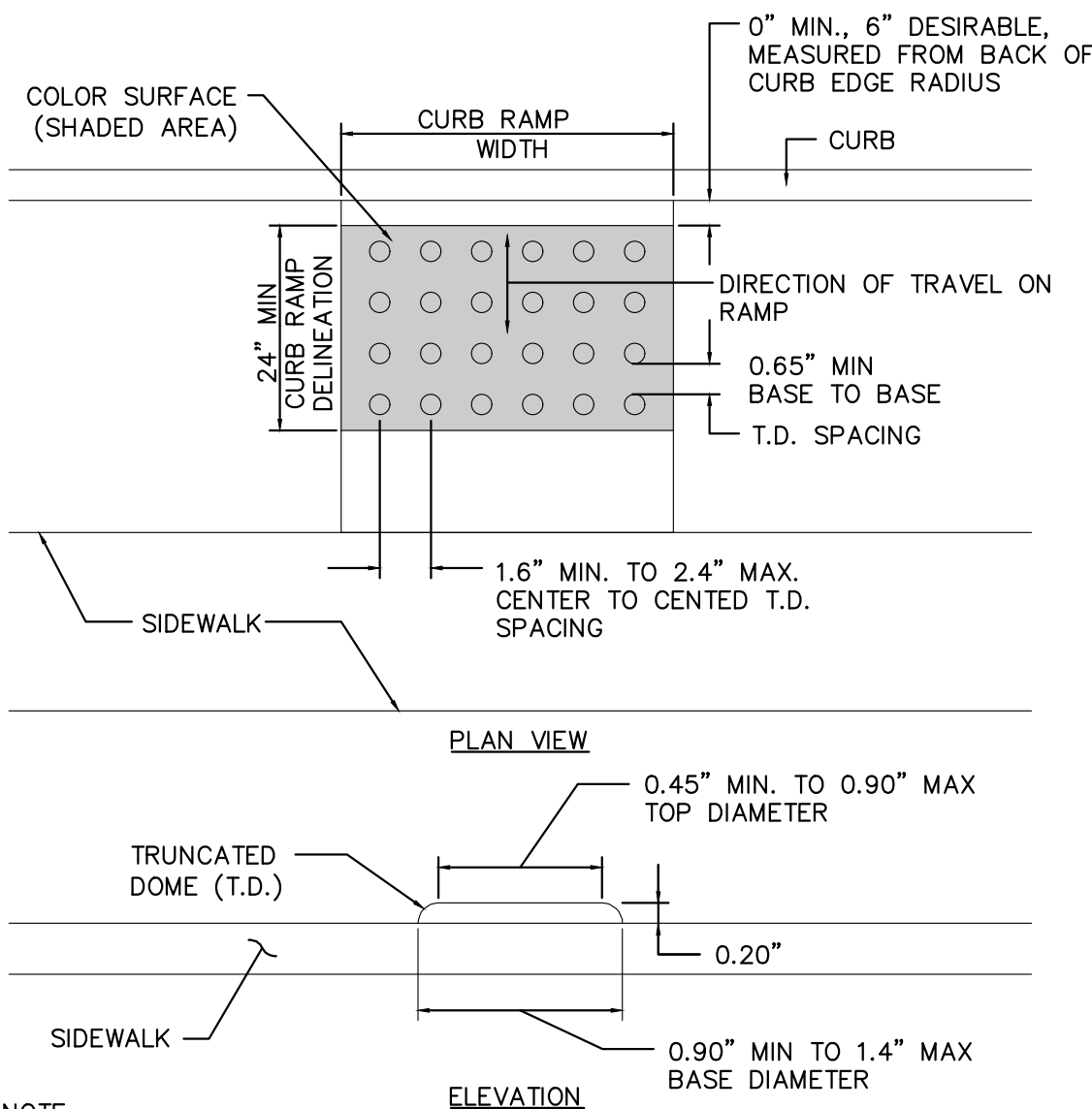
FLUSH CURB N.T.S.



CONCRETE SIDEWALK N.T.S.

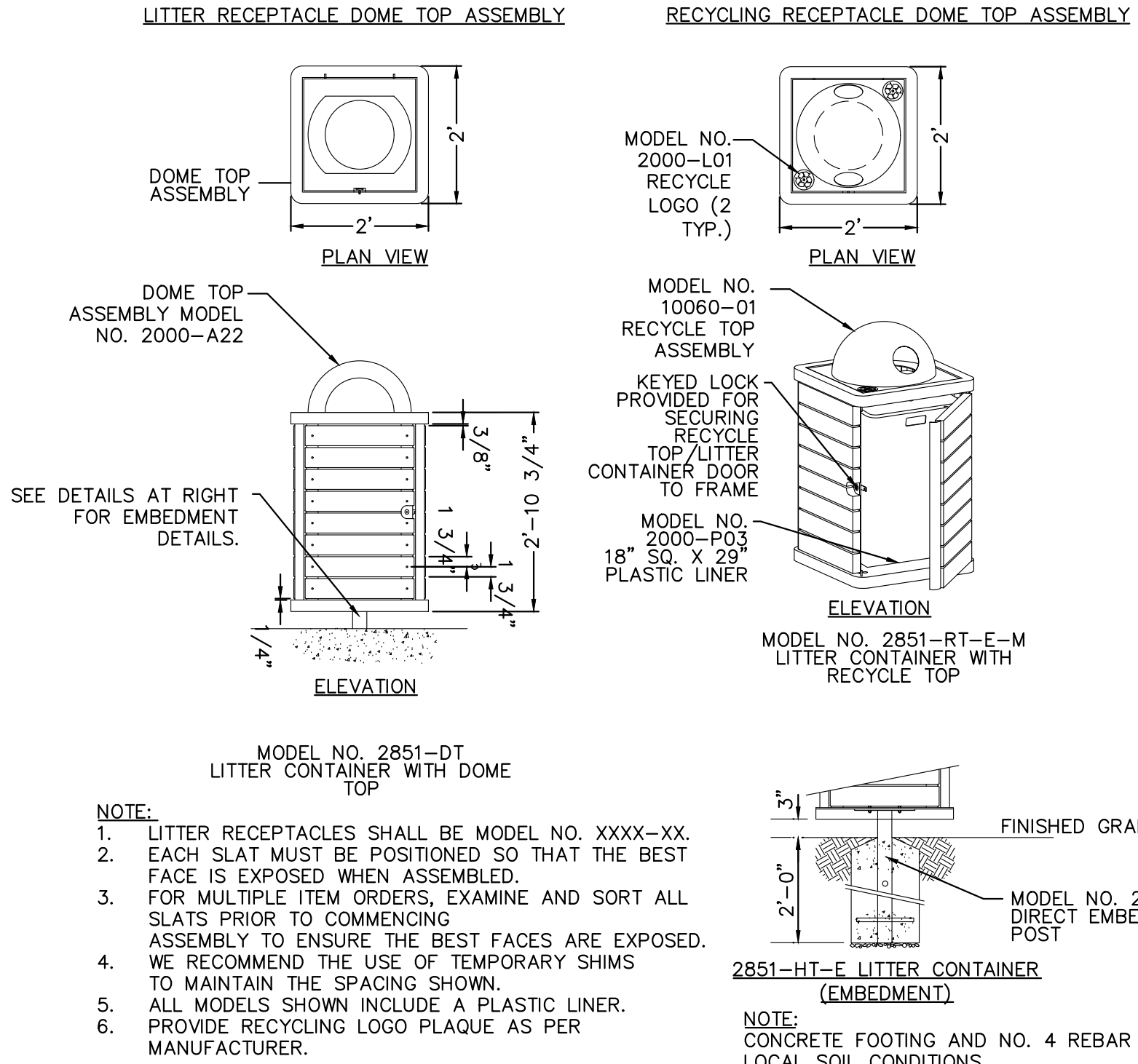


PERMEABLE PAVERS N.T.S.

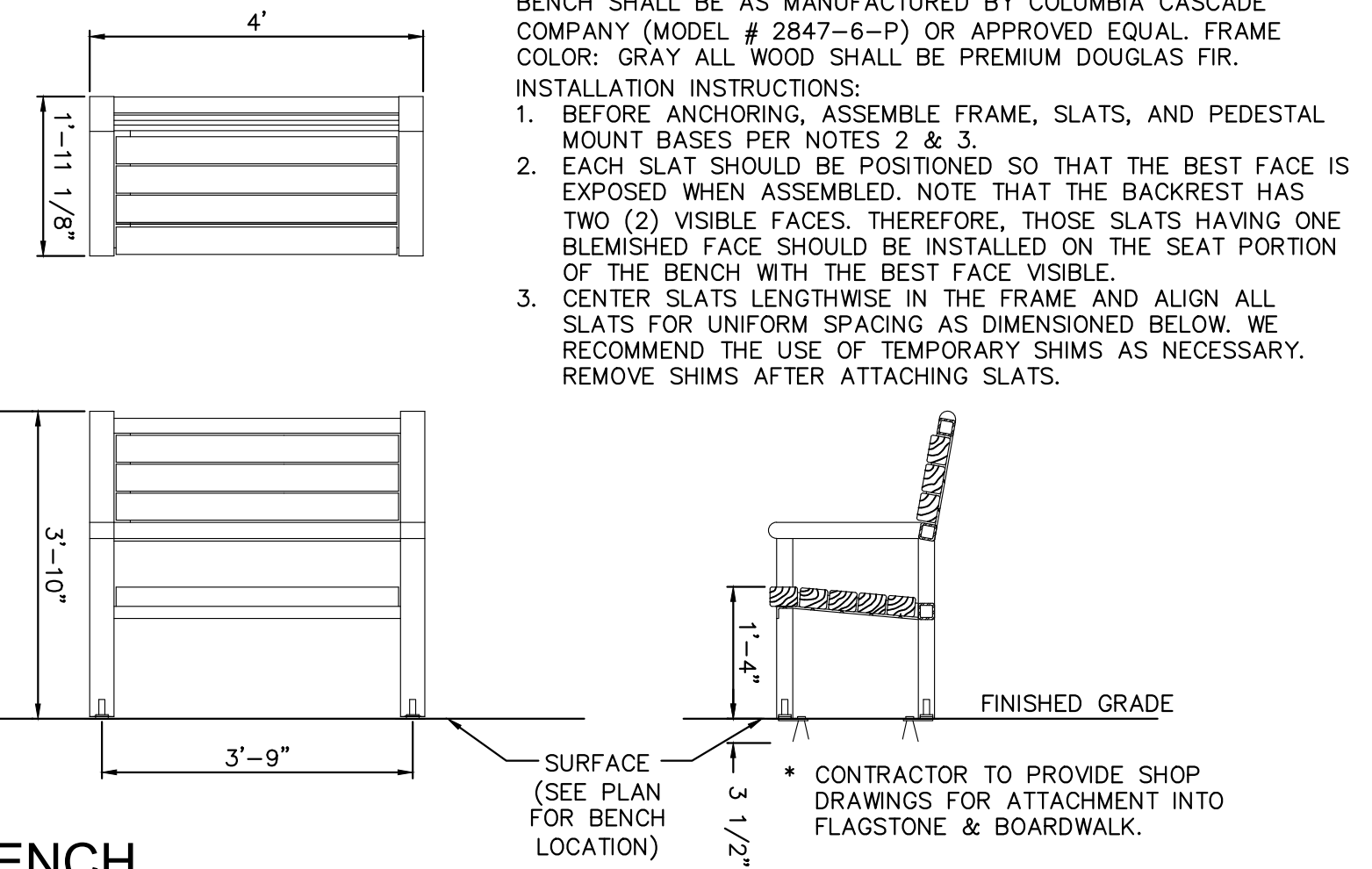


NOTE:
1. KEEP TURNING SPACE, APPROACH SIDEWALK TRANSITIONS, AND CURB RAMP CLEAR OF OBSTRUCTIONS THAT PROTRUDE ABOVE THE SURFACE.
2. IF A CURB RAMP IS REQUIRED, THE LOCATION OF THE DETECTABLE WARNING SURFACE MUST BE AT THE BOTTOM OF THE RAMP AND WITHIN THE REQUIRED DISTANCE FROM THE RAIL.
3. A STANDARD DETECTABLE WARNING SURFACE (DWS) IS NOT AVAILABLE TO FIT THIS APPLICATION, AND THEREFORE ONE WILL NEED TO BE CUSTOMIZE. THE DWS SHOULD COVER THE ENTIRE WIDTH OF THE RAMP. THE ROWS OF DOMES ON THE DWS SHOULD FOLLOW THE DIRECTION OF TRAVEL OF THE RAMP, SO PEDESTRIAN WHO USE MOBILE DEVICES CAN TRACK BETWEEN THE DOMES.

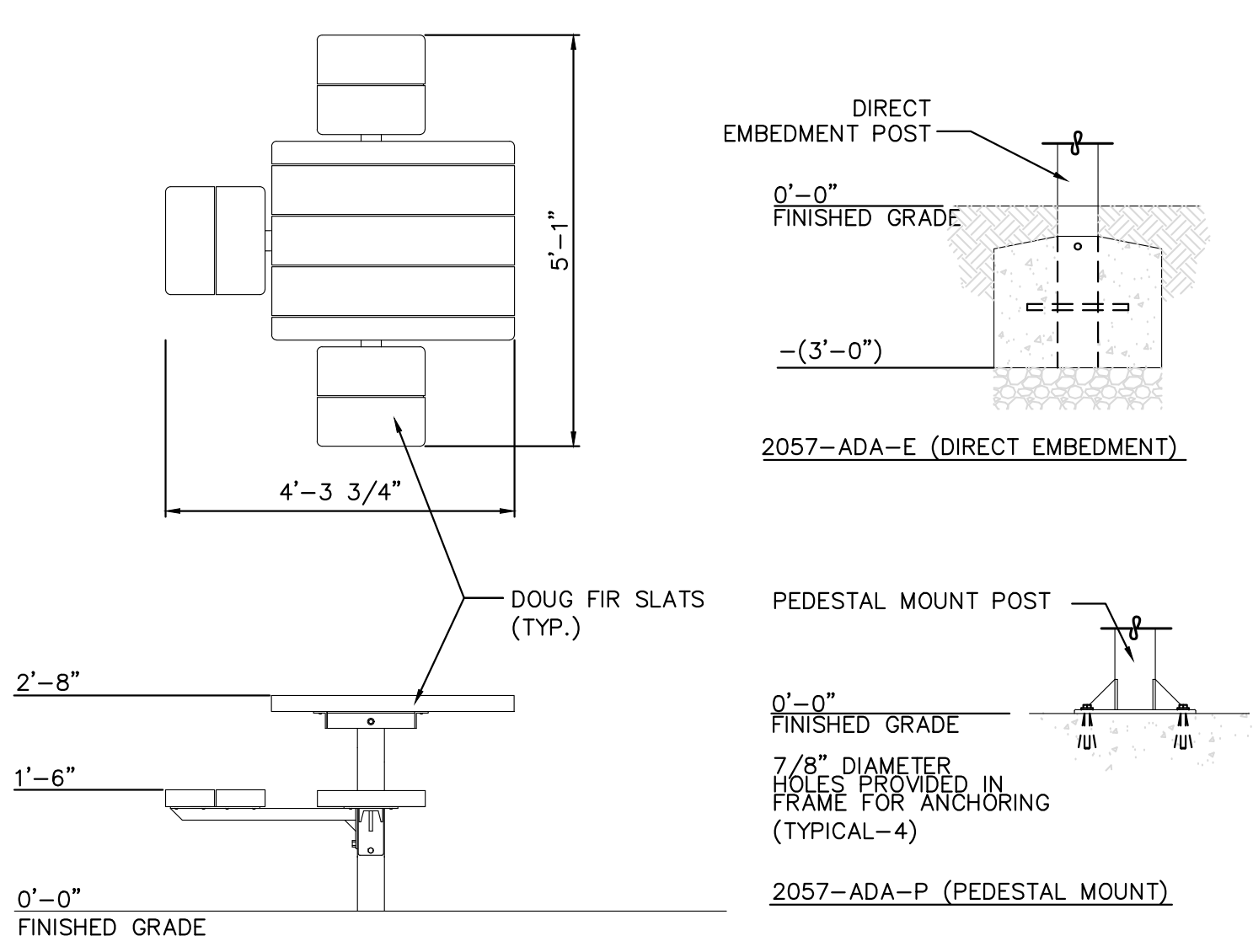
DETECTABLE WARNING SURFACE N.T.S.



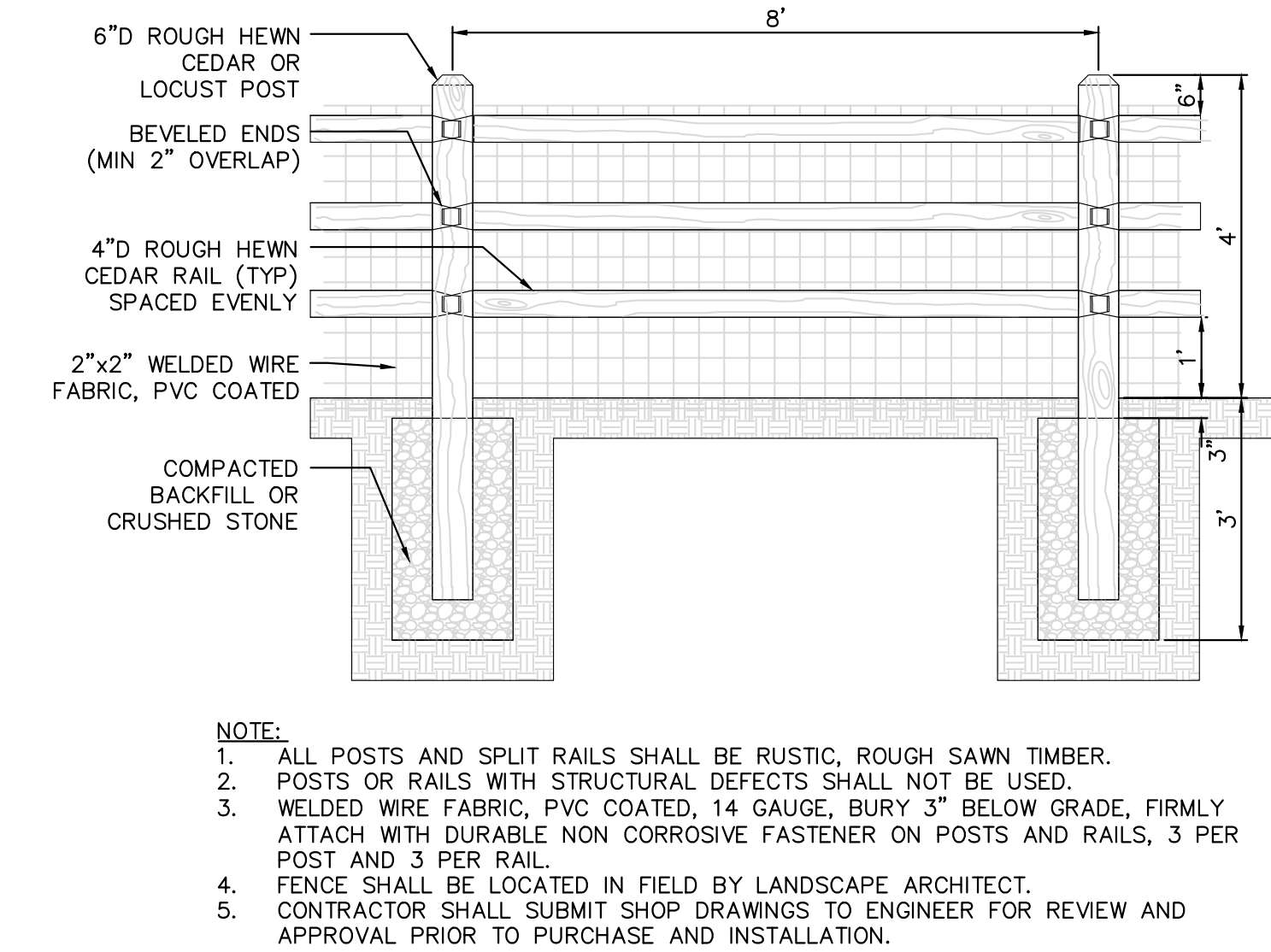
LITTER RECEPTACLE N.T.S.



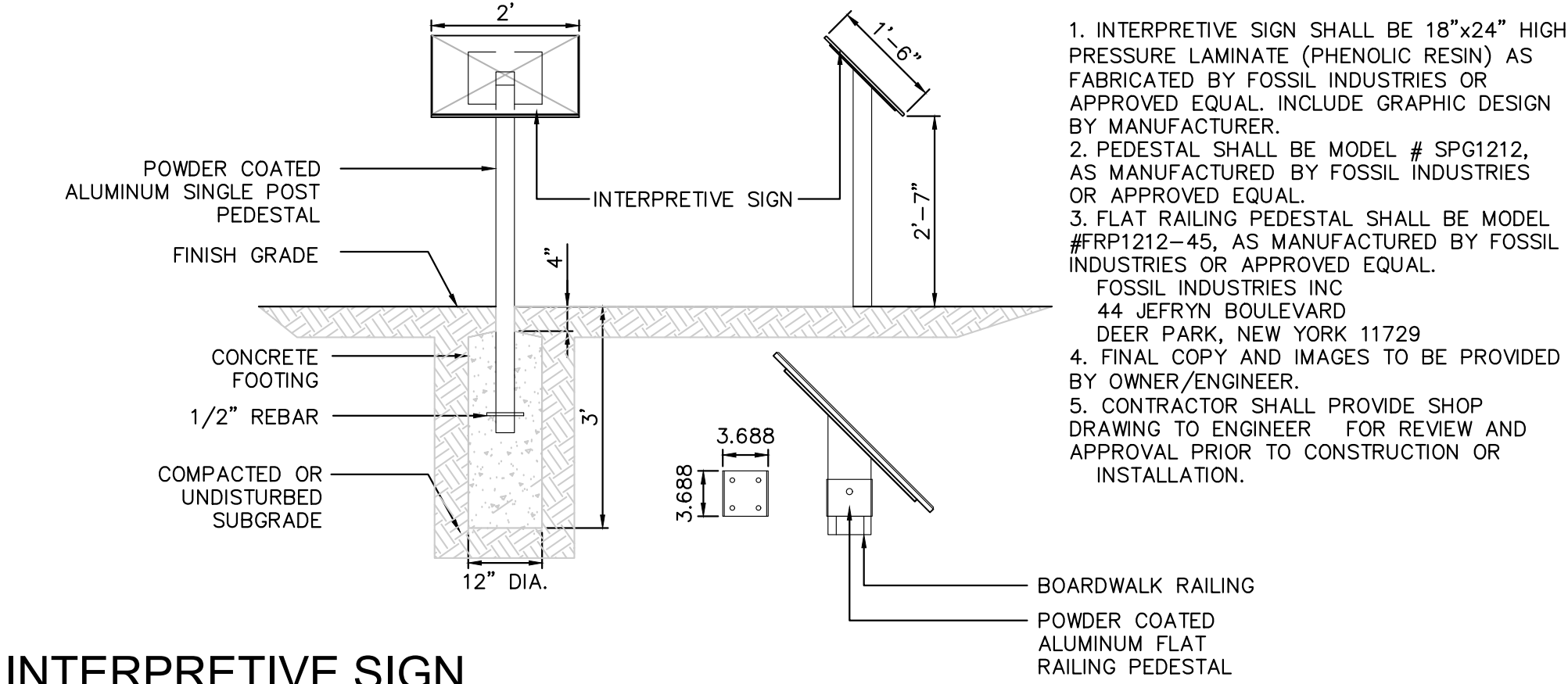
BENCH N.T.S.



PICNIC TABLE N.T.S.

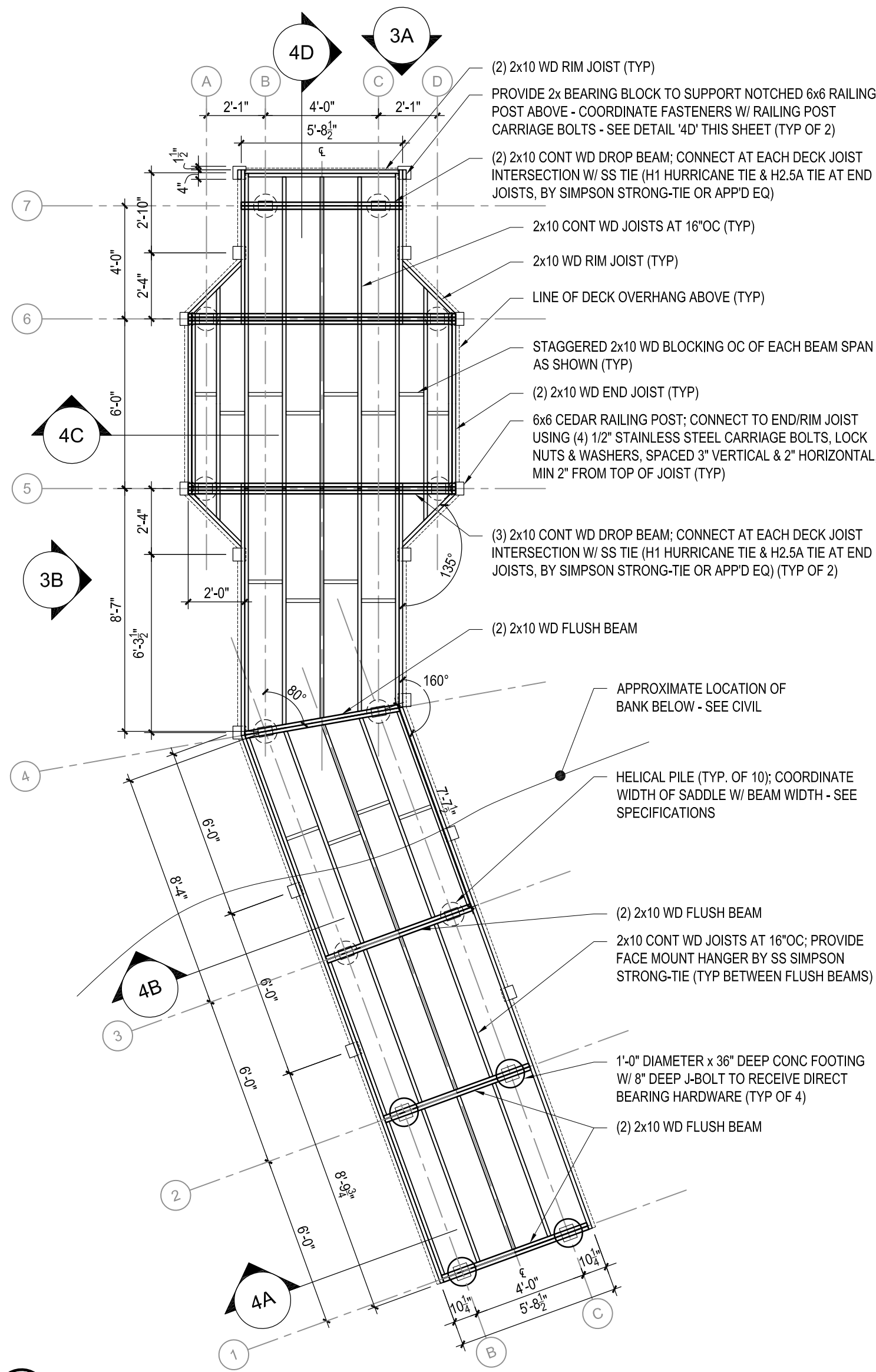


SPLIT RAIL FENCE N.T.S.

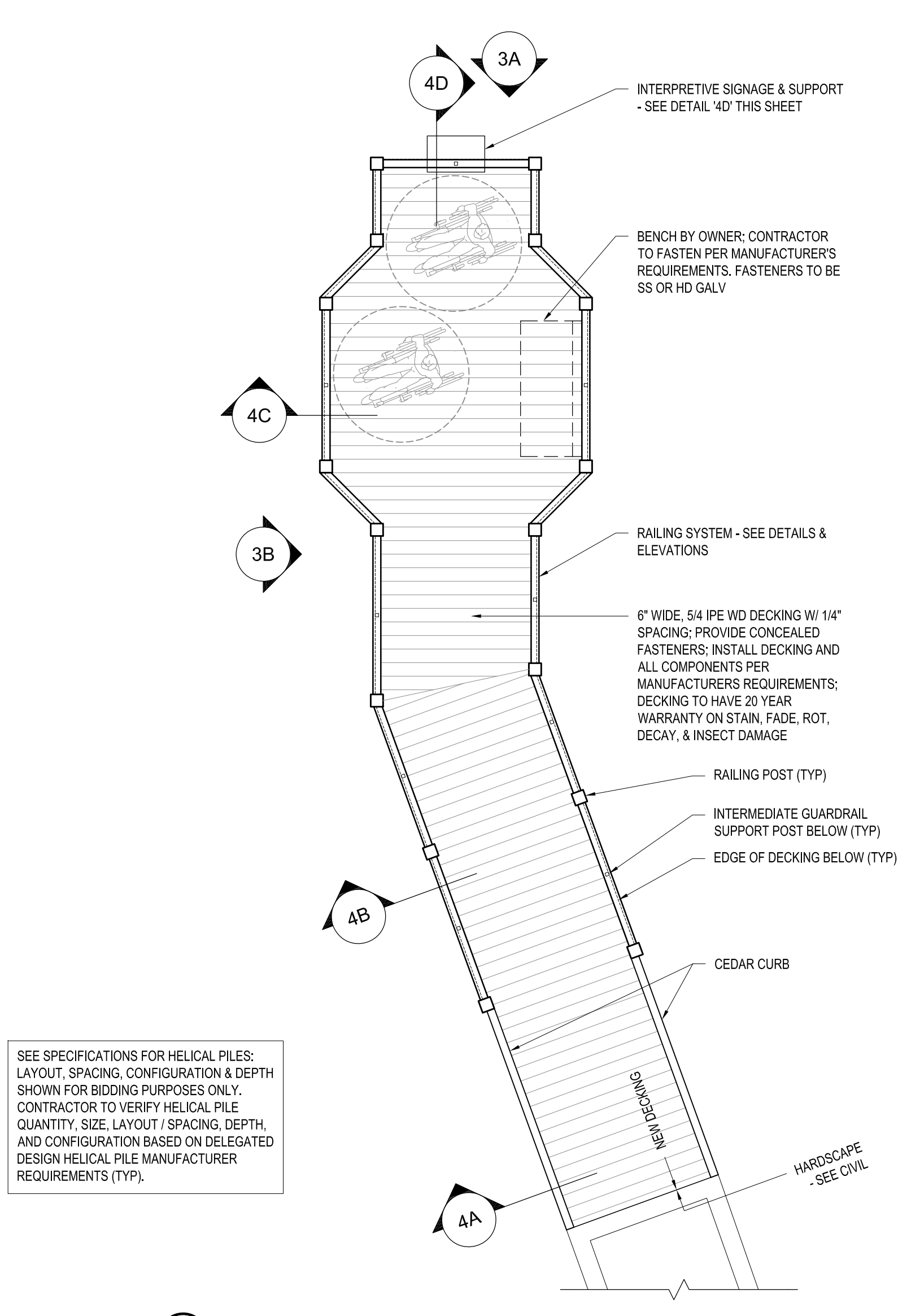


INTERPRETIVE SIGN N.T.S.

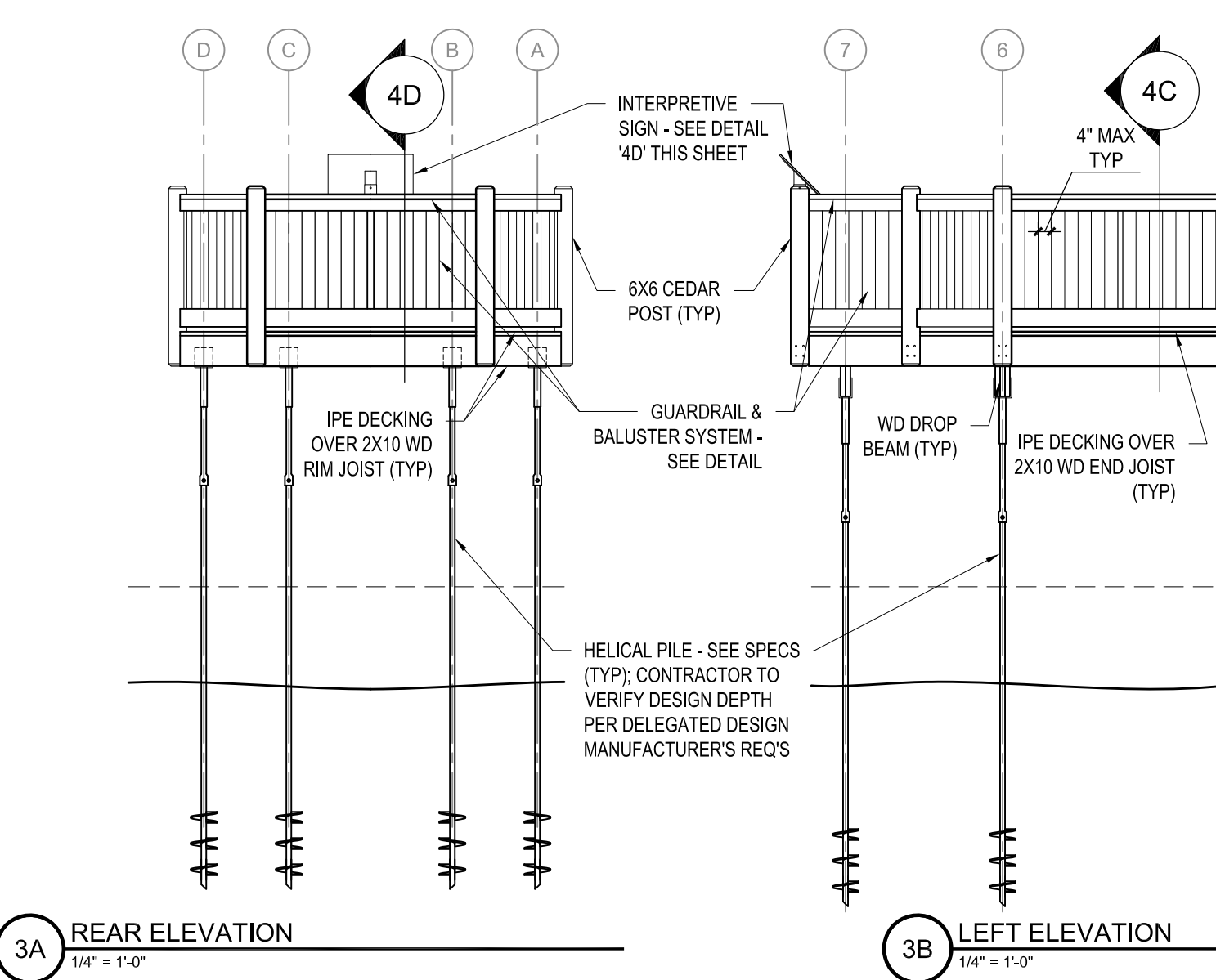
	PLAN NAME:	NO. REVISION & DATE
	CONSTRUCTION DETAILS	
	BALLINGER LAKE PARK PARK IMPROVEMENTS	
	BLOCK 30001, LOT 1.01 BOROUGH OF MEDFORD LAKES BURLINGTON COUNTY, NEW JERSEY	
C. JEREMY NOLL 05/08/20 DATE	PROJECT No. 24046_00 DRAWN:KW DESIGNED:JNW DATE:05.08.20	SHEET NUMBER: CD-1
N.J. PROFESSIONAL ENGINEER No. 24GE05037100	CERTIFICATE OF AUTHORIZATION NUMBER: 24GE05037100	SCALE:N.T.S.



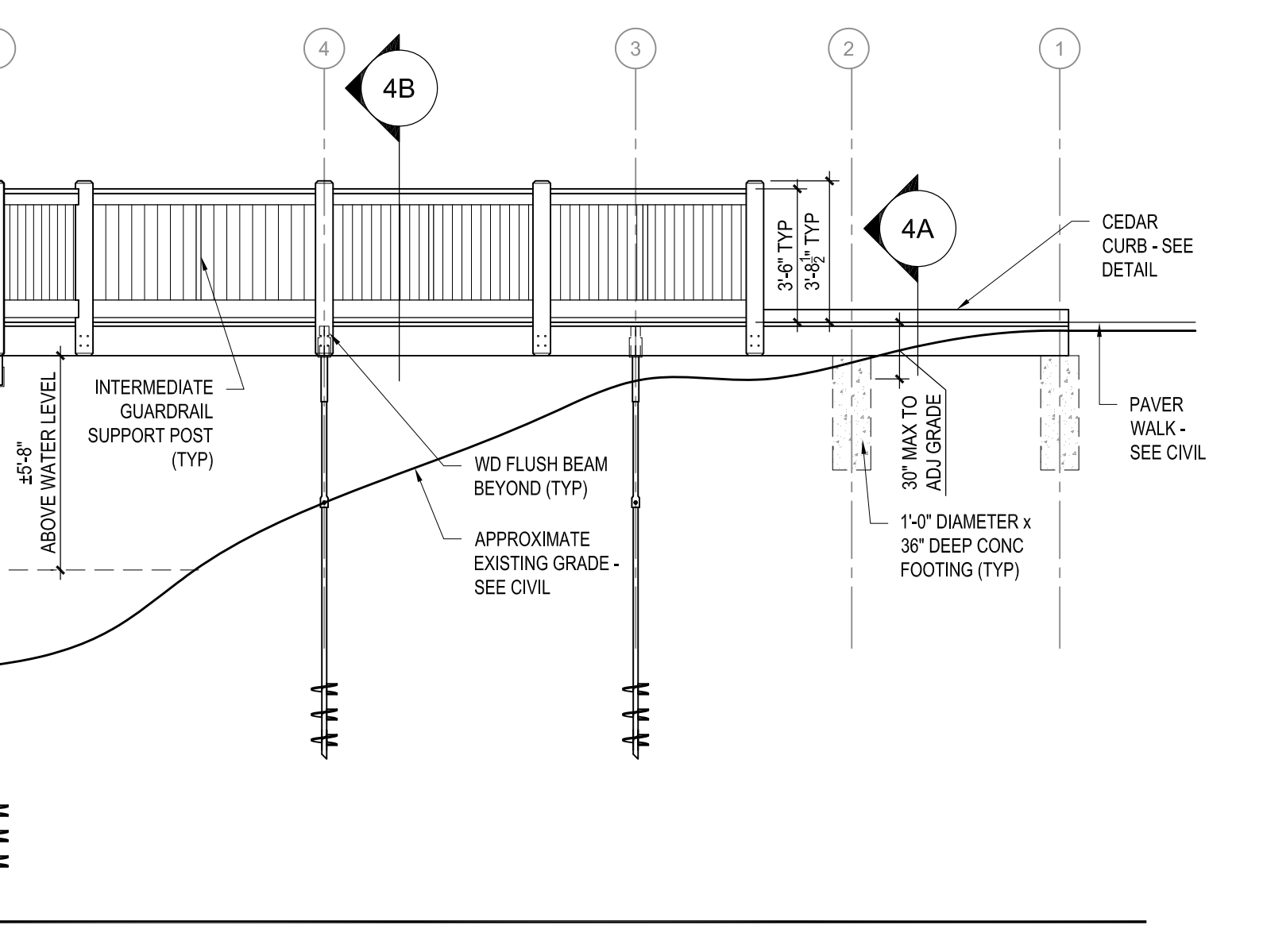
1 FRAMING PLAN
1/4" = 1'-0"



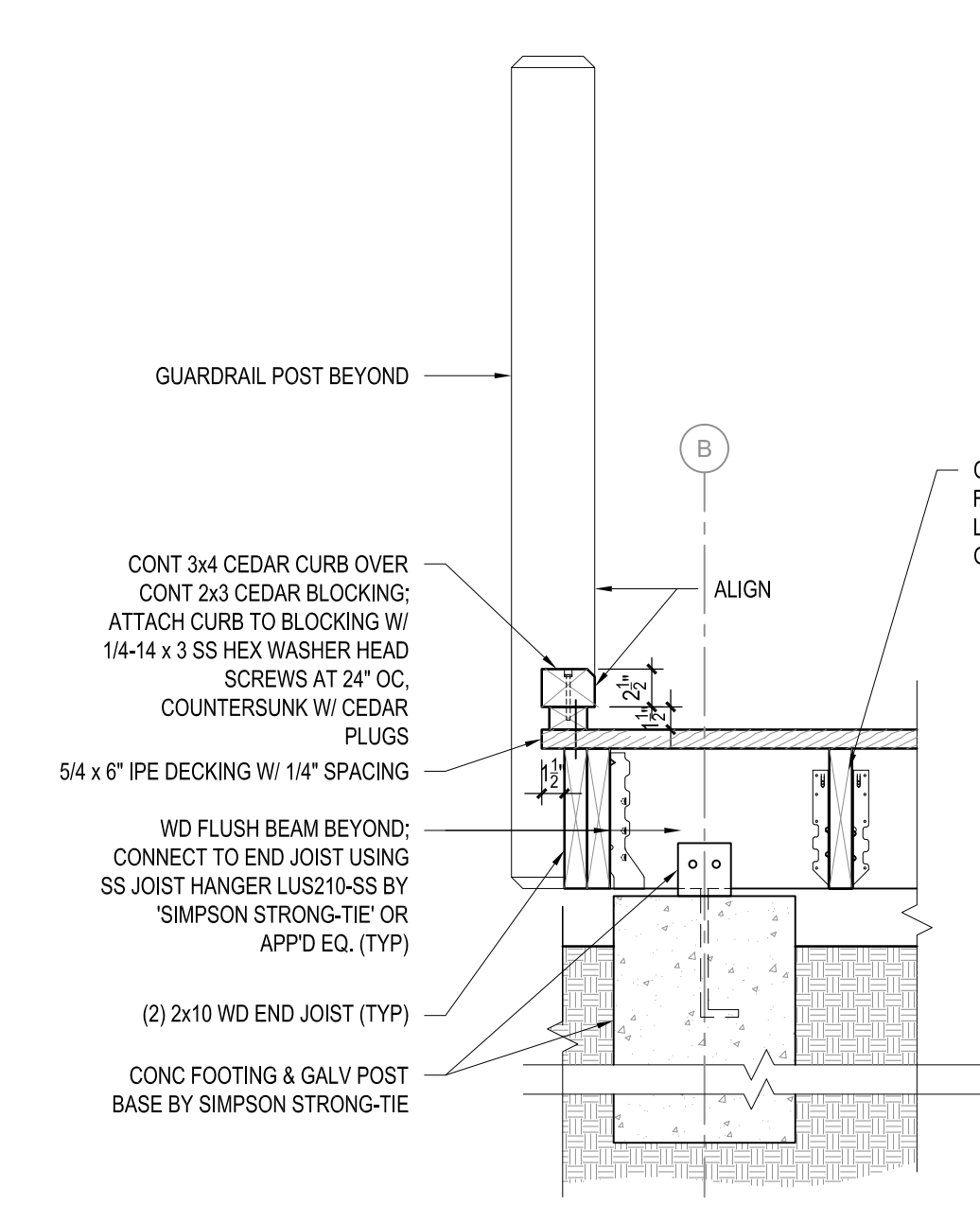
2 DECK PLAN
1/4" = 1'-0"



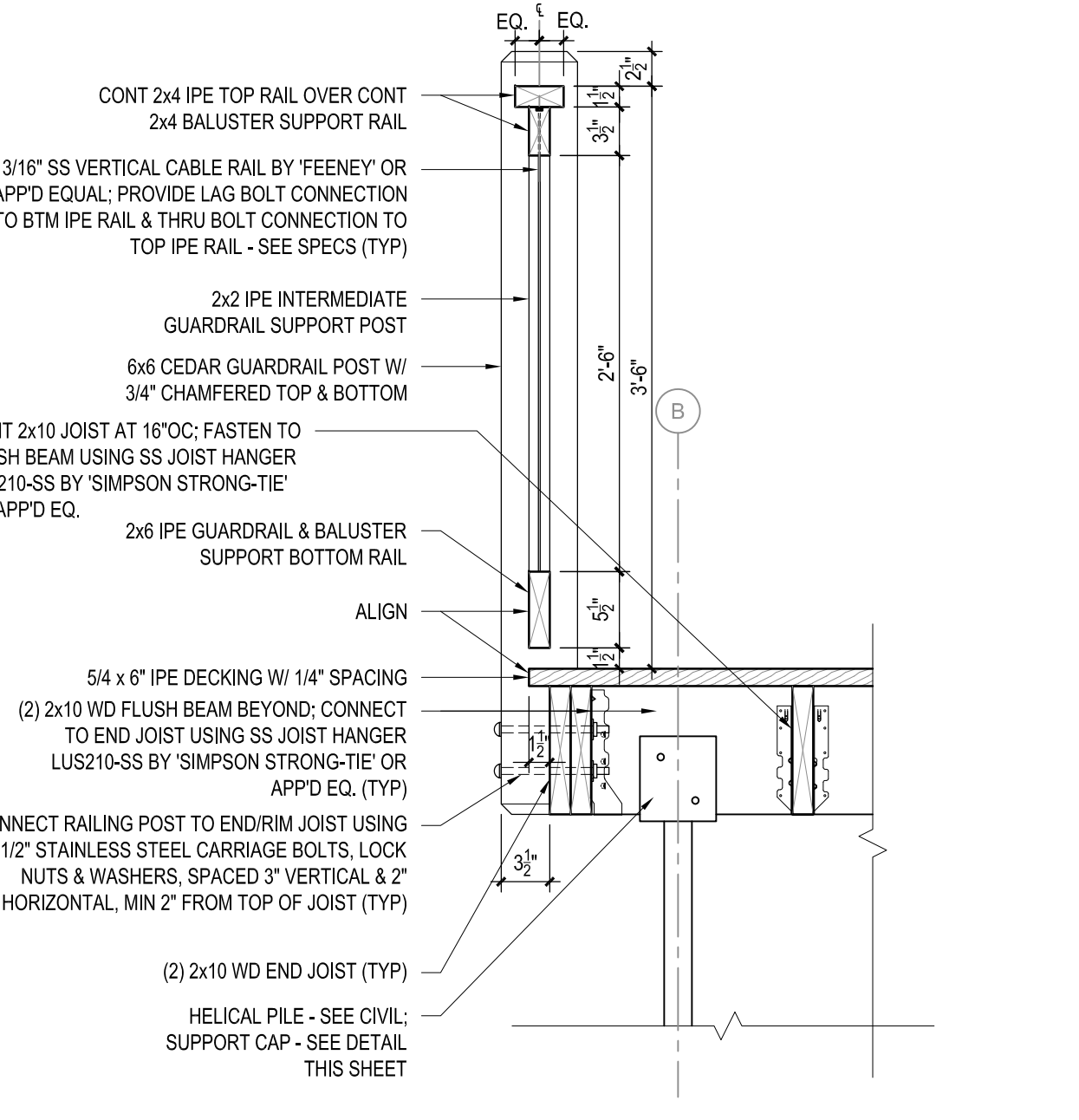
3A REAR ELEVATION
1/4" = 1'-0"



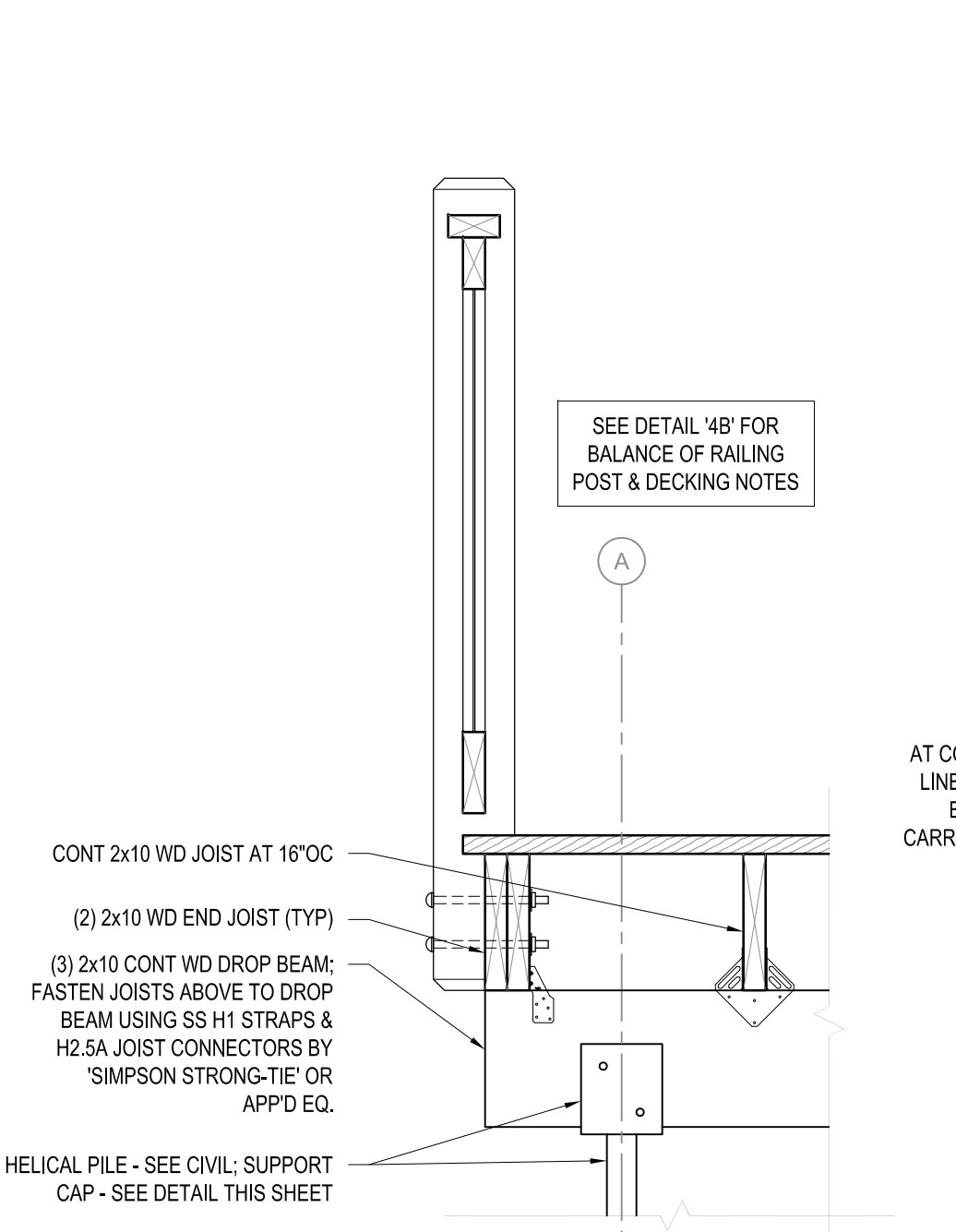
3B LEFT ELEVATION
1/4" = 1'-0"



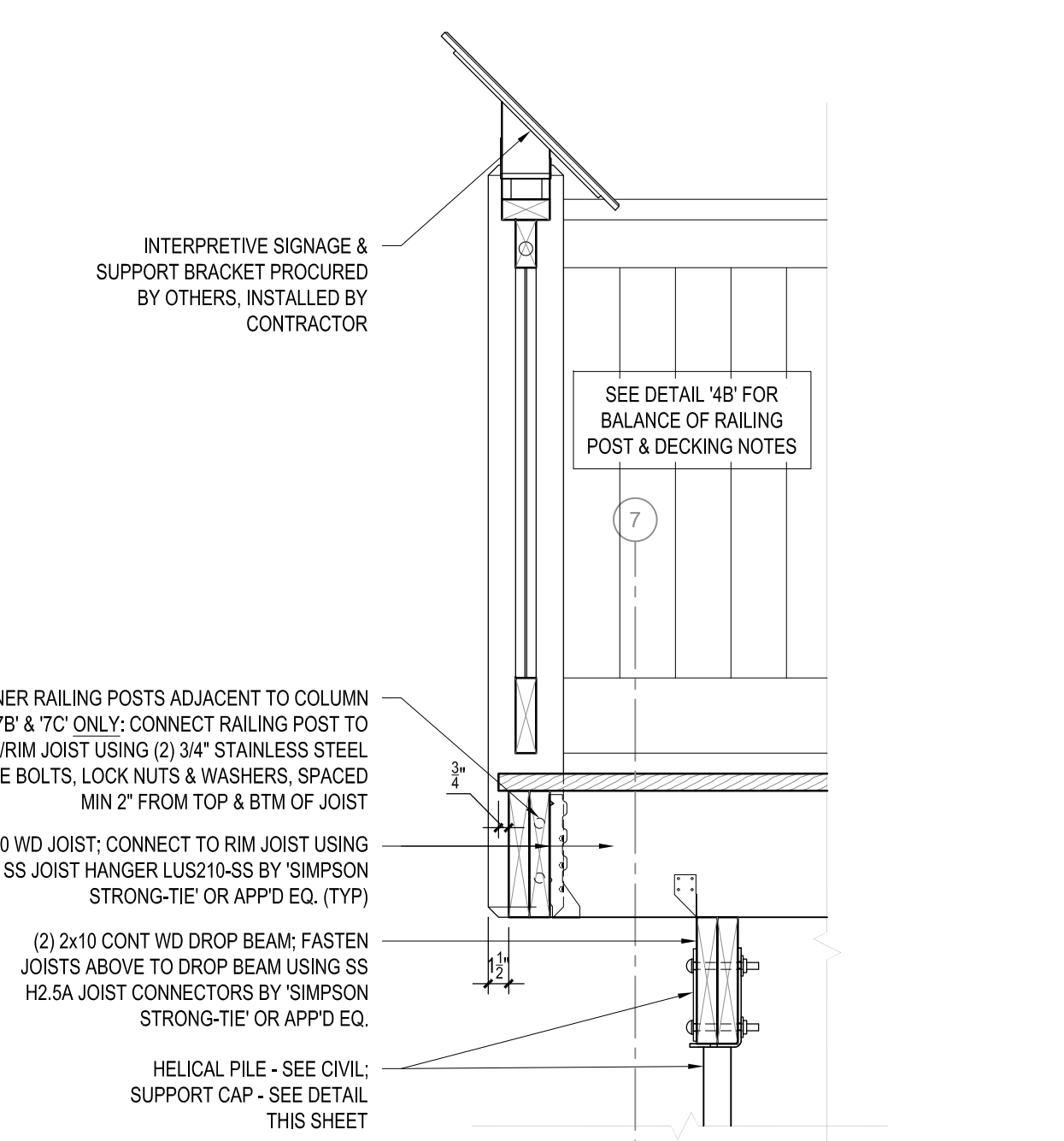
4A DETAIL - CURB
1" = 1'-0"



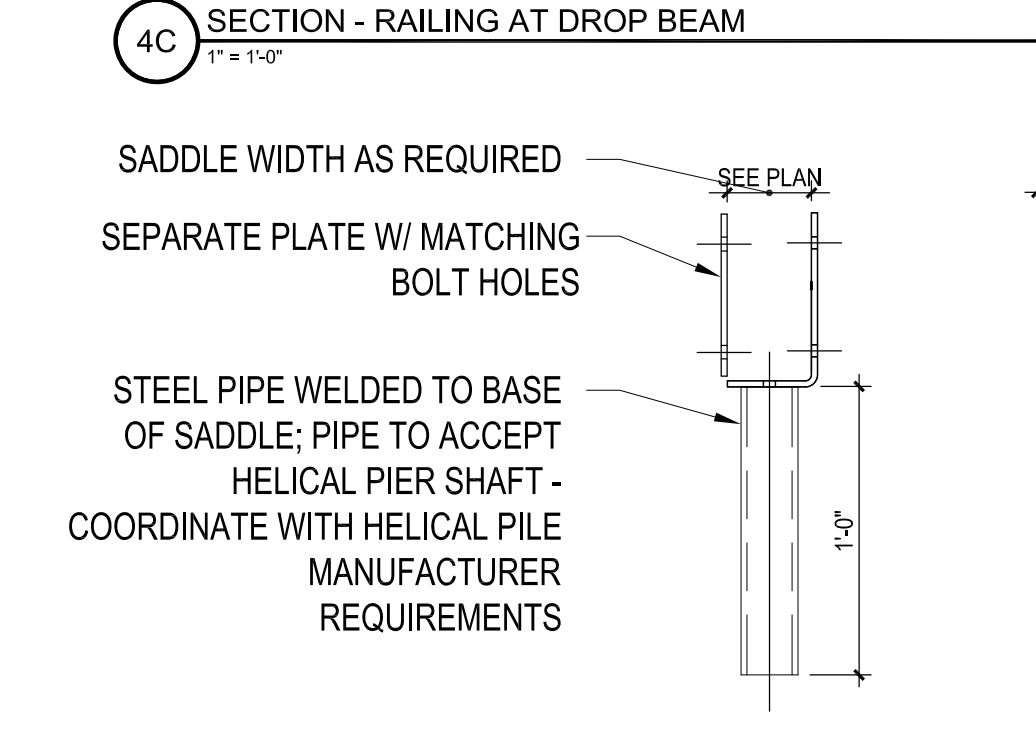
4B SECTION - RAILING AT FLUSH BEAM
1" = 1'-0"



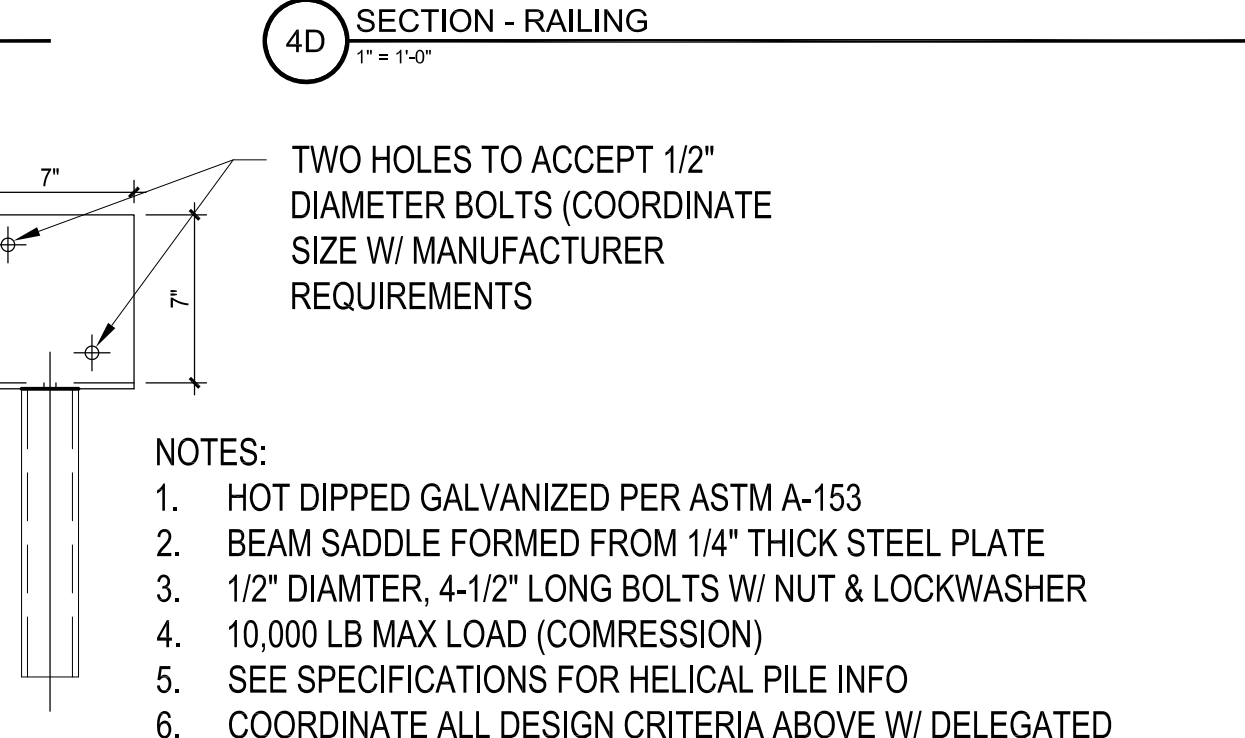
4C SECTION - RAILING AT DROP BEAM
1" = 1'-0"



4D SECTION - RAILING
1" = 1'-0"



5 DETAIL - SUPPORT BRACKET
1-1/2" = 1'-0"



CODES & STANDARDS	
1.	CODE OF MEDFORD LAKES BOROUGH
2.	INTERNATIONAL BUILDING CODE 2018 (NJ EDITION)
3.	ICC/ANSI A117.1-2009
4.	ADAAG FOR RECREATION FACILITIES
ALL CODES HAVING JURISDICTION SHALL BE OBSERVED STRICTLY IN THE CONSTRUCTION OF THE PROJECT, INCLUDING ALL APPLICABLE STATE, CITY, AND COUNTY BUILDING, ZONING, ELECTRICAL, MECHANICAL, PLUMBING AND FIRE CODES. THE CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS BEFORE COMMENCEMENT OF CONSTRUCTION AND BRING ANY DISCREPANCIES BETWEEN CODE REQUIREMENTS AND THE CONSTRUCTION DOCUMENTS TO THE ATTENTION OF THE ARCHITECT.	
LOADING CRITERIA: (2018 IBC)	
DECK - LL = 100 PSF, D.L. = 20 PSF, TOTAL LOAD = 120 PSF (TABLE 1607.1) BASIC DESIGN WIND SPEED, 120 MPH, 3 SECOND GUST - 28 PSF HORIZONTAL LOAD, UPLIFT = 11 PSF DECKS SHALL BE DESIGNED FOR BOTH VERTICAL & LATERAL LOADS AS APPLICABLE (1604.3.3) HANDRAILS & GUARDS SHALL RESIST LINEAR LOAD OF 50 LBS/FT & CONCENTRATED LOAD OF 200 LBS (1607.8.1; 1607.8.1.1)	

DRAWING LIST - ARCHITECTURAL	
A1	FRAMING PLAN, DECKING PLAN, ELEVATIONS, DETAILS & NOTES
DRAWING SYMBOLS & ABBREVIATIONS	
WALL SECTION/ BUILDING SECTION	SECTION NUMBER
DWG	DRAWING
EL	ELEVATION
EQ	EQUAL
FT	FOOT or FEET
GALV	GALVANIZED
MAX	MAXIMUM
MIN	MINIMUM
CONC	CONCRETE
CONT	CONTINUOUS
OC	ON CENTER
PTW	PAINT or PAINTED
PTW	PRESSURE TREATED WOOD
SF	SQUARE FEET
SS	STAINLESS STEEL
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
VIF	VERIFY IN FIELD
WD	WOOD

GENERAL NOTES	
1.	GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION PER AIA DOCUMENT A201-2007 SHALL APPLY AND IS PART OF THE CONTRACT DOCUMENTS.
2.	FINISHES SHOWN TO BE SELECTED BY OWNER, CONTRACTOR TO PROVIDE COLOR SAMPLES FOR APPROVAL BY OWNER FOR ALL PAINTED, STAINED, AND PRE-FINISHED ITEMS, PROVIDE THE FOLLOWING TO ARCHITECT FOR APPROVAL: SHOP DRAWINGS, MANUFACTURER'S CUTS FOR ALL MANUFACTURED OR FABRICATED ITEMS.
3.	SUBSTITUTES WILL NOT BE ACCEPTED WITHOUT WRITTEN CONSENT OF THE ARCHITECT OR OWNER. CREDITS SHALL BE ALLOCATED FOR LESSER FINISHES / MATERIALS AS DETERMINED BY ARCHITECT. OWNER SUBSTITUTIONS SHALL RESULT IN A CHANGE ORDER ISSUED BY THE CONTRACTOR PRIOR TO PURCHASE / INSTALLATION.
4.	CONTRACTOR SHALL PROVIDE A CONSTRUCTION SCHEDULE TO THE OWNER PRIOR TO COMMENCING WORK.
5.	CONTRACTOR SHALL VISIT THE SITE PRIOR TO THE BEGINNING OF THE PROJECT TO BECOME FAMILIAR WITH THE SCOPE OF WORK.
6.	CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF THE WORK. DO NOT SCALE DRAWINGS. IF A DIMENSION IS UNCLEAR OR A DISCREPANCY IS FOUND, NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
7.	DETAILS AND SECTIONS ON THE DRAWINGS ARE SHOWN AT SPECIFIC LOCATIONS AND ARE INTENDED TO SHOW GENERAL REQUIREMENTS THROUGHOUT. CONDITIONS NOT SPECIFICALLY SHOWN SHALL BE CONSTRUCTED IN A SIMILAR FASHION OR BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. MODIFICATIONS MAY BE REQUIRED BY THE CONTRACTOR TO ACCOMMODATE FOR MINOR VARIATIONS.
8.	CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION AND ALL REQUIRED SAFETY PROTECTIVE DURING CONSTRUCTION.
9.	IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE A SUFFICIENT WORK FORCE TO MEET DETAILS NOTED TYPICAL. TYP IMPLY ALL SUCH CONDITIONS BE TREATED SIMILARLY.

GENERAL CONSTRUCTION NOTES	
1.	EXTERIOR WOODWORK WHICH IS NON-COMPOSITE NOR PRE-FINISHED NOR IPE SHALL BE PRESERVATIVE TREATED.
2.	BALUSTER SPACING SHALL NOT ALLOW A 4" SPHERE TO PASS THROUGH.
3.	ALL RAILS, RAIL CAPS, & FACE BOARDS TO BE ANGLE JOINED AT SPLICE LOCATIONS; SELECT CONTINUOUS MEMBERS TO MINIMIZE # OF SPLICE LOCATIONS (TYP) WHERE POSSIBLE.
4.	BOLTS SHALL BE ASTM A307 GALV. ALL SIMPSON STRONG-TIE (SST) CONNECTORS TO BE STAINLESS STEEL U.O.N.; ALL FASTENERS IN CONTACT WITH SS CONNECTORS SHALL BE SS.
5.	STEEL PLATES SHALL BE ASTM A36, GALVANIZED U.O.N.
6.	SEE SPECIFICATIONS FOR HELICAL PILE INFORMATION.

SPECIFICATIONS	
C&T-IN-PLACE CONCRETE	SHALL CONFORM TO ASTM C-494, TYPE F OR G AND CONTAIN NOT MORE THAN 0.1 PERCENT CHLORIDE IONS.
1. ALL CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF THE ACI BUILDING CODE.	4. COLD WEATHER CONCRETING SHALL BE IN ACCORDANCE WITH ACI-306.
2. ALL CONCRETE SHALL ATTAIN 3500 PSI COMPRESSIVE STRENGTH AT 28 DAYS.	
3. READY MIX:	
3.A. COMPLY WITH ACI-301, ACI-304 AND ASTM C-94.	
3.B. MAXIMUM TIME BETWEEN INTRODUCTION OF WATER AND PLACING TO BE 1-1/2 HOURS.	
3.C. MINIMUM CEMENT CONTENT SHALL BE 520 POUNDS PER CUBIC YARD FOR 3500 PSI CONCRETE.	
3.D. MAXIMUM WATER CEMENT RATIO SHALL BE 0.47 FOR 3500 PSI CONCRETE.	
3.E. MAXIMUM SLUMP OF CONCRETE SHALL BE 4 INCHES AS DETERMINED BY ASTM C-143.	
3.F. ALL CONCRETE EXPOSED TO THE GROUND OR WEATHER SHALL BE AIR ENTRAINED BETWEEN 4-5% AS DETERMINED BY ASTM C-231 OR C-173.	
3.G. HIGH-RANGE WATER-REDUCING ADMIXTURE (SUPER PLASTICIZER)	
	FINISH, COMMERCIAL, DRY GRADE CABLE WITH FITTINGS SPECIFIED BELOW.
	3. FITTINGS: VERTICAL CABLES: PROVIDE A 3.5 INCH LONG STAINLESS STEEL THREADED TERMINAL FACTORY ATTACHED TO ONE END OF EACH CABLE AND A STAINLESS STEEL FIXED BUTTON END FACTORY ATTACHED TO THE OTHER END.
	4. INCLUDE WASHERS, NUTS, END CAPS AND ANY ACCESSORY ITEMS AS RECOMMENDED BY MANUFACTURER FOR INSTALLATION CONDITIONS OR AS SHOWN ON DRAWINGS.
	5. INSTALL PER MANUFACTURER'S REQUIREMENTS
	6. CLOSEOUT SUBMITTALS: SUBMIT MAINTENANCE INSTRUCTIONS & MANUF'S RECOMMENDATIONS FOR PERIODIC CLEANING TO OWNER
	7. SPECIAL WARRANTIES: CABLE AND CONNECTORS: 10 YEAR LIMITED WARRANTY AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP.
	JOIST HANGERS:
	1. AS INDICATED ON DRAWINGS.
	RAILING SYSTEM:
	1. CONTRACTOR TO SUPPLY AND INSTALL VERTICAL CABLE INFILL PICKETS BY FEENEY (INC. (800) 888-2418, OR ARCHITECT APPROVED EQUAL. CONTRACTOR TO ATTACH VERTICAL CABLE RAILS TO IPE TOP AND BOTTOM RAIL AS SHOWN ON DRAWINGS.
	2. CABLES: 3/16 INCH DIAMETER, TYPE 316 STAINLESS STEEL, POLISHED

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Sustainable Design

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Project:
**OBSERVATION
PIER AND
RELATED
WORK AT
CABIN CIRCLE
PARK**

**for the
Township of
Medford Lakes**

Location:
**1 Cabin Circle,
Medford Lakes,
NJ 08055**

Submissions	Date	Status
Bid Set	05-20-2020	BID SET

Site Plan:

Orientation:

Drawing Title:
**FRAMING PLAN,
DECKING PLAN,
ELEVATIONS,
DETAILS, & NOTES**

Project Number: 1805
Project Date: 05-20-20
Drawn By: JMP
Scale: NTS
Drawing Number:
A1

ISSUED FOR BID - NOT FOR CONSTRUCTION